

Vernon Childcare Centres

Lakers Site - Childcare Facility



Lakers Site

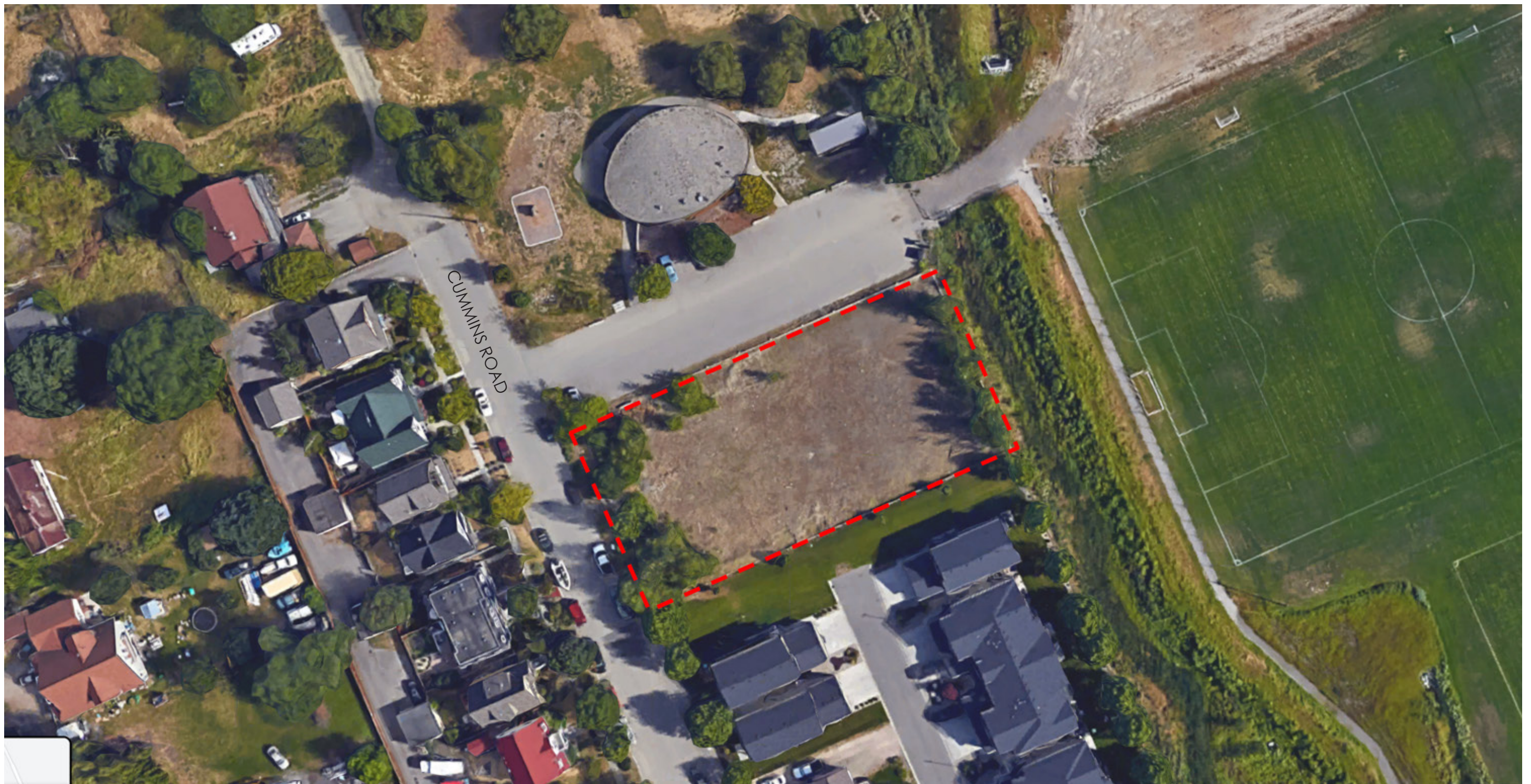
The Lakers childcare centre will be a one storey building located at 7000 Cummins Road in Vernon.

It will be a licensed 86-space child care facility intended to have capacity for 50 Group Child Care spaces (30 months to School Age) and 36 Group Child Care spaces (Under 36 months).



