



## Report to Council

**To:** Mayor and Council File No: 3900-02  
**Date:** June 8, 2026  
**From:** Caitlyn Wiltsie, Senior Planner  
**Subject:** Zoning Text (Landscape Regulation Updates) Amendment Bylaw 6082 – Council Review

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### **Purpose:**

To update Zoning Bylaw 6000 Section 6 – Landscape and Screening Regulations as part of Zoning Bylaw Phase 2: Refine implementation.

### **Recommendation:**

THAT Bylaw 6082, “Zoning Text (Landscape Regulation Updates) Amendment Bylaw 6082, 2026”, be read a first and second time;

AND FURTHER, that a public hearing be scheduled for Bylaw 6082 on July 20, 2026, at 5:30pm in Council Chambers;

AND FURTHER, that final adoption of Bylaw 6082 be considered subsequent to the approval of the Ministry of Transportation and Transit.

### **Background:**

#### a. Rationale:

Zoning Bylaw 6000 was adopted on June 24, 2024, to repeal and replace the previous Zoning Bylaw 5000. The purpose of the replacement was to implement Provincial legislative amendments related to Bill 35 (Short-Term Rentals Accommodations Act, 2023), Bill 44 (Housing Statutes – Residential Development, 2023), and Bill 47 (Housing Statutes – Transit Oriented Areas, 2023).

To meet the timelines set by the Province for the adoption of the new bylaw, a three phased approach was initiated:

- i. Design: Create Zoning Bylaw 6000 (completed June 24, 2024).
- ii. Refine: Update sections in the bylaw not covered by Provincial legislation, review feedback from the community, and correct potential errors or unintended outcomes (in progress).

- iii. Align: Update Zoning Bylaw 6000 after the adoption of the Official Community Plan, Transportation Plan, and Housing Needs Report, to ensure alignment between the bylaws and support the City's growth over the next 20 years (early 2027).

As part of Phase 2 of the implementation plan, Council adopted Zoning Text (General Updates) Amendment Bylaw 6012 in July 2025. The amendment bylaw captured general text refinement updates to improve clarity and consistency in bylaw application; however, it did not include a comprehensive analysis of Section 6 – Landscape and Screening which was left largely untouched from the previous Zoning Bylaw 5000 and is currently misaligned with the remainder of the bylaw.

#### Proposed Bylaw:

The proposed amendments in Bylaw 6082 (Landscape Regulation Updates) are a component of Phase 2 in the Zoning Bylaw implementation plan.

This amendment package focuses on a comprehensive review of Section 6 – Landscape and Screening to:

- Refine key definitions including soft landscaping, fence, and retaining wall to improve bylaw interpretation;
- Simplify bylaw requirements to balance community objectives and best practices with available resources;
- Update diagrams to improve clarity and communication;
- Incorporate wildfire-risk mitigation standards (FireSmart principles); and
- Improve alignment with the new Official Community Plan Bylaw 6200.

Administration has prepared a chart as an attachment to this report (Attachment 1) that provides a detailed comparison of the current wording, proposed wording, and rationale for each proposed change. In addition, a copy of the proposed updated Section 6 of the bylaw has been included for consideration (Attachment 2).

- b. Relevant Policy/Bylaw/Resolutions/Legislative Authority:

#### Official Community Plan City-Wide Policies (Chapter 4):

The city-wide policies in this Official Community Plan (OCP) work together to direct how the City will achieve balanced and sustainable growth and development to 2045. The following tables provide Administration's analysis of how the proposed bylaw updates align with specific OCP policies and objectives.

Climate and Environment Section 4.2:

<b>4.2.5 Objective: Enhance the community tree canopy.</b>	
<b>Tree Canopy</b>	Policy 4.2.5.1. Harmonize City tree policies across municipal departments, to ensure that protecting, planting, and maintaining new and existing trees is prioritized.
	<i>Administration Comments: The draft bylaw harmonizes policies by providing a consistent framework for trees in landscape buffers and incentivizing the retention of existing trees at time of development.</i>
<b>Tree Canopy</b>	Policy 4.2.5.4. Where tree planting is not feasible due to site constraints, encourage planting of sustainable alternatives, such as low-maintenance and drought resistant shrubs, grasses, and plants.
	<i>Administration Comments: The draft bylaw encourages the planting of sustainable alternatives where tree planting is not feasible due to site constraints by defining Soft Landscaping, including that it encompasses shrubs, ground covers, and ornamental plantings.</i>

<b>8 Actions for Climate and Environment</b>	
<b>Action 5.a</b>	Review and update landscaping regulations in the Zoning Bylaw to include FireSmart principles, guidelines for local drought tolerant species, and proper buffers for properties adjacent to the ALR.
	<i>Administration Comments: The draft bylaw incorporates FireSmart principles through the introduction of wildfire-risk mitigation standards and associated FireSmart zones. It allows landscape areas designed as xeriscape or with drought resistant vegetation to provide a low water alternative to traditional landscaping, and defers to the Ministry of Agriculture’s Guide to Edge Planning which details best practices for buffers adjacent to the Agricultural Land Reserve (ALR).</i>

Community Safety Section 4.6:

<b>4.6.2 Objective: Reduce risk to persons and property from major hazards.</b>	
<b>Emergency Management</b>	Policy 4.6.2.3. Embed emergency management objectives, risk reduction, preparedness, response, and recovery into City plans, policies, bylaws, and construction projects.
	<i>Administration Comments: The draft bylaw incorporates wildfire-risk mitigation standards (FireSmart principles) to reduce risk and enhance community resilience to wildfire events.</i>

Zoning Bylaw 6000

- At its Regular Meeting of June 24, 2024, Council passed the following resolution:  
*THAT Bylaw 6000, “City of Vernon Zoning Bylaw 6000, 2024”, a bylaw to manage the use of land within the corporate boundaries of the City of Vernon in accordance with Part 14 of the Local Government Act be adopted.*
- At its Regular Meeting of July 14, 2025, Council passed the following resolution:  
*THAT Bylaw 6012, “Zoning Text (General Updates) Amendment Bylaw 6012, 2025”, a bylaw to amend Zoning Bylaw 6000, be adopted.*

c. Council’s Strategic Plan Alignment:

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|--|--|
| <input checked="" type="checkbox"/> Governance & Organizational Excellence | <input checked="" type="checkbox"/> Livability |
| <input type="checkbox"/> Recreation, Parks & Natural Areas                 | <input type="checkbox"/> Vibrancy              |
| <input checked="" type="checkbox"/> Environmental Leadership               | <input type="checkbox"/> Not Applicable        |

Governance & Organizational Excellence

The proposed text amendments align with the strategic focus area of Sound Internal Processes, working to support effective and efficient service delivery by improving clarity, consistency, and interpretation of bylaw requirements.

Environmental Leadership

The proposed text amendments align with the strategic focus areas of Climate Action by encouraging the retention and expansion of the urban tree canopy and Building Resilience and Wildfire Management by incorporating wildfire-risk mitigation standards to enhance community resilience.

Livability

The proposed text amendments align with the strategic focus areas of Community Safety by encouraging emergency preparedness through wildfire-risk mitigation standards, and Proactive Planning by incorporating key principles of the Official Community Plan into actionable policy.

d. Committee Recommendations:

N/A

**Financial Implications:**

N/A

**Alternatives & Implications:**

N/A

**Communication:**

Following bylaw adoption, an information bulletin will be posted to the [Zoning & Land Use](#) webpage of the City website with physical copies made available at the Community Services Building. The bulletin will help address common questions, improve public communication, and connect community members with best-practice resources including the [FireSmart BC Landscaping Guide](#).

**Attachments:**

Attachment 1 – Chart of Proposed Text Amendments to Zoning Bylaw 6000  
Attachment 2 – Bylaw 6082 Zoning Text (Landscape Regulation Updates)

Reviewed by: Trisa Atwood, Manager, Community Planning & Sustainability  
Reviewed by: Roy Nuriel, Director, City Planning  
Reviewed by: Terry Barton, General Manager, Planning & Community Services  
Approved by: Carey Herd, Chief Administrative Officer

**Chart of Proposed Text Amendments to Zoning Bylaw 6000 (Bylaw 6082, 2026)**

Text proposed to be removed is identified with a **strikethrough**.  
 Text proposed to be added is identified with an **underline**.  
 Text in **bold** is a glossary term defined within the Zoning Bylaw.

No.	Section	Current Wording	Proposed Wording	Rationale
1.	<p><b>SECTION 2:</b> Interpretation</p> <p><b>2.3 General Definitions</b></p>	<p><b>Landscaping</b> means the preservation or modification of the natural features of a <b>Site</b> at the ground level through the placement or addition of any or a combination of the following: <i>(Bylaw 6012)</i></p> <ul style="list-style-type: none"> <li>i. soft Landscaping elements such as trees, shrubs, ground covers, lawns, gardens, or ornamental plantings of perennials or annual flowers;</li> <li>ii. decorative <b>Hard Surfacing</b> elements in the form of patios, <b>Pathways</b>, and paths consisting of materials such as bricks, pavers, shale, crushed rock, or other suitable materials, excluding monolithic concrete and asphalt; and</li> <li>iii. <b>Architectural Elements</b> such as decorative fencing, walls, trellises, pergolas, permanent site furniture, or sculpture.</li> </ul> <p>In all cases where a combination of soft landscaping, <b>Hard Surfacing</b> or <b>Architectural Elements</b> are used, <b>Soft Landscaping</b> must constitute a majority of the Landscaping area.</p>	<p><b>Landscaping</b> means the preservation or modification of the natural features of a <b>Site</b> at the ground level through the placement or addition of any or a combination of the following: <del><i>(Bylaw 6012)</i></del></p> <ul style="list-style-type: none"> <li>i. <u><b>Soft Landscaping</b></u> <del>elements such as trees, shrubs, ground covers, lawns, gardens, or ornamental plantings of perennials or annual flowers;</del></li> <li>ii. decorative <b>Hard Surfacing</b> elements in the form of patios, <b>Pathways</b>, and paths consisting of materials such as bricks, pavers, shale, crushed rock, or other suitable materials, excluding monolithic concrete and asphalt; and</li> <li>iii. <b>Architectural Elements</b> such as decorative <b>Fencing</b> <del>or walls,</del> trellises, pergolas, permanent site furniture, or sculpture.</li> </ul> <p>In all cases where a combination of <b>Soft Landscaping</b>, <b>Hard Surfacing</b> or <b>Architectural Elements</b> are used, <b>Soft Landscaping</b> must constitute a majority of the Landscaping area.</p>	<p>To defer to the Soft Landscaping definition.</p>

2.	<b>SECTION 2:</b> Interpretation <b>2.3 General Definitions</b>	N/A	<u>Soft Landscaping means soil-based Landscaping and includes plants such as trees, shrubs, ground covers, lawns, gardens, or ornamental plantings of perennial or annual flowers. Soft Landscaping does not include areas without growing medium and plant materials, such as areas that are predominately rock, artificial turf, rubberized surfacing, decks, or Hard Surfacing such as pavers.</u>	To improve clarity in what constitutes Soft Landscaping.
3.	<b>SECTION 2:</b> Interpretation <b>2.3 General Definitions</b>	N/A	<u>Retaining Wall means a Structure constructed to hold back, stabilize, or support soil or other earthen material.</u>	To improve clarity in what constitutes a Retaining Wall.
4.	<b>SECTION 2:</b> Interpretation <b>2.3 General Definitions</b>	N/A	<u>Fence means a Structure made of wood, metal, masonry, or other material that is used as an enclosure or for screening purposes around all or part of a Lot.</u>	To improve clarity in what constitutes a Fence.
5.	<b>SECTION 6:</b> Landscape & Screening <b>6.1 Required Landscaping</b>	6.1.1 The minimum level of <b>Landscaping</b> required in each zone along all <b>Front, Rear</b> and <b>Side Yards</b> shall be determined from the Minimum Landscape Buffer Schedule (Table 6.1) and <b>Landscaping</b> details entitled Minimum Landscape Buffer in Section 6.6, unless otherwise specified as a <b>Landscape</b> corridor in the <i>Official Community Plan</i> (Plan Vernon) or any bylaw replacing same.	6.1.1 The minimum level of <b>Landscaping</b> <del>required</del> in each zone shall follow minimum <del>landscaping</del> <b>Landscaping</b> area <del>criteria standards</del> of the zone, the <del>M</del> minimum <b>Landscape Buffer</b> <del>criteria standards</del> in Section 6.6,7 and Table 6.1. <del>along all Front, Rear and Side Yards shall be determined from the Minimum Landscape Buffer Schedule (Table 6.1) and Landscaping details entitled Minimum Landscape Buffer in Section 6.6, unless otherwise specified as a Landscape corridor in the Official Community Plan (Plan Vernon) or any bylaw replacing same.</del>	To simplify for clarity, and improve consistency in terminology.

