

DEVELOPMENT VARIANCE PERMIT**NO. DVP00601**

TO: RALSTON, LEVI S (Emails:)
8160 OKANAGAN LANDING RD
VERNON BC V1H 1J4

1. This DEVELOPMENT VARIANCE PERMIT (DVP00601) is issued subject to compliance with all of the bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit.
2. DVP00601 applies to and only to those lands within the Municipality described below and a retaining wall and fencing thereon:

for: **STRATA LOT 3 DISTRICT LOT 6 OSOYOOS DIVISION YALE
DISTRICT STRATA PLAN KAS3406 TOGETHER WITH AN
INTEREST IN THE COMMON PROPERTY IN PROPORTION TO
THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON
FORM V**

PID – 027-749-908

and having a civic address at 8160 OKANAGAN LANDING RD.

3. LEVI RALSTON (hereinafter referred to as the “Owner”) has requested the Development Variance Permit and has agreed to the terms of same.
4. Pursuant to Section 498 of the Local Government Act – City of Vernon Zoning Bylaw 5000 is hereby varied as follows:
 - a) Section 6.5.11, to increase the height of a retaining wall from 1.2m to 2.0m for the top tier of a series of retaining walls along the front and west side of the property; and,
 - a) Section 6.5.12, to increase the combined height of a fence on top of a retaining wall from 2m to 2.79m for the top tier of a series of retaining walls along the front and west side of the property.



5. The variances granted are subject to the following conditions:

b) The development shall be constructed in general conformance with the plans set out in the following Schedules, attached hereto:

- i. Schedule A: Site Plans
- ii. Schedule B: Cross Sections
- iii. Schedule C: Structural Assessment

c) Insert other conditions as per Council's resolution

6. If the development authorized by this Permit (DVP00601) does not commence within 24 months of the date of Permit issuance, this Permit shall lapse.

******* THIS IS NOT A BUILDING PERMIT *******

AUTHORIZING RESOLUTION PASSED BY COUNCIL THE XXth DAY OF MONTH, YEAR AND ISSUED THIS XXth DAY OF MONTH, YEAR.

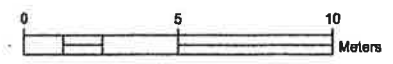
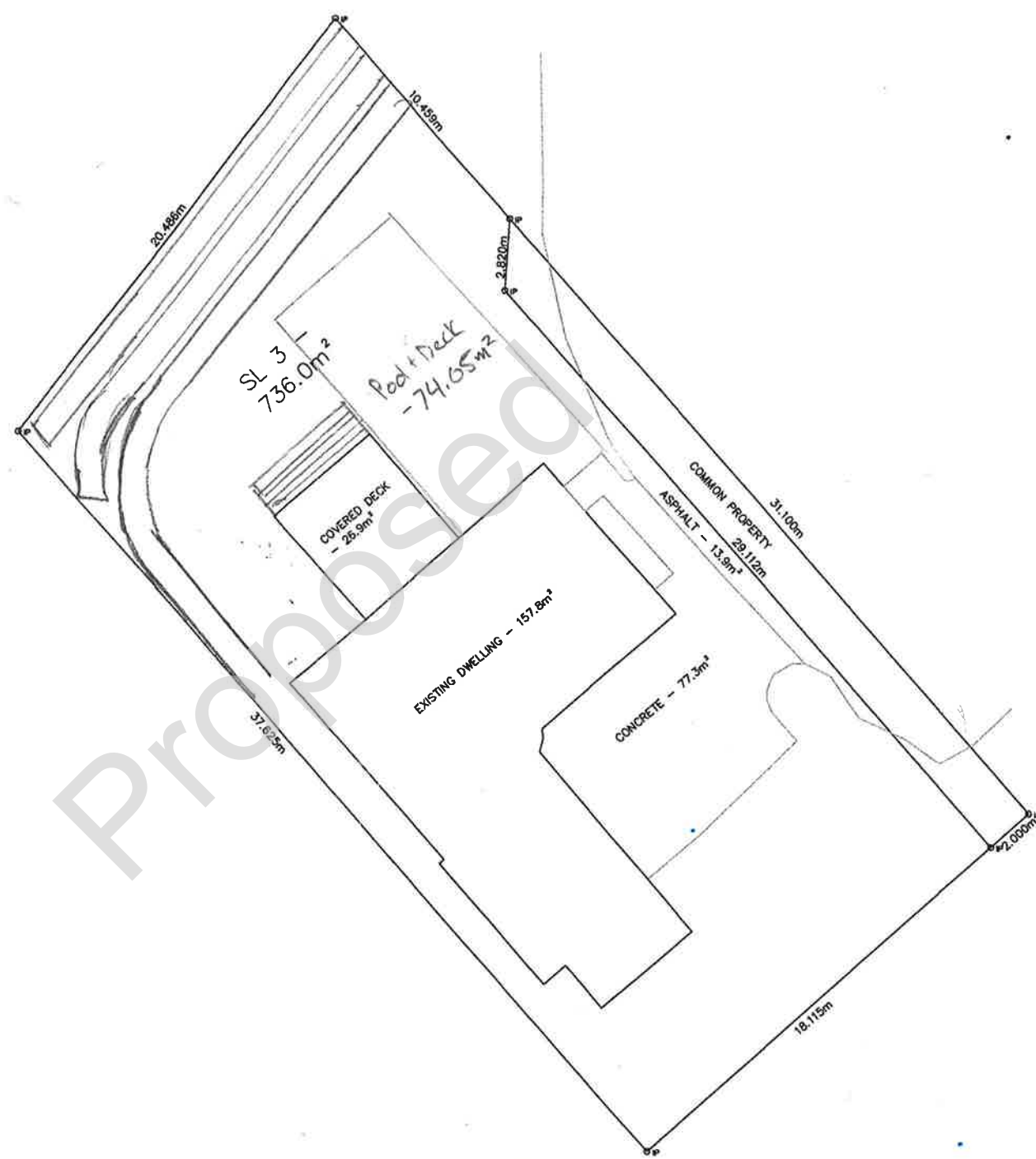
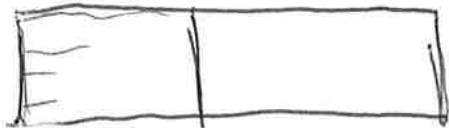
Janice Nicol, Manager, Legislative Services
City of Vernon