Site Information

Aerial View of Site



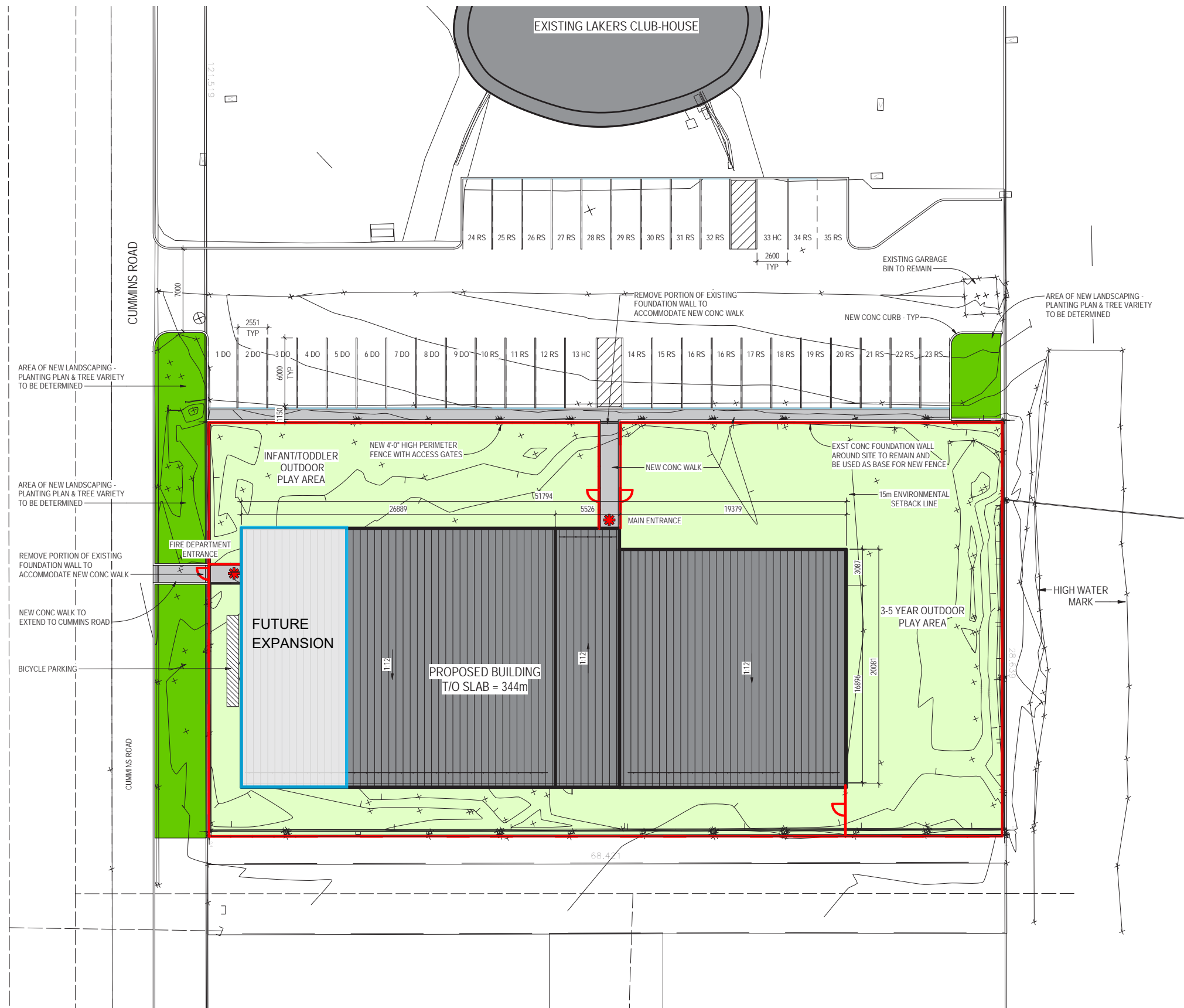
Design Approach

- To create a welcoming, inclusive childcare centre
- To create bright, open corridors with spacious cubby areas that allow for easy drop-off and encourage parent interaction while allowing for views and/or direct access to the outdoor play areas.
- To use simple construction methods - such as single-pitched roofs and angled soffits to provide covered outdoor play areas and achieve interesting interior and exterior space.