6.	<b>SECTION 6:</b> Landscape & Screening  <b>6.1</b> Required Landscaping	6.1.2 In cases where the <b>Lot</b> is to be developed in phases, <b>Landscaping</b> needs to be provided on all lands that are used for the development of a phase. This includes lands that have been graded or filled. <b>Landscaping</b> shall be required in subsequent phases on the remainder of the <b>Lot</b> at the time that these are developed.	6.1.2 In cases where the <b>Lot</b> is to be developed in phases, <b>Landscaping</b> <del>needs to</del> <u>shall</u> be provided on all lands that are used for the development of a phase. This includes lands that have been graded or filled. <b>Landscaping</b> shall be required in subsequent phases on the remainder of the <b>Lot</b> at the time that <del>these are the</del> <u>remainder is</u> developed.	To improve consistency in terminology.
7.	<b>SECTION 6:</b> Landscape & Screening  <b>6.2</b> Landscaping Standards	6.2.1 All required <b>Landscape</b> areas and installations shall meet or exceed the Landscape Standards Bylaw No. 5015, and meet or exceed the <i>Canadian Landscape Standard, current edition, as jointly published by the Canadian Society of Landscape Architects and the Canadian Nursery Landscape Association.</i>	6.2.1 <del>All required Landscape</del> areas and installations <u>shall be regularly maintained by property Owners to meet the Landscape Maintenance Bylaw No. 5015,</u> <del>and</del> meet or exceed the <i>Canadian Landscape Standard, current edition, as jointly published by the Canadian Society of Landscape Architects and the Canadian Nursery Landscape Association.</i>	To synthesize policies 6.2.1 and 6.2.2.
8.	<b>SECTION 6:</b> Landscape & Screening  <b>6.2</b> Landscaping Standards	6.2.2 All required <b>Landscape</b> areas and installations shall be regularly maintained by property <b>Owners</b> to meet the Landscape Maintenance Bylaw No. 5014, and meet or exceed the <i>Canadian Landscape Standard, current edition, as jointly published by the Canadian Society of Landscape Architects and the Canadian Nursery Landscape Association.</i>	N/A	Incorporated into 6.2.1.
9.	<b>SECTION 6:</b> Landscape & Screening	6.2.3 In reference to 6.2.2 above, the <b>Landscape</b> maintenance requirements shall address and provide for the following items in regards to plant material: watering, mulching, pruning,	N/A	To remove redundancy. General property maintenance requirements referenced in Section 5.3 of the Good Neighbor Bylaw.

	<b>6.2</b> Landscaping Standards	fertilizing, liming and tree support, as well as weed, pest and disease control.		
10.	<b>SECTION 6:</b> Landscape & Screening  <b>6.2</b> Landscaping Standards	6.2.4 In reference to 6.2.2 above, the <b>Landscape</b> maintenance requirements shall address and provide for the following items in regards to lawns and grass areas: watering, fertilizing, liming, mowing and trimming, edging, aeration and repairs (regarding, reseeding or resodding), as well as weed, insect and disease control.	N/A	To remove redundancy. General property maintenance requirements referenced in Section 5.3 of the Good Neighbor Bylaw.
11.	<b>SECTION 6:</b> Landscape & Screening  <b>6.2</b> Landscaping Standards	6.2.5 The execution of the above-mentioned Landscape maintenance requirements shall take place on a regular basis to ensure a healthy, neat and orderly appearance throughout the year.	N/A	To remove redundancy. General property maintenance requirements referenced in Section 5.3 of the Good Neighbor Bylaw.
12.	<b>SECTION 6:</b> Landscape & Screening  <b>6.2</b> Landscaping Standards	6.2.6 The above requirements for <b>Landscape</b> maintenance shall be enforced by the City, under Section 3 of this bylaw.	N/A	To remove redundancy within bylaw. General property maintenance requirements referenced in Section 5.3 of the Good Neighbor Bylaw.
13.	<b>SECTION 6:</b> Landscape & Screening  <b>6.2</b> Landscaping Standards	6.2.7 <b>Driveways</b> and walkways shall be located in order to accommodate the required <b>Landscape Buffers</b> of Section 6.7. Required <b>Landscape Buffers</b> shall be continuous along the affected <b>Lot</b> boundaries, interrupted only by walkways,	<del>6.2.2 Driveways and walkways shall be located in order to accommodate the required Landscape Buffers of Section 6.7.</del> <b>Landscape Buffers</b> shall be continuous along the affected <b>Lot</b> boundaries, interrupted only by <u>required Pathways</u>	To simplify for clarity.

		<b>Driveways</b> and required utility service boxes.	<del>walkways, Driveways accesses, and required</del> -utility service boxes.	
14.	<b>SECTION 6:</b> Landscape & Screening  <b>6.2</b> Landscaping Standards	6.2.8 All <b>Landscaped</b> areas will be graded to meet the following criteria: .1 maximum 1:5 slope (20%) for lawn areas; .2 maximum 1:3 slope (33%) for shrub or ground cover area; .3 minimum 1:25 slope (4%) for cross slope for any <b>Landscape</b> area; .4 all <b>Site</b> grading will direct overland drainage along or away from any <b>Landscape Buffer</b> to collection points off-site away from <b>Buildings</b> ; .5 all areas in which the existing slope exceeds 30% are to be identified; and .6 all areas developed and <b>Adjacent</b> lands impacted by development with slopes greater than 30% shall be rehabilitated using indigenous vegetation common to the <b>Site</b> .	<del>6.2.3 All-Landscaped</del> areas <del>will-shall</del> be graded to meet the following <del>criteria standards</del> : .1 maximum 1:5 slope (20%) for lawn areas; .2 maximum 1:3 slope (33%) for shrub or ground cover area; .3 minimum 1:25 slope (4%) for cross slope for any <b>Landscape</b> area; .4 all <b>Site</b> grading will direct overland drainage along or away from any <b>Landscape Buffer</b> to collection points off-site away from <b>Buildings</b> ; .5 all areas in which the existing slope exceeds 30% are to be identified; and .6 all areas developed and <b>Adjacent</b> lands impacted by development with slopes greater than 30% shall be rehabilitated using <del>indigenous native</del> vegetation common to the <b>Site</b> .	To improve consistency in terminology.
15.	<b>SECTION 6:</b> Landscape & Screening  <b>6.2</b> Landscaping Standards	6.2.9 All outdoor storage areas shall have a dust-free surface.	6.2.9 <del>All-e</del> Outdoor storage areas shall have a dust-free surface.	To improve consistency in terminology.

16.	<b>SECTION 6:</b> Landscape & Screening  <b>6.2</b> Landscaping Standards	6.2.10 All construction on-site must occur concurrently with erosion control measures to prevent the pollution, degradation, or siltation of natural areas and <b>Watercourses</b> . This includes the provision of temporary fencing prior to and during construction.	6.2.10 <del>All</del> Construction on-site <del>must shall</del> occur concurrently with erosion control measures to prevent the pollution, degradation, or siltation of natural areas and <b>Watercourses</b> . This includes the provision of temporary <del>fencing</del> <b>Fencing</b> prior to and during construction.	To improve consistency in terminology.
17.	<b>SECTION 6:</b> Landscape & Screening  <b>6.2</b> Landscaping Standards	6.2.11 All required <b>Landscape Buffer</b> areas shall be watered by a fully automatic irrigation system. No run-off onto sidewalks, <b>Streets, Laneways, Alleys</b> or <b>Parking Areas</b> shall be permitted.	<del>6.2.6 All required</del> <b>Soft Landscaping Buffer areas</b> shall be watered by a fully automatic irrigation system. No run-off onto sidewalks, <b>Streets, Laneways, Alleys</b> or <b>Parking Areas</b> shall be permitted.	To improve consistency in terminology.
18.	<b>SECTION 6:</b> Landscape & Screening  <b>6.2</b> Landscaping Standards	6.2.12 Notwithstanding Section 6.2.6, the following areas are exempt from having permanent fully automatic irrigation systems: <ul style="list-style-type: none"> <li>.1 existing areas of undisturbed native vegetation which have been accepted as <b>Landscape Buffer</b> or stream protection leave strips;</li> <li>.2 <b>Landscape</b> areas specifically designed as xeriscape or drought resistant natural species plantings, however temporary irrigation may be required; and</li> <li>.3 <b>Landscape Buffers</b> which are established with drought resistant species to return the area to a natural condition, however temporary irrigation may be required.</li> </ul>	<del>6.2.7 Notwithstanding Despite</del> Section 6.2.6, <b>Soft Landscaping within</b> the following areas <del>are shall be</del> exempt from having permanent fully automatic irrigation systems: <ul style="list-style-type: none"> <li>.1 existing areas of undisturbed native vegetation which have been accepted as <del>Landscape Buffer area or stream protection leave strips an environmentally sensitive area; and</del></li> <li>.2 <b>Soft Landscaping areas</b> specifically designed as xeriscape or <del>with</del> drought resistant <del>natural species plantings vegetation,</del> however temporary irrigation may be required; <del>and</del> .</li> <li>.3 <del>Landscape Buffers which are established with drought resistant species to return the area to a natural condition, however</del></li> </ul>	To improve clarity in application and consistency in terminology used in the Official Community Plan.

			<del>temporary irrigation may be required.</del>	
19.	<b>SECTION 6:</b> Landscape & Screening  <b>6.2</b> Landscaping Standards	6.2.13 Where the retention of native trees and ground cover is required or permitted, a letter from a registered professional landscape architect or registered professional forester shall be submitted, indicating the mitigation measures required during and after the construction to ensure the health of the vegetation.	N/A	To remove redundancy. Vegetation retention during construction governed through the Development Permit approval process.
20.	<b>SECTION 6:</b> Landscape & Screening  <b>6.2</b> Landscaping Standards	6.2.14 New trees and shrubs shall follow a consistent lateral placement and be set back a minimum of 1.0 m from all underground utilities.	<u>6.2.8</u> New trees and shrubs shall <del>follow a consistent lateral placement and be set back</del> be planted a minimum of 1.0 m from <del>all</del> underground utilities.	To improve flexibility in vegetation placement and support local biodiversity.
21.	<b>SECTION 6:</b> Landscape & Screening  <b>6.2</b> Landscaping Standards	N/A	<u>6.2.9 Landscaping, including Landscape Buffers, shall follow minimum wildfire-risk mitigation standards, as measured from the nearest Building or Structure attached to a Building (see Diagram 6.1):</u> .1 <u>Immediate Zone (0 – 1.5 m)</u> a. <u>No new combustible mulch including bark mulch, wood chips, or pine needles; and</u> b. <u>No new coniferous trees or coniferous shrubs. This includes Cedar and Juniper hedges.</u> .2 <u>Intermediate Zone (1.5 – 10.0 m)</u> a. <u>No new coniferous trees within 10.0 m, unless spaced a</u>	To incorporate wildfire-risk mitigation standards based on FireSmart guidance to improve community wildfire resiliency.