I ACKNOWLEDGE THAT I HAVE READ, UNDERSTAND AND AGREE TO THE TERMS AND CONDITIONS UPON WHICH THIS PERMIT IS ISSUED:

Applicant (or Authorized Agent or
Representative of Applicant)

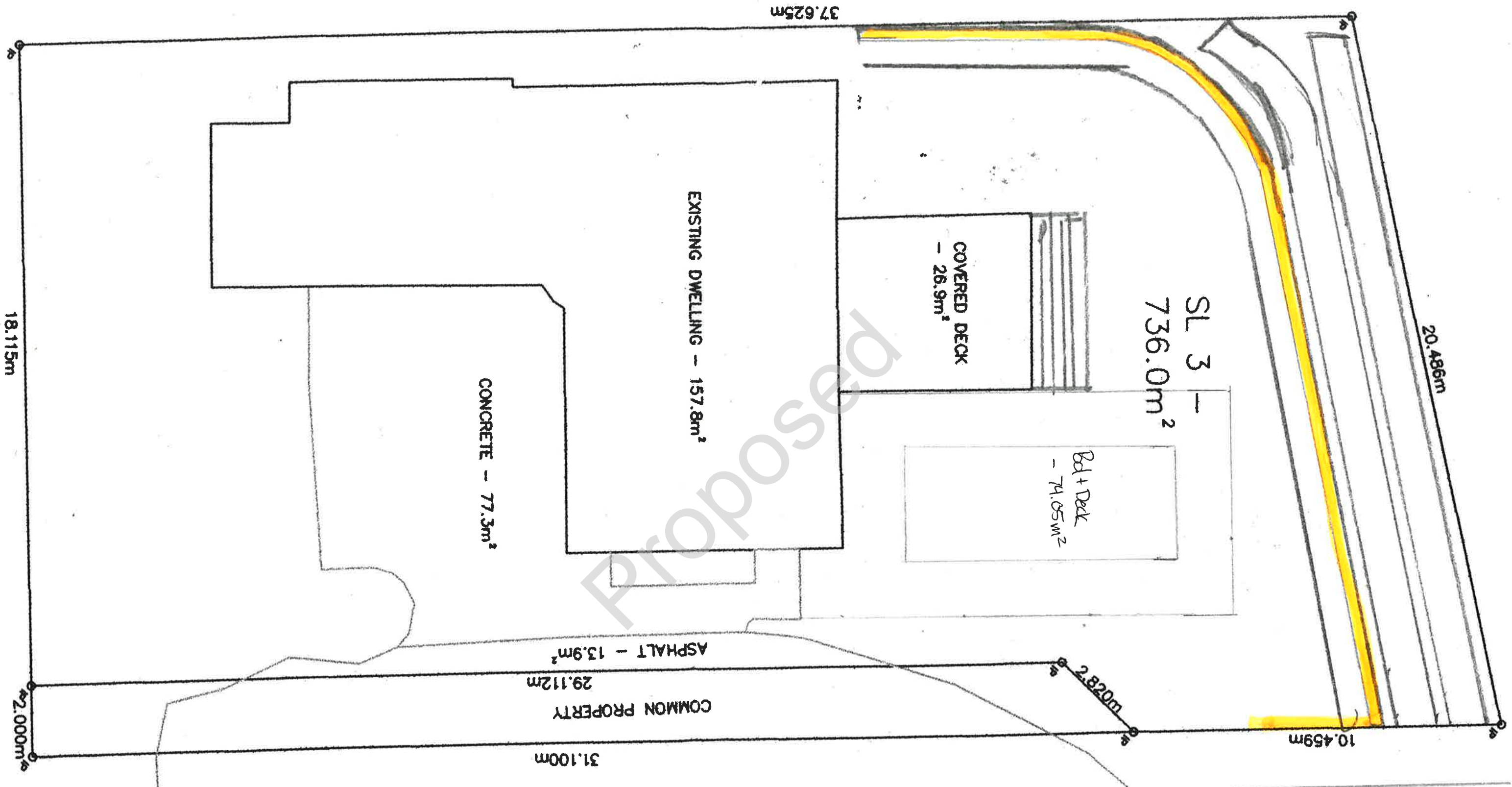
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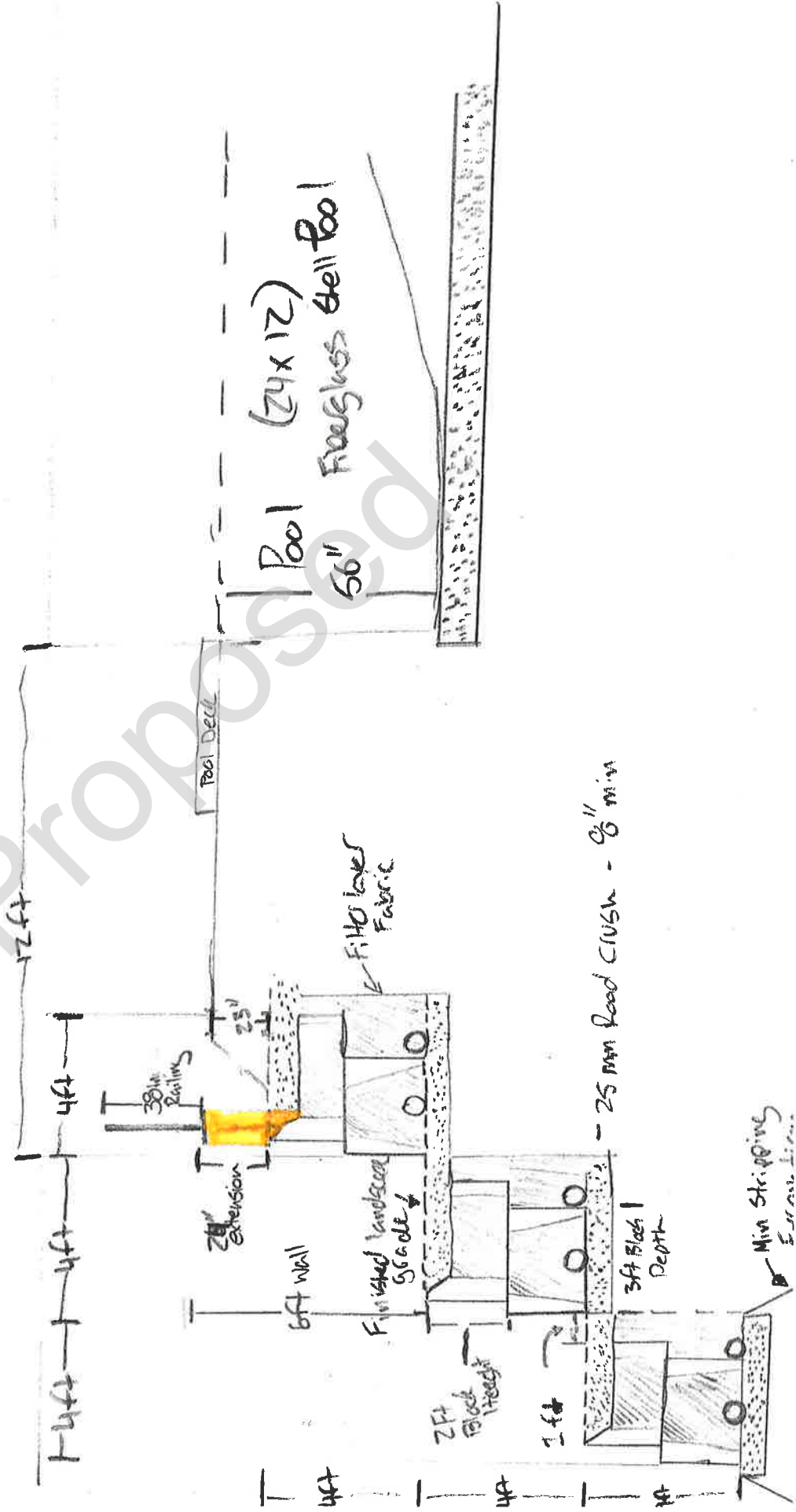