Lakers Site

Conceptual Site Plan



PARKING REQUIRMENTS AS PER CITY OF VERNON BYLAW 07.00

PARKING REQUIRED FOR LAKERS DAYCARE

DROP OFF STALLS REQUIRED = 9 STALLS (DO)
ACCESSIBLE STALLS REQUIRED = 1 STALL (HC)
STAFF STALLS REQUIRED = 15 STALLS (RS)
SMALL CAR ALLOWANCE = 40% OF REQUIRED STALLS

PARKING PROVIDED FOR LAKERS DAYCARE

DROP OFF STALLS PROVIDED = 9 STALLS (DO)
ACCESSIBLE STALLS PROVIDED = 1 STALL (HC)
REGULAR STALLS PROVIDED = 14 STALLS (RS)
SMALL CAR PROVIDED = 0 STALLS

PARKING REQUIRED FOR LAKERS CLUBHOUSE

ACCESSIBLE STALLS REQUIRED = 1 STALL (HC)
REGULAR STALLS REQUIRED = 16 STALLS (RS)
SMALL CAR ALLOWANCE = 40% OF REQUIRED STALLS








PARKING PROVIDED FOR LAKERS CLUBHOUSE

ACCESSIBLE STALLS PROVIDED = 1 STALL (HC)
REGULAR STALLS PROVIDED = 11 STALLS (RS)
SMALL CAR PROVIDED = 0 STALLS

PARKING DEFICIENCY

LAKERS DAYCARE IS DEFICIENT 1 REGULAR STALL
LAKERS CLUBHOUSE IS DEFICIENT 5 REGULAR STALLS
NO DEDICATED LOADING STALLS PROVIDED

SITE PLAN LEGEND

	LANDSCAPE AREA
	LANDSCAPE AREA - CHILDCARE PLAY AREAS
	CONCRETE SIDEWALK
	EXISTING BUILDING
	NEW PROPOSED BUILDING
	FENCE
	BUILDING ENTRANCE



NOTE:
STRUCTURAL, MECHANICAL, & ELECTRICAL ELEMENTS
SHOWN ON THE ARCHITECTURAL DRAWINGS ARE FOR
COORDINATION PURPOSES ONLY. REFER TO THE
RESPECTIVE DISCIPLINE DRAWINGS FOR EXACT LAYOUT,
DIMENSIONS, QUANTITIES, ELEVATIONS, & REQUIREMENTS.

NOTE:
ALL EXTERIOR DIMENSIONS/GRID LINES ARE
TO FACE OF CONCRETE.

NOTE:
THE SIZES SHOWN REFLECT APPROXIMATE FRAME
SIZES. ACTUAL SIZES MAY VARY DEPENDING ON FINAL
SELECTION OF WINDOW & INSTALLATION TOLERANCES.
CONTRACTOR TO VERIFY ALL ROUGH OPENINGS AND
FRAME SIZES PRIOR TO FABRICATION.

NOTE:
CONFIRM ALL DIMENSIONS AND ELEVATIONS
PRIOR TO FABRICATION OF WINDOW UNITS.

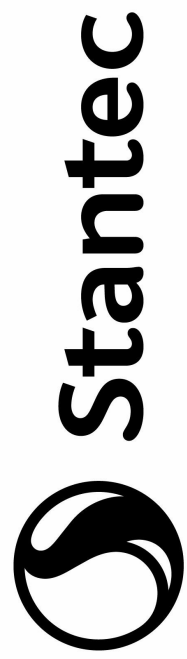
NOTE:
REFER TO ALL DRAWINGS AND PROJECT
SPECIFICATIONS FOR DETAILS ON FINISHES.

NOTE:
ALL INTERIOR DIMENSIONS ARE TAKEN TO
CENTERLINE OF STUD WALL.

NOTE:
CONFIRM ALL DIMENSIONS & ELEVATIONS
PRIOR TO CONSTRUCTION.