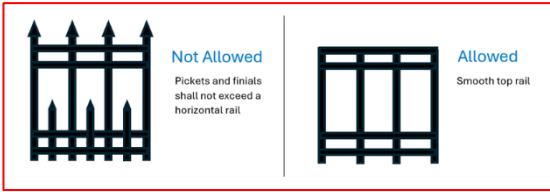
			<p><u>minimum of 6.0 m from the nearest <b>Building</b> with non-combustible exterior finishes and other coniferous trees, and lower branches are pruned to a minimum of 2.0 m in height; and</u></p> <p>b. <u>No new coniferous shrubs. This includes Cedar and Juniper hedges.</u></p> <p>.3 <u>Extended Zone (10.0 – 30.0 m)</u></p> <p>a. <u>New coniferous trees and shrubs shall be spaced to ensure a minimum horizontal separation of 3.0 m at maturity.</u></p>	
22.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.2</b> Landscaping Standards</p>	N/A	<p><i>Diagram 6.1 – FireSmart Zones</i></p>	To clarify the wildfire-risk mitigation standards referenced in 6.2.9.
23.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.3</b> Refuse and Recycling Bins</p>	6.3.2 All <b>Site</b> refuse and recycling bins in zones other than agricultural zones, including all other large receptacles used for the <b>Temporary Storage</b> of materials, require opaque screening from <b>Adjacent Lots</b> and <b>Streets</b> .	6.3.2 <del>All Above-ground-Site</del> refuse and recycling bins <del>in zones other than agricultural zones</del> , including all other large receptacles used for the <b>Temporary Storage</b> of materials, require opaque screening from <b>Adjacent Lots</b> and <b>Streets</b> , <del>except in agricultural zones</del> .	To improve consistency in terminology, and to remove screening requirements for in-ground refuse and recycling bins which have a lesser visual impact compared to above-ground bins.
24.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p>	6.3.3 All screening will be a minimum of 2.0 m in <b>Height</b> to a maximum <b>Height</b> that is equivalent to the <b>Height</b> of the refuse or recycling bin.	6.3.3 <del>All s</del> Screening <del>will shall</del> be a minimum of 2.0 m in height to a maximum height that is equivalent to the height of the refuse or recycling bin.	To improve consistency in terminology. Height definition in bylaw refers to buildings, so it is not applicable here.

	<b>6.3 Refuse and Recycling Bins</b>			
25.	<b>SECTION 6:</b> Landscape & Screening  <b>6.3 Refuse and Recycling Bins</b>	6.3.4 All sides open to public view shall be screened by the additional planting of shrub and groundcover material at least 1.5 m in <b>Height</b> .	6.3.4 <del>All s</del> Sides open to public view shall be screened by the additional planting of shrub and groundcover material at least 1.5 m in <del>Height</del> <u>height</u> .	To improve consistency in terminology. Height definition in bylaw refers to buildings, so it is not applicable here.
26.	<b>SECTION 6:</b> Landscape & Screening  <b>6.3 Refuse and Recycling Bins</b>	6.3.8 All refuse and recycling bins should be sited as far away from <b>Watercourses</b> as possible.	<del>6.3.7 All r</del> Refuse and recycling bins <del>should</del> <u>shall</u> be sited as far away from <b>Watercourses</b> as possible.	To improve consistency in terminology.
27.	<b>SECTION 6:</b> Landscape & Screening  <b>6.4 Public Amenity Areas</b>	6.4.1 <b>Public Amenity Areas</b> , when permitted pursuant to Section 6.6, must be solely for pedestrian <b>Use</b> and accessible to the public from both the <b>Street</b> and from the development.	6.4.1 <b>Public Amenity Areas</b> , when permitted pursuant to <del>Section 6.6 Table 6.1</del> , <del>must</del> <u>shall</u> be solely for pedestrian <b>Use</b> and accessible to the public from both the <b>Street</b> and from the development.	To improve consistency in terminology.
28.	<b>SECTION 6:</b> Landscape & Screening  <b>6.4 Public Amenity Areas</b>	6.4.4. For any <b>Public Amenity Area</b> in lieu of a <b>Landscape Buffer</b> , the following are minimum requirements:  .1 all <b>Hard Surface</b> areas shall use a decorative paving surface;  .1 a minimum of two benches for public seating shall be provided;	6.4.4 <del>For any Public Amenity Areas</del> in lieu of a <b>Landscape Buffer</b> , <del>the following are minimum requirements shall include, at minimum:</del>  .1 <del>all Hard Surface areas shall</del> use a decorative paving surface <u>for all Hard Surface areas</u> ;  .2 <del>a minimum of two benches for public seating shall be provided;</del>	To simplify bylaw requirements and align minimum tree sizing with sizing noted elsewhere in the bylaw.

		<p>.2 a minimum of 3 trees, with minimum 65 mm <b>Caliper</b> and rootball of 900 mm, shall be provided; and</p> <p>.3 pedestrian and decorative lighting must be provided.</p>	<p>.3 <del>a minimum of 3</del> Shade trees, with <del>minimum 65 mm Caliper and rootball of 900 mm, shall be provided</del> <u>a Caliper of 40 mm and a clear stem height of 1.5 m</u>; and</p> <p>.4 <del>Decorative lighting and a minimum of two benches for public seating pedestrian and decorative lighting must be provided.</del></p>	
29.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.5</b> Fencing and Retaining Walls</p>	<p><b><u>6.5 Fencing and Retaining Walls</u></b></p>	<p><b><u>6.5 Fencing and Retaining Walls</u></b></p>	To separate fencing and retaining wall regulations for clarity.
30.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.5</b> Fencing and Retaining Walls</p>	<p>6.5.1 Subject to traffic sight lines, the following <b>Height</b> limitation shall apply to fences, and walls in all housing and mixed-use zones:</p> <p>.1 1.2 m (4.0 ft) if situated along the <b>Lot Lines</b> or within the <b>Setback</b> abutting a <b>Street</b>;</p> <p>.2 2.0 m (6.4 ft) if situated behind the <b>Setback</b> abutting a <b>Street</b>; <i>(Bylaw 6012)</i></p> <p>.3 2.0 m (6.4 ft) if situated along a <b>Lot Line</b> not abutting a <b>Street</b>.</p> <p>Notwithstanding 6.5.1.1 One gate for pedestrian access may be 2.0 m in height with a maximum width of 1.0 m in situated along the <b>Lot Lines</b> or within the <b>Setback</b> abutting a <b>Street</b>. <i>(Bylaw 6012)</i></p>	<p>6.5.1 Subject to traffic sight lines, <del>the following Height limitation shall apply to fences, and walls in all housing and mixed-use zones</del> <u>Fence height measured from Natural Grade shall not exceed:</u></p> <p>.1 <del>1.2 m (4.0 ft) if situated along the Lot Lines or within the Setback abutting a Street;</del></p> <p>.2 <del>2.0 m (6.4 ft) if situated behind the Setback abutting a Street; (Bylaw 6012)</del></p> <p>.3 <del>2.0 m (6.4 ft) if situated along a Lot Line not abutting a Street.</del></p> <p>.1 <u>1.2 m in housing, resort, community, and commercial mixed-use zones.</u></p> <p>.2 <u>2.4 m in industrial and servicing zones.</u></p> <p><u>Notwithstanding Despite Section 6.5.1.1:</u></p> <p>.3 <u>The maximum Fence height may increase to 2.0 m if situated behind the Setback</u></p>	To improve clarity in interpretation, including where height is measured from and for which zones fence height limitations apply.

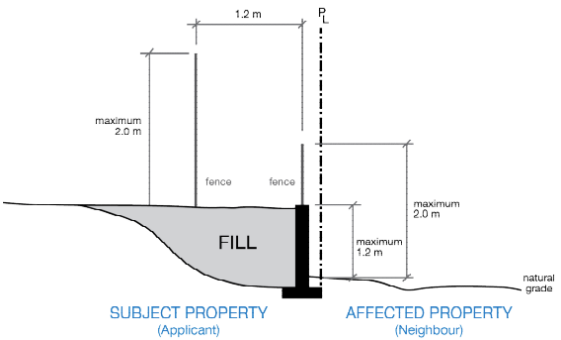
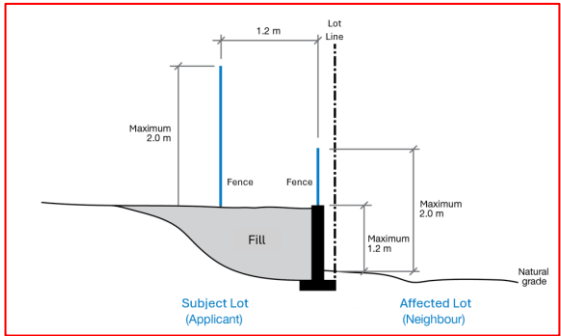
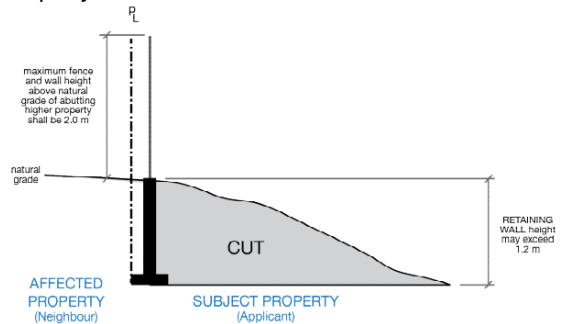
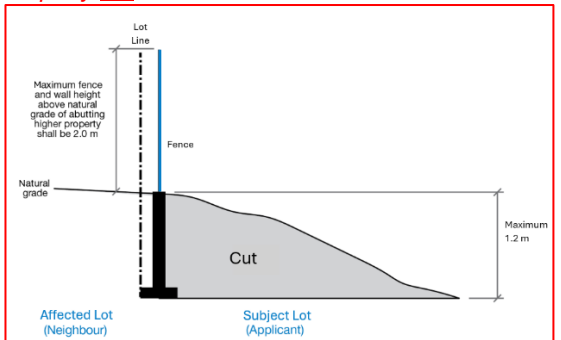
			<p><u>abutting a Street, or along a Lot Line not abutting a Street;</u></p> <p>.4 <u>The maximum Fence height may increase to 2.4 m where abutting an agricultural or industrial zone; and</u></p> <p>.5 One gate for pedestrian access may be 2.0 m in height with a maximum width of 1.0 m if situated along the <b>Lot Lines</b> or within the <b>Setback</b> abutting a <b>Street</b>.</p>	
31.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.5</b> Fencing and Retaining Walls</p>	6.5.2 Screen fences shall be consistent with the quality of <b>Building</b> design and materials of the <b>Principal Building</b> .	N/A	To simplify bylaw requirements. Fencing material is a development permit consideration that is covered under the Design Guidelines within the Official Community Plan.
32.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.5</b> Fencing and Retaining Walls</p>	6.5.3 Screening fences required for outdoor storage areas for <b>Temporary Shelter Services</b> shall be a combination of opaque and translucent or lattice design to ensure nature surveillance is permitted into the space. Screen fences and walls shall complement <b>Building</b> design and materials.	N/A	To simplify bylaw requirements. Screening requirements for Temporary Shelter Services are covered under 5.10.1.2.
33.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.5</b> Fencing and Retaining Walls</p>	6.5.4 Fencing type may be established in neighbourhood plans, building schemes or by precedent from <b>Adjacent Lots</b> .	N/A	To simplify bylaw requirements.