SITE COVERAGE:
Existing Dwelling - 157.8m²
Covered Deck - 26.9m²
Concrete - 77.3m²
Asphalt - 13.9m²
Pool Deck - 74.05m²
TOTAL - 275.9m² + 74.05
Total - 349.95

STRATA LOT 3 PLAN KAS3406 DISTRICT LOT 6 LAND DISTRICT 41 SITE COVERAGE AREA VERNON BC										DRAWN TS	Fine Line Survey & Design		DRAWING NO.
										DESIGN	5510 Day Rd		1
										APPROVED	Vernon, BC		REV. NO.
										DATE: JUNE 22, 2021	V1B 3J5		0
										SCALE: 1:200	finelinesurvey@gmail.com		
											250-859-1876		

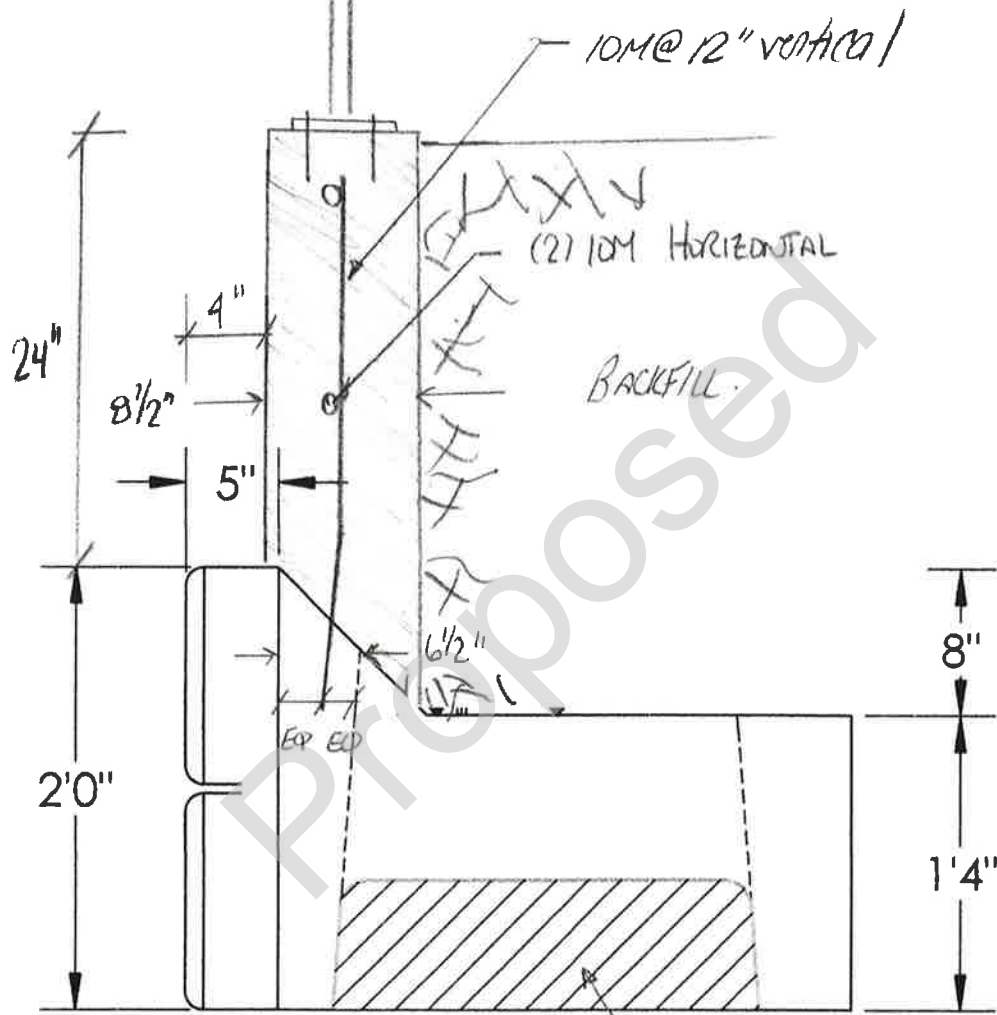


8160 Okanagan banding Rd Cross section



KALSTON RETAINING WALL
- EXISTING Geometry.

TOP MOUNT
GUARDRAIL BY
OTHERS



NON FROST SUSCEPTIBLE
W/FILL SOILS

Project Name:	Ralston Retaining Wall	Job Ref.	22-323
Section	Structural Assessment	Sheet no.	Page 1 of 3
		Date	Dec 2, 2022

Background:

A three tier Verti-block retaining wall was constructed at 8160 Okanagan Landing Road, Vernon, BC in the summer of 2021. In 2022, the Owner began to extend the top tier of the Verti-block retaining wall by 2 feet using poured concrete.

WE's scope is to provide a structural assessment of the retaining wall extension. Soils engineering (including settlement) are not within WE's scope or expertise. A selection of photos from the client can be found in Appendix A, at the end of this report.

Discussion:

Refer to Figure 1 below for a general cross section through the three tier Verti-block retaining wall, illustrating the location of the 2 foot concrete extension at the top of the wall.