1 MAIN FLOOR PLAN

A200 1:75



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Consultant

Permit/Seal



City of Vernon
The Corporation of the
City of Vernon
Lakers Child Care
Facility
7000 Cummins Road
Vernon, BC

Project No.: 144321033

File Name: N/A

Author	Designer	Checker
Dwn.	Dign.	Chkd.
00/00/00	00/00/00	00/00/00
YYYY.MM.DD	YYYY.MM.DD	YYYY.MM.DD

Title
MAIN FLOOR PLAN

Scale: 1 : 75

Revision:

Drawing No.

A200

Lakers Site

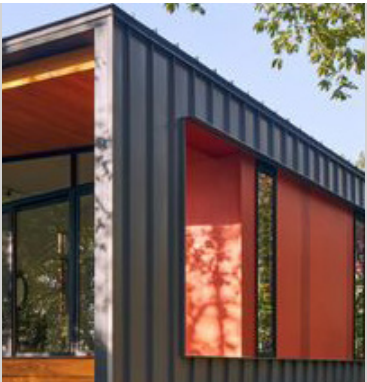
Material Legend



A Standing Seam Metal
Roof and Wall



B Wood and/or woodgrain
aluminum siding and soffit



C Cementitious Panels
and glazing

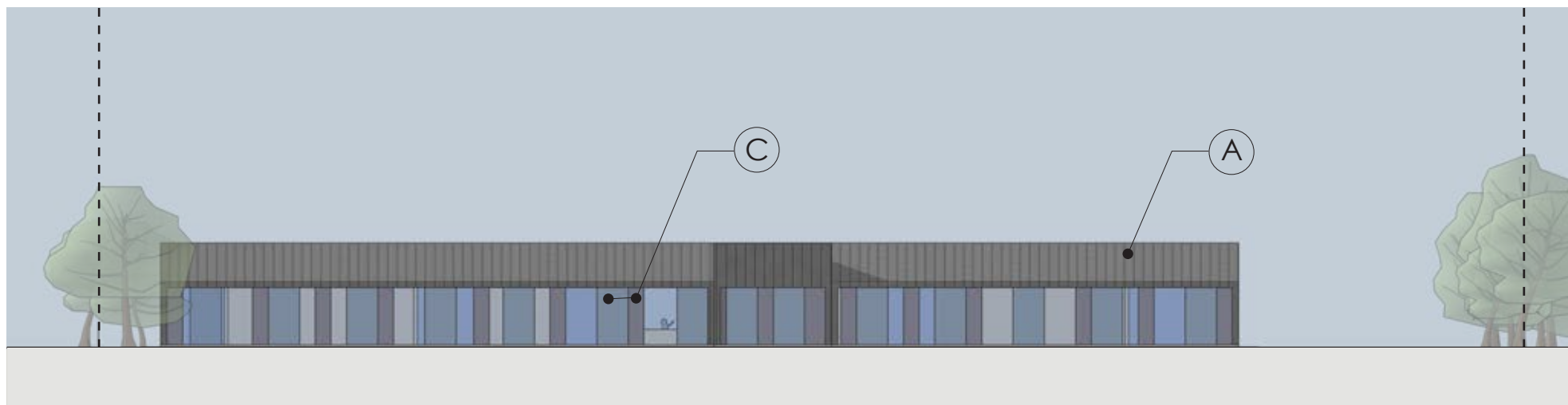


Lakers Site

Building Elevations



North Elevation

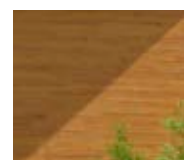


South Elevation

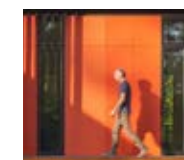
Materials Legend



(A) Standing Seam Metal Roof and Wall



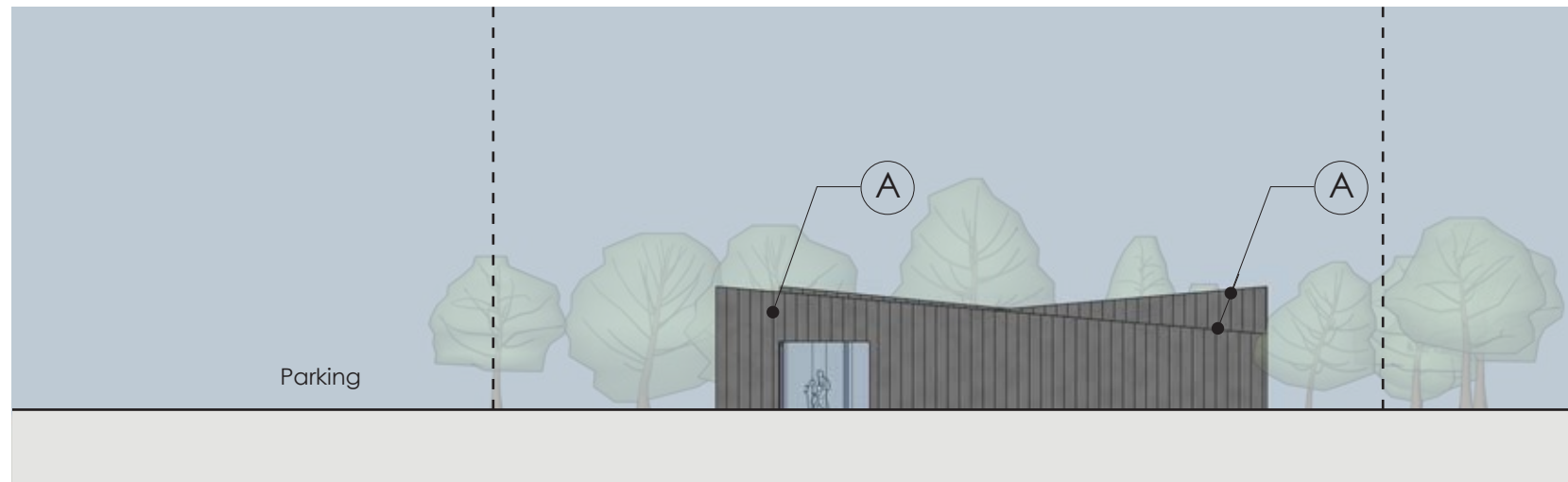
(B) Wood and/or Woodgrain Aluminum Siding and Soffit