34.	<b>SECTION 6:</b> Landscape & Screening  <b>6.5</b> Fencing and Retaining Walls	6.5.5 Wood fences shall be designed to a high level of finish with materials of lumber grade standard or better. Wood posts shall be treated against rotting to provide for the longevity of the fence. Fences shall be constructed with all components of sufficient size, materials, and strength to prevent sagging and to minimize rot. Along sloping ground, the top of wood fences shall be horizontal with vertical drops at the posts.	N/A	To simplify bylaw requirements.
35.	<b>SECTION 6:</b> Landscape & Screening  <b>6.5</b> Fencing and Retaining Walls	6.5.6 Screening fences shall be opaque double-sided construction. Where screen fences are allowed or required by this bylaw, they shall be of an opaque or a combination of opaque, translucent or lattice design.	N/A	Incorporated into 6.5.3.
36.	<b>SECTION 6:</b> Landscape & Screening  <b>6.5</b> Fencing and Retaining Walls	6.5.7 No fence constructed at the <b>Natural Grade</b> in housing zones, shall exceed 2.0 m in <b>Height</b> , except where abutting an agricultural or commercial zone the maximum <b>Height</b> is 2.4 m. No fence shall have pickets or finials extending above a horizontal rail that may pose a danger to wildlife.	<del>6.5.3 No fence constructed at the <b>Natural Grade</b> in housing zones, shall exceed 2.0 m in <b>Height</b>, except where abutting an agricultural or commercial zone the maximum <b>Height</b> is 2.4 m. No fence shall have pickets or finials extending above a horizontal rail that may pose a danger to wildlife.</del>  <u>No Fence shall have pickets or finials extending above a horizontal rail that may pose a danger to wildlife (see Diagram 6.2).</u>	To improve understanding of what fence types may pose a danger to wildlife. Height requirements incorporated into 6.5.1.

37.	<b>SECTION 6:</b> Landscape & Screening  <b>6.5</b> Fencing and Retaining Walls	N/A	<p><i>Diagram 6.2 — Fencing Types</i></p>  <p><b>Not Allowed</b> Pickets and finials shall not exceed a horizontal rail</p> <p><b>Allowed</b> Smooth top rail</p>	To improve understanding of what fence types may pose a danger to wildlife.
38.	<b>SECTION 6:</b> Landscape & Screening  <b>6.5</b> Fencing and Retaining Walls	6.5.8 No fence in a commercial or industrial zone shall exceed 2.4 m.	<del>6.5.8 No fence in a commercial or industrial zone shall exceed 2.4 m</del>	Incorporated into 6.5.1.
39.	<b>SECTION 6:</b> Landscape & Screening  <b>6.5</b> Fencing and Retaining Walls	6.5.9 Industrial zones are to have an opaque 2.4 m high fence along all <b>Lot Lines</b> abutting non-industrial zones and around <b>Wrecking Yards</b> that are visible from a <b>Street</b> abutting the <b>Lot</b> .	<u>6.5.2</u> Industrial zones <del>are to</del> <b>shall</b> have an opaque 2.4 m high <b>Fence</b> along <del>all</del> <b>Lot Lines</b> abutting non-industrial zones and around <b>outdoor Vehicle Storage facilities</b> or <b>Wrecking Yards</b> that are visible from a <b>Street</b> abutting the <b>Lot</b> .	To improve consistency in terminology.
40.	<b>SECTION 6:</b> Landscape & Screening  <b>6.5</b> Fencing and Retaining Walls	6.5.10 No barbed wire or electrified <b>Fencing</b> shall be allowed except: <ul style="list-style-type: none"> <li>.1 in ALR, AGRL, and AGRS zones for use in livestock enclosures; and</li> <li>.2 in CMTY zone where the <b>Site</b> is used for a <b>Detention Facility</b>.</li> </ul> Razor wire <b>Fences</b> shall not be permitted in any zone.	<u>6.5.4</u> No barbed wire or electrified <b>Fencing</b> shall be allowed, except: <ul style="list-style-type: none"> <li>.1 in <del>ALR, AGRL, and AGRS</del> <b>agricultural</b> zones for use in livestock enclosures; and</li> <li>.2 in <del>CMTY</del> <b>community</b> zones where the <b>Site</b> is used for a <b>Detention Facility</b>.</li> </ul> Razor wire <b>Fences</b> shall not be permitted in any zone.	To improve consistency in terminology.

41.	<b>SECTION 6:</b> Landscape & Screening  <b>6.5</b> Fencing and Retaining Walls	N/A	<u><b>6.6. Retaining Walls</b></u>	To add an independent section for retaining walls for clarity.
42.	<b>SECTION 6:</b> Landscape & Screening  <b>6.5</b> Fencing and Retaining Walls	6.5.11 Retaining walls on all housing-based <b>Lots</b> , except those required as a condition of subdivision approval, must not exceed a <b>Height</b> of 1.2 m measured from <b>Grade</b> on the lower side, and must be constructed so that multiple retaining walls are spaced to provide at least a 1.2 m horizontal separation between them.	<del>6.6.1 Retaining walls on all housing-based <b>Lots</b>, except those required as a condition of subdivision approval, must not exceed a <b>Height</b> of 1.2 m measured from <b>Grade</b> on the lower side, and must be constructed so that multiple retaining walls are spaced to provide at least a 1.2 m horizontal separation between them.</del>  <u>Retaining Wall height, measured from <b>Natural Grade</b> on the lower side of the wall, shall not exceed 1.2 m, except for retaining walls required as a condition of subdivision approval.</u>	To simplify bylaw requirements, spacing consideration moved to 6.6.2.
43.	<b>SECTION 6:</b> Landscape & Screening  <b>6.5</b> Fencing and Retaining Walls	N/A	<del>6.6.2 At least 1.2 m horizontal separation shall be provided between <b>Retaining Wall</b> tiers.</del>	To improve clarity.
44.	<b>SECTION 6:</b> Landscape & Screening  <b>6.5</b> Fencing and Retaining Walls	6.5.12 In the case of a retaining wall constructed in accordance with Section 6.5.11, the combined <b>Height</b> of a fence on top of a retaining wall at the <b>Lot Line</b> or within 1.2 m of the <b>Lot Line</b> shall not exceed 2.0 m, measured from <b>Natural Grade</b> at the <b>Lot Line</b> (see Diagram 6.1)	<del>6.6.3 In the case of a retaining wall constructed in accordance with Section 6.5.11, the combined <b>Height</b> of a fence on top of a retaining wall at the <b>Lot Line</b> or within 1.2 m of the <b>Lot Line</b> shall not exceed 2.0 m, measured from <b>Natural Grade</b> at the <b>Lot Line</b> (see Diagram 6.1)</del>	To improve clarity.

			<p><u>Where the subject <b>Lot</b> is higher than the affected <b>Lot</b>, the combined height of a <b>Fence</b> and <b>Retaining Wall</b> at the <b>Lot Line</b> or within 1.2 m of the <b>Lot Line</b> shall not exceed 2.0 m, measured from <b>Natural Grade</b> at the <b>Lot Line</b> (see Diagram 6.3).</u></p>	
45.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.5</b> Fencing and Retaining Walls</p>	<p>6.5.13 Notwithstanding Section 6.5.11, a retaining wall may be higher than 1.2 m, measured from <b>Grade</b>, where the <b>Natural Grade</b> of the subject <b>Lot</b> is lower than the abutting <b>Lot</b> (see Diagram 6.2).</p>	<p><del>6.6.4 Notwithstanding Section 6.5.11, a retaining wall may be higher than 1.2 m, measured from <b>Grade</b>, where the <b>Natural Grade</b> of the subject <b>Lot</b> is lower than the abutting <b>Lot</b> (see Diagram 6.2).</del></p> <p><u>Where the subject <b>Lot</b> is lower than the affected <b>Lot</b>, the combined height of a <b>Fence</b> and the portion of the <b>Retaining Wall</b> that extends above the <b>Natural Grade</b> of the affected <b>Lot</b> shall not exceed 2.0 m, measured from the <b>Natural Grade</b> at the <b>Lot Line</b> (see Diagram 6.4).</u></p>	To improve clarity.
46.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.5</b> Fencing and Retaining Walls</p>	<p>6.5.14 In the case of a retaining wall constructed in accordance with Section 6.5.13, the maximum <b>Height</b> of a fence, or portion of retaining wall extending above the <b>Natural Grade</b> of the abutting higher <b>Lot</b>, or combination thereof, shall be 2.0 m, measured from the <b>Natural Grade</b> of the abutting higher property (see Diagram 6.2).</p>	N/A	Incorporated into 6.6.2.

47.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.5 Fencing and Retaining Walls</b></p>	<p>6.5.15 Notwithstanding Section 6.5.14, where an affected property remains at <b>Natural Grade</b> and the subject <b>Lot</b> constructs a retaining wall and a fence within 1.2 m of the <b>Lot Line</b>, the maximum <b>Height</b> for a fence on the affected <b>Lot</b> shall be no greater than 1.8 m above the <b>Height</b> of the retaining wall or 2.0 m whichever is less (see Diagram 6.1).</p>	N/A	Incorporated into 6.6.3.
48.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.5 Fencing and Retaining Walls</b></p>	<p><i>Diagram 6.1 – Retaining Wall on Higher Subject Property</i></p> 	<p><i>Diagram 6.1-3 – Retaining Wall on Higher Subject Property Lot</i></p> 	To improve consistency in terminology.
49.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.5 Fencing and Retaining Walls</b></p>	<p><i>Diagram 6.2 – Retaining Wall on Lower Subject Property</i></p> 	<p><i>Diagram 6.2 4 – Retaining Wall on Lower Subject Property Lot</i></p> 	To improve consistency in terminology.