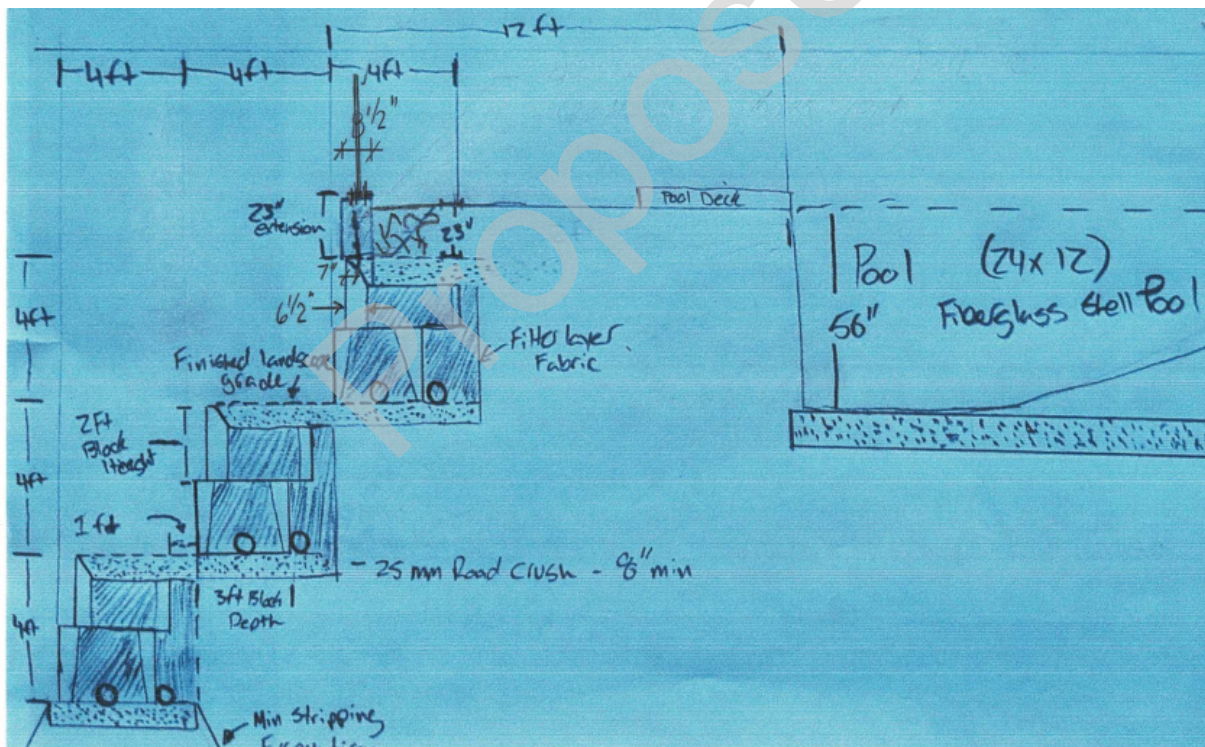


Figure 1: Owner supplied cross section through three tier Verti-block retaining wall

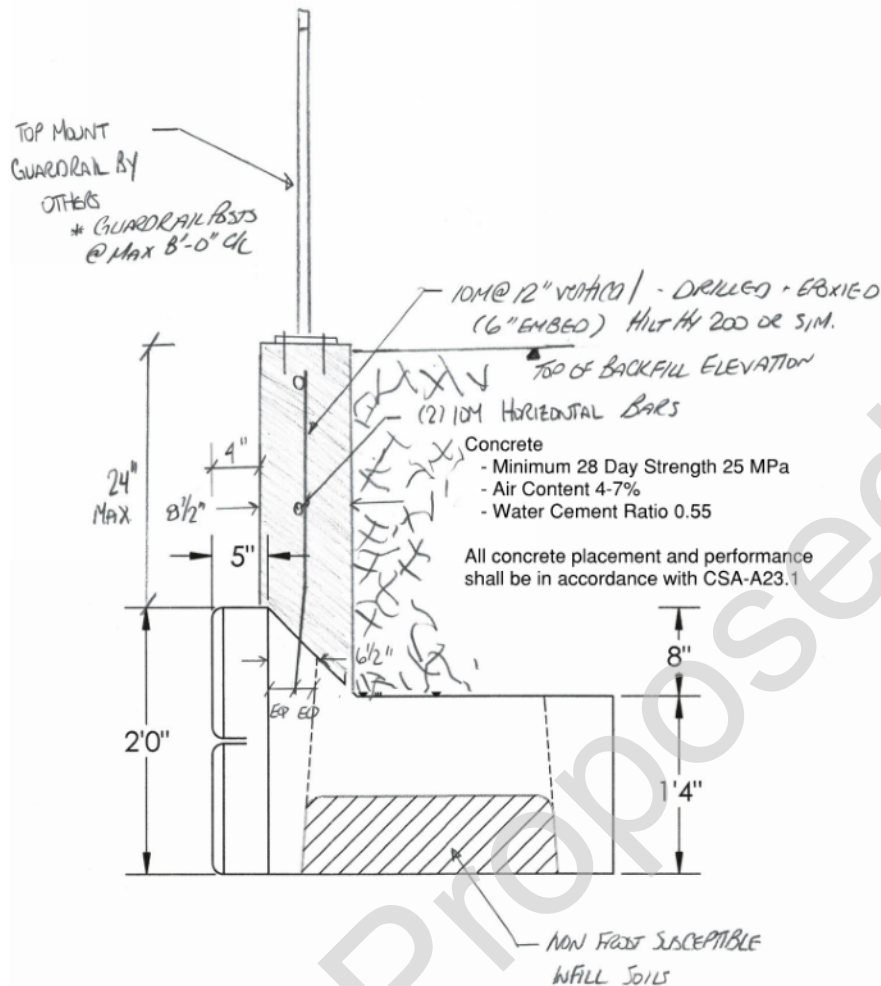


Figure 2: Proposed concrete extension to existing top Verti-block

Conclusions:

The 2 ft extension to the 4ft Verti-block retaining wall as illustrated in Figure 2 is structurally adequate.

WE's comments are based on the information provided to WE. Should new information become available or any discrepancies from this report noted, WE should be given an opportunity to review and provide additional comments. Please do not hesitate to contact us with any questions or concerns.

Sincerely,

Christina Willerton, P. Eng.
Willerton Engineering Ltd.

Appendix A – A Selection of Client Supplied Photos