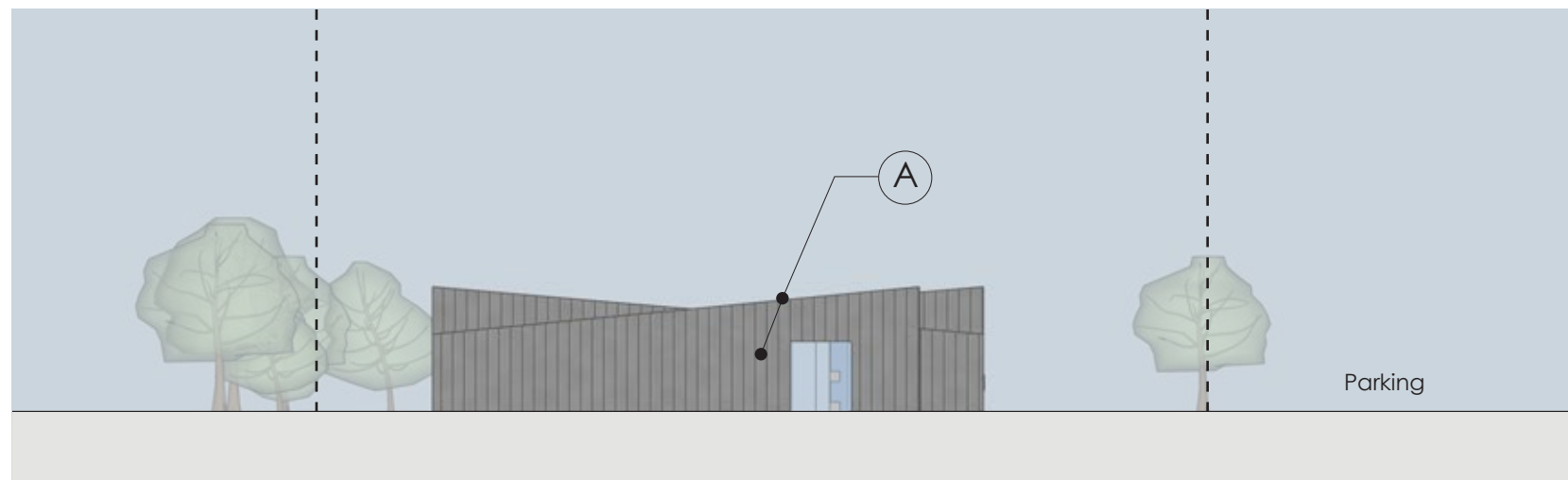
(C) Cementitious Panels and Glazing

Lakers Site

Building Elevations



West Elevation

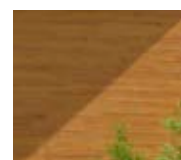


East Elevation

Materials Legend



(A) Standing Seam Metal Roof and Wall



(B) Wood and/or Woodgrain Aluminum Siding and Soffit



(C) Cementitious Panels and Glazing

Lakers Site

3D Views



Aerial view looking south



View from Cummins Road



View looking north from neighbouring lot



View of entrance



Interior view of entrance hall and cubbies



Interior view from 0-36 month entrance hall into the program room



Interior view of 0-36 month program room



Interior view of 30 month to 5 years program room

1.0 ARCHITECTURAL SYSTEMS

1.0.1 DESIGN CONSIDERATIONS

Stantec has considered the following design principals in development of this Schematic Design Report:

- Consideration of sensitive environmental conditions.
- Maintenance, Durability & Cleaning.
- Site Specific Integration.
- Respecting Nature, History and Local Indigenous Culture.
- Natural Materials.
- Open/Transparent/Natural Light.
- Education and Communication.
- Safety and Security.
- Full Accessibility to Entire Facility.
- Construction cost.

1.0.2 APPLICABLE CODES AND STANDARDS

Applicable systems for the proposed building should be designed in accordance with all authoritative/legislated codes and standards adopted at the time of design by the Authorities Having Jurisdiction, including the following:

- British Columbia Building Code 2018 (BCBC)
- National Building Code of Canada 2015 (NBCC)
- CSA A23.3-16: Design of Concrete Structures.
- CSA S16-16: Design of Steel Structures.
- CSA C22.1, Canadian Electrical Code (CEC)
- ASHRAE 90.1-2016, Standard for Energy Efficient Design of New Buildings
- NFPA National Fire Protection Association 13
- Provincial Fire Marshall Regulations
- WorkSafe BC Regulations
- Applicable NFPA Regulations

1.0.3 SPACE REQUIREMENTS

The functional space requirements are determined by the Province of British Columbia Child Care Licensing Regulation, The City of Vernon, and the Boys & Girls Club of the Okanagan.

1.0.4 APPROVED SCHEMATIC DESIGN – REC CENTRE FACILITY