50.	<b>SECTION 6:</b> Landscape & Screening  <b>6.6</b> Minimum Landscape Buffers	<u><b>6.6</b> Minimum Landscape Buffers</u>	<del><b>6.67</b> Minimum Landscape Buffers</del>	To correct numbering.
51.	<b>SECTION 6:</b> Landscape & Screening  <b>6.6</b> Minimum Landscape Buffers	6.6.1 <b>Landscape Buffers</b> , of a design as shown on the Minimum Landscape Buffer Treatment Drawings (Levels 1 through 5), for the <b>Front Yard</b> , <b>Side Yards</b> , and <b>Rear Yard</b> depending upon the zone as indicated by Section 6.6.5, are as follows: <ol style="list-style-type: none"> <li>.1 Level 0: no specific guidelines for the design of the <b>Landscape Buffer</b>;</li> <li>.2 Level 1: a minimum 1.5 m <b>Landscape Buffer</b> is required and will consist of a vegetative buffer only, unless a fence is required for other reasons;</li> <li>.3 Level 2: a minimum 1.5 m vegetative <b>Landscape Buffer</b> combined with a fence is required;</li> <li>.4 Level 3: a minimum 2.0 m vegetative <b>Landscape Buffer</b> combined with a fence is required;</li> <li>.5 Level 4: a minimum 3.0 m <b>Landscape Buffer</b> is required; and</li> <li>.6 Level 5: a <b>Landscape Buffer</b> is required for all land abutting ALR land where non-farm <b>Uses</b> exist. The minimum buffer shall meet the</li> </ol>	<del>6.7.1 <b>Landscape Buffers</b>, of a design as shown on the Minimum Landscape Buffer Treatment Drawings (Levels 1 through 5), for the <b>Front Yard</b>, <b>Side Yards</b>, and <b>Rear Yard</b> depending upon the zone as indicated by Section 6.6.5, are as follows:</del> <ol style="list-style-type: none"> <li>.1 <del>Level 0: no specific guidelines for the design of the <b>Landscape Buffer</b>;</del></li> <li>.2 <del>Level 1: a minimum 1.5 m <b>Landscape Buffer</b> is required and will consist of a vegetative buffer only, unless a fence is required for other reasons;</del></li> <li>.3 <del>Level 2: a minimum 1.5 m vegetative <b>Landscape Buffer</b> combined with a fence is required;</del></li> <li>.4 <del>Level 3: a minimum 2.0 m vegetative <b>Landscape Buffer</b> combined with a fence is required;</del></li> <li>.5 <del>Level 4: a minimum 3.0 m <b>Landscape Buffer</b> is required; and</del></li> <li>.6 <del>Level 5: a <b>Landscape Buffer</b> is required for all land abutting ALR land where non-farm <b>Uses</b> exist. The minimum buffer shall meet the</del></li> </ol>	To improve clarity. Most buffer specifications have been incorporated into Table 6.1.

		<p>guidelines in the Landscape Buffer Specifications document prepared by the Agricultural Land Commission.</p>	<p><del>guidelines in the Landscape Buffer Specifications document prepared by the Agricultural Land Commission</del></p> <p><u>Landscape Buffers shall follow Table 6.1 – Minimum Landscape Buffer Schedule, except:</u></p> <ol style="list-style-type: none"> <li>.1 <u>all lands <b>Adjacent</b> to provincial highways, shall have a 3.0 m <b>Landscape Buffer Adjacent</b> to the highway unless superseded by development permit area guidelines;</u></li> <li>.2 <u>Comprehensive development zones shall specify the <b>Landscape Buffer</b> for the comprehensive development <b>Site</b>; and</u></li> <li>.3 <u>Land with non-farm <b>Use</b> that abuts Agricultural Land Reserve shall have a <b>Landscape Buffer</b> that meets the Ministry of Agriculture's <i>Guide to Edge Planning</i>.</u></li> </ol>	
52.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.6</b> Minimum Landscape Buffers</p>	<p>6.6.2 Trees shall be spaced, on average, to the dimensions specified in the approved drawings. The equivalent of 1 tree per 10.0 lineal metre of required <b>Landscape Buffer</b>, including walkways, <b>Driveways</b> and required utility boxes, shall be planted on the subject property. Deciduous trees shall have a minimum <b>Caliper</b> of 60 mm with a minimum clearstem <b>Height</b> of 1.5 m. Conifers shall be a minimum of 2.5 m high. Irrigated No. 2 pot shrubs are to be placed at a maximum spacing of 1.0 m on center with 10 cm ground cover at a maximum spacing of 0.5 m on center. The</p>	<p><del>6.7.3 Trees shall be spaced, on average, to the dimensions specified in the approved drawings. The equivalent of 1 tree per 10.0 lineal metre of required <b>Landscape Buffer</b>, including walkways, <b>Driveways</b> and required utility boxes, shall be planted on the subject property. Deciduous trees shall have a minimum <b>Caliper</b> of 60 mm with a minimum clearstem <b>Height</b> of 1.5 m. Conifers shall be a minimum of 2.5 m high. Irrigated No. 2 pot shrubs are to be placed at a maximum spacing of 1.0 m on center with 10 cm ground cover at a maximum spacing of 0.5 m on center. The equivalent of 1 shrub per 1 linear</del></p>	<p>To improve clarity. Shrub specifications incorporated in 6.7.4.</p>

equivalent of 1 shrub per 1 linear metre of required **Landscape Buffer**, including walkways, **Driveways**, and required utility boxes, shall be planted on the subject **Lot**. The shrubs shall be irrigated No. 2 pot shrubs and are to be placed at a maximum spacing of 1.0 m on centre.

~~metre of required **Landscape Buffer**, including walkways, **Driveways**, and required utility boxes, shall be planted on the subject **Lot**. The shrubs shall be irrigated No. 2 pot shrubs and are to be placed at a maximum spacing of 1.0 m on centre.~~

Trees in the **Landscape Buffer** shall meet the following minimum standards:

- .1 the equivalent of 1 tree per 10 linear meters of **Landscape Buffer**, including required **Pathways**, **Driveway** accesses, and utility boxes, shall be planted and/or retained on the subject property. The linear metre calculation is used to determine the minimum number of trees to be planted and/or retained not the minimum spacing;
- .2 trees shall be planted in a soil volume capable of supporting tree health at maturity;
- .3 trees shall be spaced to maximize shading to sidewalks and other pedestrian **Pathways**;
- .4 deciduous trees shall have a minimum **Caliper** of 40 mm with a minimum clear stem height of 1.5 m;
- .5 conifers shall be a minimum of 2.5 m high;
- .6 when existing trees that are retained in a **Landscape Buffer** have a minimum **Caliper** of 150 mm, they may count double

			<p><u>towards meeting these standards; and</u></p> <p><u>.7 when existing trees that are retained in a Landscape Buffer have a minimum Caliper of 250 mm, they may count triple towards meeting these standards.</u></p>	
53.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.6</b> Minimum Landscape Buffers</p>	<p>6.6.3 In order to provide heritage trees for future generations, trees required according to Section 6.6.3 shall include legacy trees. One out of every ten trees required according to Section 6.6.3 shall be designated as a legacy tree and accordingly located and identified on approved drawings. A minimum of 1 legacy tree shall be provided.</p>	N/A	To improve clarity. Heritage trees are not referenced elsewhere in bylaw.
54.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.6</b> Minimum Landscape Buffers</p>	N/A	<p><u>6.7.4 Shrubs in the Landscape Buffer shall meet the following minimum standards:</u></p> <p><u>.1 the equivalent of 1 shrub per 1 linear meters of Landscape Buffer, including required Pathways, Driveway accesses, and utility boxes, shall be planted and/or retained on the subject property. The linear metre calculation is used to determine the minimum number of shrubs to be planted and/or retained not the minimum spacing; and</u></p> <p><u>.2 shrubs shall be no. 2 pot size.</u></p>	To improve clarity.

55.	<b>SECTION 6:</b> Landscape & Screening  <b>6.6</b> Minimum Landscape Buffers	6.6.4 Trees or shrubs higher than 0.6 m shall not be located in the visual triangle indicated on the drawings and specified by the City of Vernon Traffic Bylaw No. 5600.	6.7.5 Trees or shrubs higher than 0.6 m shall not be located in the visual triangle indicated on the drawings and specified by the City of Vernon Traffic Bylaw No. 5600 ( <a href="#">see Diagram 6.5</a> ).	To improve clarity.
56.	<b>SECTION 6:</b> Landscape & Screening  <b>6.6</b> Minimum Landscape Buffers	6.6.5 Where a visual screen is required, it may consist of either vegetation or decorative fence or wall. The minimum <b>Height</b> of the screen is 1.2 m for Level 3 (at maturity for vegetation, planted at a minimum of 1.0 m high on an maximum spacing of 1.0 m on center), 1.5 m for Level 4, and 1.8 m for Level 5.	N/A	To simplify bylaw requirements.
57.	<b>SECTION 6:</b> Landscape & Screening  <b>6.6</b> Minimum Landscape Buffers	6.6.6 Notwithstanding Section 6.6.1, buffer widths may be reduced to the width of the actual <b>Setback</b> of the <b>Building</b> or <b>Structure</b> if the actual Setback of the <b>Building</b> or <b>Structure</b> is narrower than the buffer specified in Section 6.6.1.	<del>6.7.2 Notwithstanding Section 6.6.1</del> <b>Despite Section 6.7.1, Landscape Buffer</b> widths may be reduced to the width of the actual <b>Setback</b> of the <b>Building</b> or <b>Structure</b> if the actual <b>Setback</b> of the <b>Building</b> or <b>Structure</b> is narrower than the <del>buffer</del> <b>Landscape Buffer</b> specified in <del>Section 6.6.1</del> <b>Table 6.1</b> .	To correct numbering.
58.	<b>SECTION 6:</b> Landscape & Screening  <b>6.6</b> Minimum Landscape Buffers	6.6.7 Notwithstanding Section 6.6.1, parking lots abutting major roads as identified on Map 4 of <i>Official Community Plan</i> , require an additional <b>Landscape Buffer</b> of a minimum of 3.0 m.	N/A	To simplify bylaw requirements. Enhanced landscape buffer criteria for properties adjacent to provincial highways are covered in 6.7.1.
59.	<b>SECTION 6:</b> Landscape & Screening	6.6.8 Notwithstanding any other provisions in this bylaw, where leave strips are required along stream corridors in accordance with the <i>Official Community</i>	N/A	To simplify bylaw requirements. <i>Riparian Areas Protection Regulation</i> requirements are addressed through the DPA 2 -

	<p><b>6.6</b> Minimum Landscape Buffers</p>	<p><i>Plan</i>, the land and vegetation shall remain undisturbed. In the case of leave strips along Okanagan Lake, land is to remain in its natural condition or be <b>Landscaped</b> in a manner that either enhances conditions for fish and wildlife or maintains conditions equivalent to those that would have existed had no development occurred. Retaining walls along the Okanagan Lake waterfront are permitted under the terms of a development permit where required to protect lakefront property.</p>		<p>Aquatic Ecosystem Development Permit process.</p>
<p>60.</p>	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.6</b> Minimum Landscape Buffers</p>	<p>6.6.9 In addition to the minimum <b>Landscape Buffer</b> treatment levels above:</p> <ul style="list-style-type: none"> <li>.3 all lands adjacent to provincial highways, except those in agricultural zones and within Town Centres, are required to have Level 4 <b>Landscape Buffer</b> treatment unless superceded by development permit area guidelines;</li> <li>.4 <i>(Deleted – Bylaw 6012)</i></li> <li>.5 all industrial zone properties shall have a Level 3 buffer zone when <b>Adjacent</b> to non-industrial zone properties;</li> <li>.6 all commercial zoned properties shall have a Level 3 buffer zone when <b>Adjacent</b> to non-commercial and non-industrial properties;</li> <li>.7 CD zones shall specify Landscape Buffer treatment for the CD <b>Site</b>;</li> </ul>	<p>N/A</p>	<p>To simplify bylaw requirements. Applicable portions have been incorporated into 6.7.1.</p>

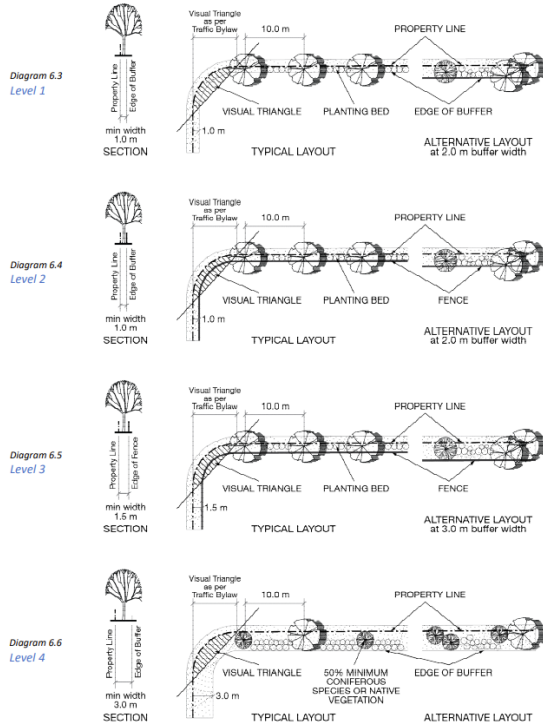
		<p>.8 all non-secondary surface parking <b>Lots</b> in a commercial zone shall have a Level 3 buffer zone;</p> <p>.9 required <b>Landscape</b> islands in parking areas shall have the same level of <b>Landscaping</b> as a Level 1 buffer zone; and</p> <p>.10 <b>Recreational Vehicle</b> parking compounds in housing zones shall have a Level 4 buffer zone.</p>		
61.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.6</b> Minimum Landscape Buffers</p>	6.6.10 Notwithstanding Section 6.6.1, all landscape areas should reflect the character and intent of the <i>Official Community Plan</i> .	N/A	To simplify bylaw requirements.
62.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.6</b> Minimum Landscape Buffers</p>	6.6.11 Where a <b>Side Yard Landscape Buffer</b> treatment is required and an opaque barrier is included in the <b>Landscape Buffer</b> Treatment Design, the opaque barrier may be located at the <b>Lot Line</b> .	N/A	To simplify bylaw requirements.
63.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.6</b> Minimum Landscape Buffers</p>	6.6.12 <b>Landscape Buffer</b> treatments for <b>School Sites</b> may be amended from the standards indicated in Table 6.1 - Minimum Landscape Buffer Schedule. Where changes to the standards are proposed, supporting documentation from a registered <b>Landscape</b> architect must be provided that contains that the following objectives have been met:	<del>6.7.6 Landscape Buffers treatments</del> for <b>School Sites</b> may be amended from the standards indicated in Table 6.1— <del>Minimum Landscape Buffer Schedule</del> . Where changes to the standards are proposed, supporting documentation from a registered <b>Landscape</b> <del>a</del> Architect <del>must—shall</del> be provided <del>that contains that confirm the following objectives have been met:</del>	To improve consistency in terminology.

		<p>.1 that sufficient screening to <b>Adjacent</b> housing-based <b>Lots</b> has been achieved;</p> <p>.2 that adequate <b>Landscaping</b> has been provided to provide shade for <b>Buildings</b> and play areas;</p> <p>.3 <b>Driveway</b> entrances and <b>Parking Areas</b> have been appropriately <b>Landscaped</b> for optimization of screening and vehicular <b>Site</b> lines; and</p> <p>.4 <b>Landscaping</b> around active play areas ensures safety to children on the <b>School</b> grounds.</p> <p>Where perimeter <b>Landscaping</b> cannot be provided due to any of the above noted objectives, the School District will be required to provide or upgrade boulevard trees on all abutting <b>Streets</b>.</p>	<p>.1 <del>that</del> sufficient screening to <b>Adjacent</b> housing-based <b>Lots</b> has been achieved;</p> <p>.2 <del>that</del> adequate <b>Landscaping</b> has been provided to provide shade for <b>Buildings</b> and play areas;</p> <p>.3 <b>Driveway</b> <del>entrances</del> <u>accesses</u> and <b>Parking Areas</b> have been appropriately <b>Landscaped</b> for optimization of screening and vehicular <b>Site</b> lines; and</p> <p>.4 <b>Landscaping</b> around active play areas ensures safety to children on the <b>School</b> grounds.</p> <p>Where perimeter <b>Landscaping</b> cannot be provided due to any of the above noted objectives, the School District <del>will</del> <u>shall</u> be required to provide or upgrade boulevard trees on <del>all</del> abutting <b>Streets</b>.</p>	
64.	<p><b>SECTION 6:</b> Landscape &amp; Screening</p> <p><b>6.6</b> Minimum Landscape Buffers</p>	Table 6.1 – Minimum Landscape Buffer Schedule (see below)	Table 6.1 – Minimum Landscape Buffer Schedule (see below)	<p>To rework the existing table to improve clarity.</p> <p>Landscape buffer criteria threshold changed from 5+ units to 3+ units to reflect the need for buffering between properties as infill development occurs.</p> <p>Public amenity areas permitted in MUS (3+ units), MUA, MHS, MUM, and RTH zones in recognition that plazas at corners and similar public spaces foster social inclusion.</p>

65.

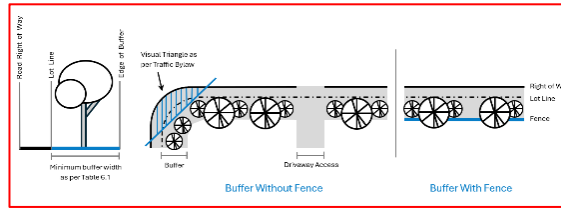
**SECTION 6:**  
Landscape &  
Screening  
  
**6.6 Minimum  
Landscape  
Buffers**

**Minimum Landscape Buffer Treatment**



**Minimum Landscape Buffer Treatment**

**Diagram 6.5 – Example Landscape Buffer**



To improve clarity in interpretation.

Table 6.1— Minimum Landscape Buffer Schedule

Location	Front Yard	Rear Yard	Side Yard	Public Amenity Area Permitted
<b>ALR, AGRL, AGRS</b>				
	0	0	0	NO
<i>Housing Zones</i>				
<b>MUS</b> (4 units or less) <i>(Bylaw 6012)</i>	0	0	0	NO
<b>MUS</b> (5 units or more) <i>(Bylaw 6012)</i>	1	1	1	NO
<b>MUA, MHS</b>	1	1	1	NO
<b>MUM</b>	1	2	1	NO
<b>MSH</b>	1	2	2	YES
<i>Commercial and Resort Zones</i>				
<b>CMUN, CMUC</b>	1	1	1	YES
<b>CMUB</b>	1	2	2	YES
<b>RTH</b>	1	1	1	NO
<b>RCC</b>	1	2	2	YES
<i>Industrial Zones</i>				
<b>INDL, INDA</b>	4	3	3	NO
<i>Community &amp; Parks Zones</i>				
<b>PANS</b>	0	0	0	N/A
<b>CMTY</b>	1	1	1	YES
<b>UTIL</b>	3	1	1	NO

Table 6.1— Minimum Landscape Buffer Schedule

Location	<u>Minimum Landscape Buffer Required</u>	<u>Fence Required in Landscape Buffer (min. fence height 1.2 m)</u>	Public Amenity Area Permitted
<i>Agricultural Zones</i>			
<b>ALR, AGRL, AGRS</b>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
<i>Housing Zones</i>			
<b>MUS</b> (4-2 units or less) <i>(Bylaw 6012)</i>	<u>N/A</u>	<u>N/A</u>	<u>N/A</u>
<b>MUS</b> (5-3 units or more) <i>(Bylaw 6012)</i> ; <b>MUA, MHS, MUM, MSH</b>	<u>Abutting Street, housing-based Lot, or non-housing-based Lot: 1.5 m</u>	<u>No</u>	<u>Yes</u>
<i>Commercial and Resort Zones</i>			
<b>CMUN, CMUC, CMUB</b>	<u>Abutting Street or non-housing-based Lot: 1.5 m</u>  <u>Abutting a housing-based Lot: 2 m</u>  <u>Surface parking lots: 2 m</u>	<u>Yes, for Rear Yard and Side Yard when abutting a housing-based lot</u>	<u>Yes</u>
<b>RTH, RCC</b>	<u>Abutting Street or non-housing-based Lot: 1.5 m</u>  <u>Abutting a housing-based Lot: 2 m</u>	<u>No</u>	<u>Yes</u>
<i>Industrial Zones</i>			
<b>INDL, INDA</b>	<u>Abutting Street: 3.0 m</u>	<u>Yes, for Rear Yard and Side Yard when abutting a housing-based lot</u>	<u>No</u>

		<u>Abutting a housing-based Lot or non-housing-based Lot: 2.0 m</u>		
<b>Community &amp; Parks Zones</b>				
	<b>PANS</b>	<u>N/A</u>	<u>N/A</u>	N/A
	<b>CMTY</b>	<u>Abutting Street, housing-based Lot, or non-housing-based Lot: 1.5 m</u>	<u>No</u>	Yes
	<b>UTIL</b>	<u>Abutting Street: 2.0 m</u> <u>Abutting a housing-based Lot or non-housing-based Lot: 1.5 m</u>	<u>Yes, for Rear Yard and Side Yard when abutting a housing-based lot</u>	No

THE CORPORATION OF THE CITY OF VERNON

BYLAW 6082

A bylaw to amend the City of Vernon's Zoning  
Bylaw 6000

---

WHEREAS the Council of the Corporation of the City of Vernon has determined to amend the "Zoning Bylaw 6000, 2024";

AND WHEREAS Section 527(1) of the *Local Government Act* allows local governments to set standards for and regulation the provision of screening or landscaping;

AND WHEREAS all persons who might be affected by this amending bylaw have, before the passage thereof, been afforded an opportunity to be notified on the matters herein before the said Council, in accordance with the provisions of Section 464 of the *Local Government Act*, and all amendments thereto;

NOW THEREFORE the Council of the Corporation of the City of Vernon, in open meeting assembled, enacts as follows:

1. This bylaw may be cited as "**Zoning Text (Landscape Regulation Updates) Amendment Bylaw 6082, 2026**".
2. The City of Vernon Zoning Bylaw 6000 be, and is hereby amended, as follows:
  - (a) **AMENDING** Section 2: Interpretation by deleting in its entirety:

**Landscaping** means the preservation or modification of the natural features of a **Site** at the ground level through the placement or addition of any or a combination of the following: (*Bylaw 6012*)

- i. soft Landscaping elements such as trees, shrubs, ground covers, lawns, gardens, or ornamental plantings of perennials or annual flowers;
- ii. decorative **Hard Surfacing** elements in the form of patios, **Pathways**, and paths consisting of materials such as bricks,

pavers, shale, crushed rock, or other suitable materials, excluding monolithic concrete and asphalt; and

- iii. **Architectural Elements** such as decorative fencing, walls, trellises, pergolas, permanent site furniture, or sculpture.

In all cases where a combination of soft landscaping, **Hard Surfacing** or **Architectural Elements** are used, soft landscaping must constitute a majority of the Landscaping area.

And replacing with:

**Landscaping** means the preservation or modification of the natural features of a **Site** at the ground level through the placement or addition of any or a combination of the following:

- i. **Soft Landscaping**;
- ii. decorative **Hard Surfacing** elements in the form of patios, **Pathways**, and paths consisting of materials such as bricks, pavers, shale, crushed rock, or other suitable materials, excluding monolithic concrete and asphalt; and
- iii. **Architectural Elements** such as decorative **Fencing** or trellises, pergolas, permanent site furniture, or sculpture.

In all cases where a combination of **Soft Landscaping**, **Hard Surfacing** or **Architectural Elements** are used, **Soft Landscaping** must constitute a majority of the Landscaping area.

- (b) **AMENDING** Section 2: Interpretation by adding:

**Soft Landscaping** means soil-based **Landscaping** and includes plants such as trees, shrubs, ground covers, lawns, gardens, or ornamental plantings of perennial or annual flowers. Soft Landscaping does not include areas without growing medium and plant materials, such as areas that are predominately rock, artificial turf, rubberized surfacing, decks, or **Hard Surfacing** such as pavers.