The approved Schematic Design Option for the Lakers facility; considers the following:

- Efficient Parent/Child flow and access to daycare and support areas.
- Unimpeded constant visual monitoring of children by the daycare team.
- Creating a large, open, mixed-use corridor between the daycare spaces to be used for parent and child circulation, cubbies, and variable play space.
- Maximized natural light for each space.
- Storage room in each daycare space.
- Creating a large kitchen adjacent to the corridor and central to all daycare spaces for ease of service.
- A dedicated laundry room to be shared between all daycare groups.
- A barrier free washroom with baby change table near the main entrance that is easily accessible to parents, staff and children coming from outdoor play areas.
- Covered outdoor play areas.
- Separate nap rooms for each infant/toddler space.
- Child sized toilets inside short toilet partitions for infant/toddler spaces, low mounted trough style sink and custom baby change table with storage and sink.
- Small food prep area with a small fridge, microwave, and a single sink for each daycare space.
- Full sized toilets and full height partitions in 3-5 year washrooms to accommodate future flexibility and gender neutral options.
- Sliding doors between adjacent 3-5 years spaces for free flow between and flexibility of space.
- A dedicated staff washroom.
- An accessible shower room for staff and emergencies.

1.0.5 SITE CONSIDERATIONS

The existing site is generally flat and contains an existing concrete foundation wall which will remain mostly intact; some small sections will need to be removed to provide access to paved walks that lead to new building.

Landscape work will include sub-base preparation and addition of grass for outdoor play areas, new trees and shrubs, irrigation and 1220mm high perimeter chain link fencing which is to be fastened to top of existing foundation wall, 914mm high chain link fence separating infant/toddler and 3-5 year outdoor play space; allowance for two (2) 914mm x 1220mm gates at perimeter and three (3) 914mm x 914mm gates between play spaces.