(c) **AMENDING** Section 2: Interpretation by adding:

**Retaining Wall** means a **Structure** constructed to hold back, stabilize, or support soil or other earthen material.

(d) **AMENDING** Section 2: Interpretation by adding:

**Fence** means a **Structure** made of wood, metal, masonry, or other material that is used as an enclosure or for screening purposes around all or part of a **Lot**.

3. In addition to the amendments above, **DELETE** Section 6: Landscape & Screening of Zoning Bylaw 6000 in its entirety as shown in **red** on attached Schedule 'A' and **REPLACE** with Schedule 'B' Section 6: Landscape & Screening attached to and forming part of this bylaw.
4. Zoning Bylaw 6000 is hereby ratified and confirmed in every other respect.

READ A FIRST TIME this	day of , 2026
READ A SECOND TIME this	day of , 2026
PUBLIC HEARING held this	day of , 2026
READ A THIRD TIME this	day of , 2026

Approved pursuant to section 52(3)(a) of the <i>Transportation Act</i> this _____ day of _____, 20____  for Minister of Transportation & Transit
---

ADOPTED this day of , 2026.

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Corporate Officer

# ~~SECTION 6: Landscape & Screening~~

## ~~6.1 Required Landscaping~~

- ~~6.1.1 The minimum level of **Landscaping** required in each zone along all **Front, Rear and Side Yards** shall be determined from the Minimum Landscape Buffer Schedule (Table 6.1) and **Landscaping** details entitled Minimum Landscape Buffer in Section 6.6, unless otherwise specified as a **Landscape** corridor in the *Official Community Plan (Plan Vernon)* or any bylaw replacing same.~~
- ~~6.1.2 In cases where the **Lot** is to be developed in phases, **Landscaping** needs to be provided on all lands that are used for the development of a phase. This includes lands that have been graded or filled. **Landscaping** shall be required in subsequent phases on the remainder of the **Lot** at the time that these are developed.~~
- ~~6.1.3 Any designated **Landscaping** area between a **Lot Line** and an existing road curb or shoulder area shall be completed concurrently with **Landscaping** within **Lot Lines** by the development to the standard of **Landscaping** required for the **Lot** and in conformance with the *City of Vernon Subdivision & Development Servicing Bylaw No. 3843*.~~

## ~~6.2 Landscaping Standards~~

- ~~6.2.1 All required **Landscape** areas and installations shall meet or exceed the Landscape Standards Bylaw No. 5015, and meet or exceed the *Canadian Landscape Standard, current edition, as jointly published by the Canadian Society of Landscape Architects and the Canadian Nursery Landscape Association*.~~
- ~~6.2.2 All required **Landscape** areas and installations shall be regularly maintained by property **Owners** to meet the Landscape Maintenance Bylaw No. 5014, and meet or exceed the *Canadian Landscape Standard, current edition, as jointly published by the Canadian Society of Landscape Architects and the Canadian Nursery Landscape Association*.~~
- ~~6.2.3 In reference to 6.2.2 above, the **Landscape** maintenance requirements shall address and provide for the following items in regards to plant material: watering, mulching, pruning, fertilizing, liming and tree support, as well as weed, pest and disease control.~~
- ~~6.2.4 In reference to 6.2.2 above, the **Landscape** maintenance requirements shall address and provide for the following items in regards to lawns and grass areas: watering, fertilizing, liming, mowing and trimming, edging, aeration and repairs (regarding, reseeding or resodding), as well as weed, insect and disease control.~~
- ~~6.2.5 The execution of the above-mentioned **Landscape** maintenance requirements shall take place on a regular basis as to ensure a healthy, neat and orderly appearance throughout the year.~~

**SCHEDULE 'A'**

**Attached to and Forming Part of Bylaw 6082**  
**“Zoning Text (Landscape Regulation Updates) Amendment Bylaw 6082, 2026”**

- ~~6.2.6 The above requirements for **Landscape** maintenance shall be enforced by the City, under Section 3 of this bylaw.~~
- ~~6.2.7 **Driveways** and walkways shall be located in order to accommodate the required **Landscape Buffers** of Section 6.7. Required **Landscape Buffers** shall be continuous along the affected **Lot** boundaries, interrupted only by walkways, **Driveways** and required utility service boxes.~~
- ~~6.2.8 All **Landscaped** areas will be graded to meet the following criteria:~~
- ~~.1 maximum 1:5 slope (20%) for lawn areas;~~
  - ~~.2 maximum 1:3 slope (33%) for shrub or ground cover area;~~
  - ~~.3 minimum 1:25 slope (4%) for cross slope for any **Landscape** area;~~
  - ~~.4 all **Site** grading will direct overland drainage along or away from any **Landscape Buffer** to collection points off-site away from **Buildings**;~~
  - ~~.5 all areas in which the existing slope exceeds 30% are to be identified; and~~
  - ~~.6 all areas developed and **Adjacent** lands impacted by development with slopes greater than 30% shall be rehabilitated using indigenous vegetation common to the **Site**.~~
- ~~6.2.9 All outdoor storage areas shall have a dust-free surface.~~
- ~~6.2.10 All construction on-site must occur concurrently with erosion control measures to prevent the pollution, degradation, or siltation of natural areas and **Watercourses**. This includes the provision of temporary fencing prior to and during construction.~~
- ~~6.2.11 All required **Landscape Buffer** areas shall be watered by a fully automatic irrigation system. No run-off onto sidewalks, **Streets, Laneways, Alleys** or **Parking Areas** shall be permitted.~~
- ~~6.2.12 Notwithstanding Section 6.2.6, the following areas are exempt from having permanent fully automatic irrigation systems:~~
- ~~.1 existing areas of undisturbed native vegetation which have been accepted as **Landscape Buffer** or stream protection leave strips;~~
  - ~~.2 **Landscape** areas specifically designed as xeriscape or drought resistant natural species plantings, however temporary irrigation may be required; and~~
  - ~~.3 **Landscape Buffers** which are established with drought resistant species to return the area to a natural condition, however temporary irrigation may be required.~~
- ~~6.2.13 Where the retention of native trees and ground cover is required or permitted, a letter from a registered professional landscape architect or registered professional forester shall be submitted, indicating the mitigation measures required during and after the construction to ensure the health of the vegetation.~~

**SCHEDULE 'A'**  
**Attached to and Forming Part of Bylaw 6082**  
**“Zoning Text (Landscape Regulation Updates) Amendment Bylaw 6082, 2026”**

~~6.2.14 New trees and shrubs shall follow a consistent lateral placement and be set back a minimum of 1.0 m from all underground utilities.~~

## ~~6.3 Refuse and Recycling Bins~~

~~6.3.1 When any development is proposed, provisions for garbage storage, recycling and collection shall be provided on the same **Site** as the development, unless a bin sharing agreement is in place.~~

~~6.3.2 All **Site** refuse and recycling bins in zones other than agricultural zones, including all other large receptacles used for the **Temporary Storage** of materials, require opaque screening from **Adjacent Lots** and **Streets**.~~

~~6.3.3 All screening will be a minimum of 2.0 m in **Height** to a maximum **Height** that is equivalent to the **Height** of the refuse or recycling bin.~~

~~6.3.4 All sides open to public view shall be screened by the additional planting of shrub and groundcover material at least 1.5 m in **Height**.~~

~~6.3.5 (Deleted – Bylaw 6012)~~

~~6.3.6 All refuse or recycling bins shall be located entirely within the **Lot Lines** so as to not obstruct pedestrian or **Vehicle** traffic.~~

~~6.3.7 An unobstructed access **Laneway** or **Alley** with a minimum width of 3.0 m and a minimum vertical clearance of 4.6 m shall be provided for access to a required refuse and recycling room or enclosure.~~

~~6.3.8 All refuse and recycling bins should be sited as far away from **Watercourses** as possible.~~

## ~~6.4 Public Amenity Areas~~

~~6.4.1 **Public Amenity Areas**, when permitted pursuant to Section 6.6, must be solely for pedestrian **Use** and accessible to the public from both the **Street** and from the development.~~

~~6.4.2 The minimum **Public Amenity Area Street Frontage** is 6.0 m.~~

~~6.4.3 The minimum **Public Amenity Area** depth is 4.0 m.~~

~~6.4.4 For any **Public Amenity Area** in lieu of a **Landscape Buffer**, the following are minimum requirements:~~

~~.1 all **Hard Surface** areas shall use a decorative paving surface;~~

~~.2 a minimum of two benches for public seating shall be provided;~~

**SCHEDULE 'A'**  
**Attached to and Forming Part of Bylaw 6082**  
**“Zoning Text (Landscape Regulation Updates) Amendment Bylaw 6082, 2026”**

- ~~.3 a minimum of 3 trees, with a minimum 65 mm **Caliper** and rootball of 900 mm, shall be provided; and~~
- ~~.4 pedestrian and decorative lighting must be provided.~~

## ~~6.5 Fencing and Retaining Walls~~

~~6.5.1 Subject to traffic sight lines, the following **Height** limitations shall apply to fences, and walls in all housing and mixed-use zones:~~

- ~~.1 1.2 m (4.0 ft) if situated along the **Lot Lines** or within the **Setback** abutting a **Street**;~~
- ~~.2 2.0 m (6.4 ft) if situated behind the **Setback** abutting a **Street**;~~
- ~~.3 2.0 m (6.4 ft) if situated along a **Lot Line** not abutting a **Street**.~~

~~Notwithstanding 6.5.1, one gate for pedestrian access may be 2.0 m in height with a maximum width of 1.0 m in situated along the **Lot Lines** or within the **Setback** abutting a **Street**. *(Bylaw 6012)*~~

~~6.5.2 Screen fences shall be consistent with the quality of **Building** design and materials of the **Principal Building**.~~

~~6.5.3 Screening fences required for outdoor storage areas for **Temporary Shelter Services** shall be a combination of opaque and translucent or lattice design to ensure nature surveillance is permitted into the space. Screen fences and walls shall complement **Building** design and materials.~~

~~6.5.4 Fencing type may be established in neighbourhood plans, building schemes or by precedent from **Adjacent Lots**.~~

~~6.5.5 Wood fences shall be designed to a high level of finish with materials of lumber grade standard or better. Wood posts shall be treated against rotting to provide for the longevity of the fence. Fences shall be constructed with all components of sufficient size, materials, and strength to prevent sagging and to minimize rot. Along sloping ground, the top of wood fences shall be horizontal with vertical drops at the posts.~~

~~6.5.6 Screening fences shall be opaque double-sided construction. Where screen fences are allowed or required by this bylaw, they shall be of an opaque or a combination of opaque, translucent or lattice design.~~

~~6.5.7 No fence constructed at the **Natural Grade** in housing zones, shall exceed 2.0 m in **Height**, except where abutting an agricultural or commercial zone the maximum **Height** is 2.4 m. No fence shall have pickets or finials extending above a horizontal rail that may pose a danger to wildlife.~~

~~6.5.8 No fence in a commercial or industrial zone shall exceed 2.4 m.~~

**SCHEDULE 'A'**

**Attached to and Forming Part of Bylaw 6082**  
**“Zoning Text (Landscape Regulation Updates) Amendment Bylaw 6082, 2026”**

~~6.5.9 Industrial zones are to have an opaque 2.4 m high fence along all **Lot Lines** abutting non-industrial zones and around **Wrecking Yards** that are visible from a **Street** abutting the **Lot**.~~

~~6.5.10 No barbed wire or electrified fencing shall be allowed in any housing, commercial, community or industrial zones except:~~

~~.1 in ALR, AGRL and AGRS zones for use in livestock enclosures; and~~

~~.2 in CMTY zone where the **Site** is used for a **Detention Facility**.~~

~~———— Razor wire fences shall not be permitted in any zone.~~

~~6.5.11 Retaining walls on all housing-based **Lots**, except those required as a condition of subdivision approval, must not exceed a **Height** of 1.2 m measured from **Grade** on the lower side, and must be constructed so that multiple retaining walls are spaced to provide at least a 1.2 m horizontal separation between them.~~

~~6.5.12 In the case of a retaining wall constructed in accordance with Section 6.5.11, the combined **Height** of a fence on top of a retaining wall at the **Lot Line** or within 1.2 m of the **Lot Line** shall not exceed 2.0 m, measured from **Natural Grade** at the **Lot Line** (see Diagram 6.1).~~

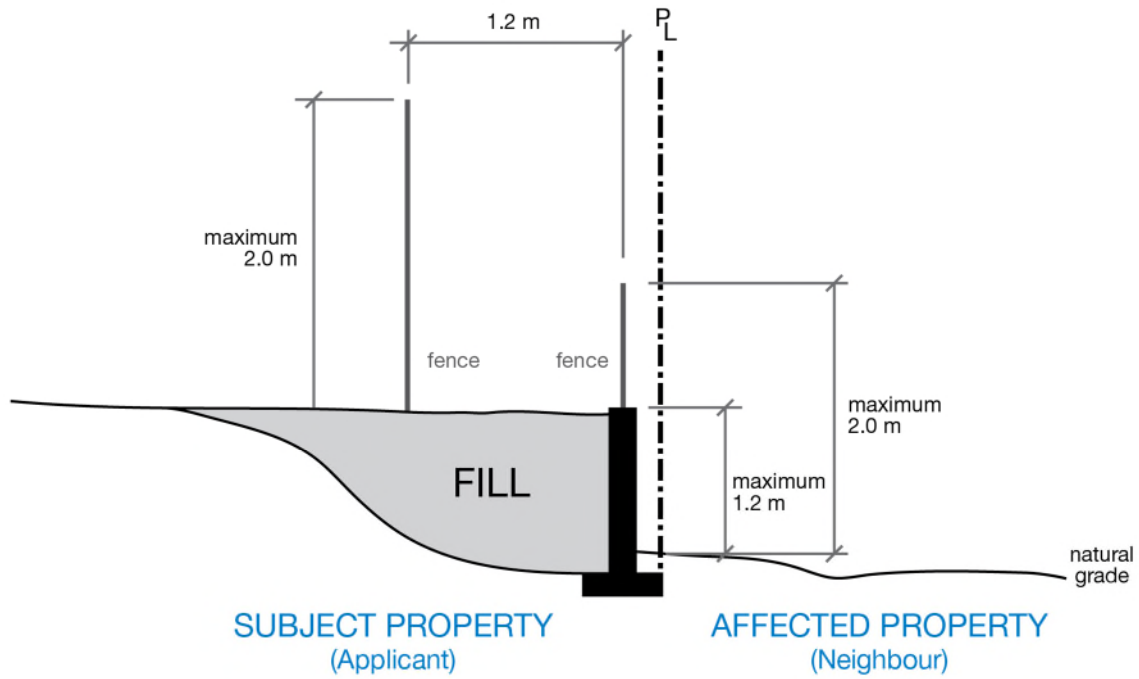
~~6.5.13 Notwithstanding Section 6.5.11, a retaining wall may be higher than 1.2 m, measured from **Grade**, where the **Natural Grade** of the subject **Lot** is lower than the abutting **Lot** (see Diagram 6.2).~~

~~6.5.14 In the case of a retaining wall constructed in accordance with Section 6.5.13, the maximum **Height** of a fence, or portion of retaining wall extending above the **Natural Grade** of the abutting higher **Lot**, or combination thereof, shall be 2.0 m, measured from the **Natural Grade** of the abutting higher property (see Diagram 6.2).~~

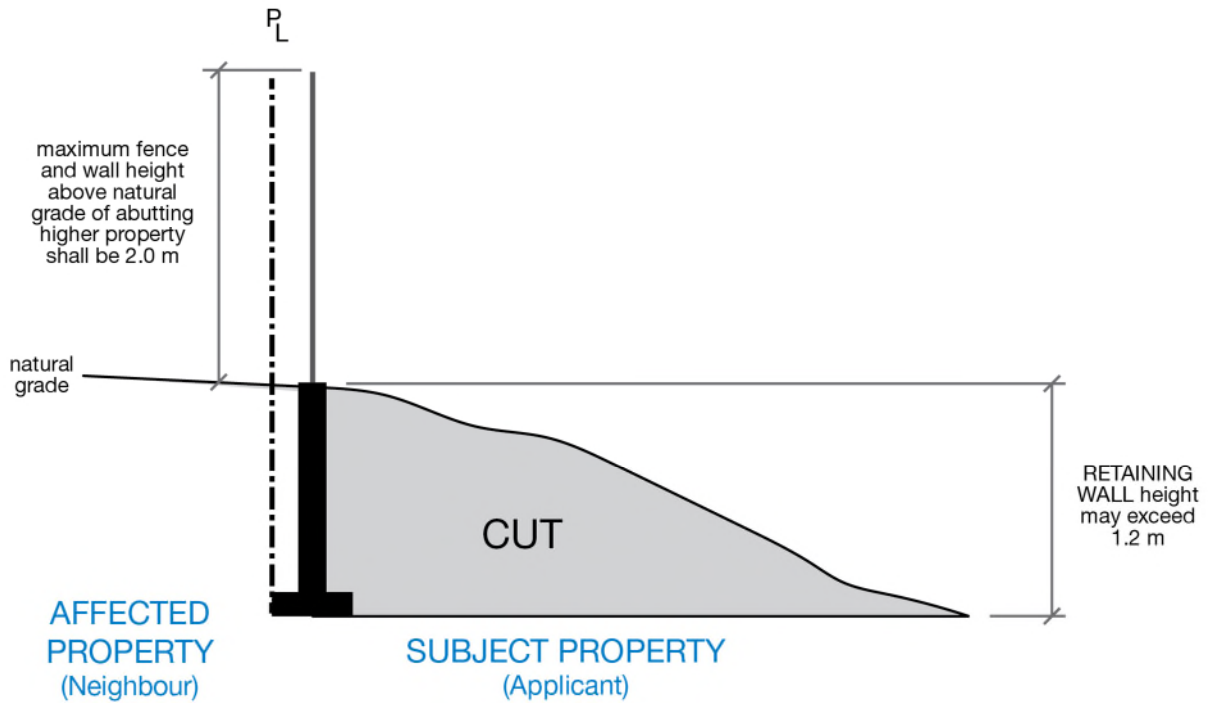
~~6.5.15 Notwithstanding Section 6.5.14, where an affected property remains at **Natural Grade** and the subject **Lot** constructs a retaining wall and a fence within 1.2 m of the **Lot Line**, the maximum **Height** for a fence on the affected **Lot** shall be no greater than 1.8 m above the **Height** of the retaining wall or 2.0 m whichever is less (see Diagram 6.1).~~

**SCHEDULE 'A'**  
**Attached to and Forming Part of Bylaw 6082**  
**“Zoning Text (Landscape Regulation Updates) Amendment Bylaw 6082, 2026”**

*Diagram 6.1 — Retaining Wall on Higher Subject Property*



*Diagram 6.2 — Retaining Wall on Lower Subject Property*



## ~~6.6~~ **6.6** Minimum Landscape Buffers

~~6.6.1~~ **Landscape Buffers**, of a design as shown on the Minimum Landscape Buffer Treatment Drawings (Levels 1 through 5), for the **Front Yard**, **Side Yards**, and **Rear Yard** depending upon the zone as indicated by Section 6.6.5, are as follows:

~~.1~~ Level 0: no specific guidelines for the design of the **Landscape Buffer**;

~~.2~~ Level 1: a minimum 1.5 m **Landscape Buffer** is required and will consist of a vegetative buffer only, unless a fence is required for other reasons;

~~.3~~ Level 2: a minimum 1.5 m vegetative **Landscape Buffer** combined with a fence is required;

~~.4~~ Level 3: a minimum 2.0 m vegetative **Landscape Buffer** combined with a fence is required;

~~.5~~ Level 4: a minimum 3.0 m **Landscape Buffer** is required; and

~~.6~~ Level 5: a **Landscape Buffer** is required for all land abutting ALR land where non-farm **Uses** exist. The minimum buffer shall meet the guidelines in the Landscape Buffer Specifications document prepared by the Agricultural Land Commission.

~~6.6.2~~ Trees shall be spaced, on average, to the dimensions specified in the approved drawings. The equivalent of 1 tree per 10.0 lineal metre of required **Landscape Buffer**, including walkways, **Driveways** and required utility boxes, shall be planted on the subject property. Deciduous trees shall have a minimum **Caliper** of 60 mm with a minimum clearstem **Height** of 1.5 m. Conifers shall be a minimum of 2.5 m high. Irrigated No. 2 pot shrubs are to be placed at a maximum spacing of 1.0 m on center with 10 cm ground cover at a maximum spacing of 0.5 m on center. The equivalent of 1 shrub per 1 linear metre of required **Landscape Buffer**, including walkways, **Driveways**, and required utility boxes, shall be planted on the subject **Lot**. The shrubs shall be irrigated No. 2 pot shrubs and are to be placed at a maximum spacing of 1.0 m on centre.

~~6.6.3~~ In order to provide heritage trees for future generations, trees required according to Section 6.6.3 shall include legacy trees. One out of every ten trees required according to Section 6.6.3 shall be designated as a legacy tree and accordingly located and identified on approved drawings. A minimum of 1 legacy tree shall be provided.

~~6.6.4~~ Trees or shrubs higher than 0.6 m shall not be located in the visual triangle indicated on the drawings and specified by the *City of Vernon Traffic Bylaw No. 5600*.

~~6.6.5~~ Where a visual screen is required, it may consist of either vegetation or decorative fence or wall. The minimum **Height** of the screen is 1.2 m for Level 3 (at maturity for vegetation, planted at a minimum of 1.0 m high on an maximum spacing of 1.0 m on center), 1.5 m for Level 4, and 1.8 m for Level 5.

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- ~~6.6.6 Notwithstanding Section 6.6.1, buffer widths may be reduced to the width of the actual **Setback** of the **Building** or **Structure** if the actual **Setback** of the **Building** or **Structure** is narrower than the buffer specified in Section 6.6.1.~~
- ~~6.6.7 Notwithstanding Section 6.6.1, parking lots abutting major roads as identified on Map 4 of *Official Community Plan*, require an additional **Landscape Buffer** of a minimum of 3.0 m.~~
- ~~6.6.8 Notwithstanding any other provisions in this bylaw, where leave strips are required along stream corridors in accordance with the *Official Community Plan*, the land and vegetation shall remain undisturbed. In the case of leave strips along Okanagan Lake, land is to remain in its natural condition or be **Landscaped** in a manner that either enhances conditions for fish and wildlife or maintains conditions equivalent to those that would have existed had no development occurred. Retaining walls along the Okanagan Lake waterfront are permitted under the terms of a development permit where required to protect lakefront property.~~
- ~~6.6.9 In addition to the minimum **Landscape Buffer** treatment levels above:~~
- ~~.1 all lands adjacent to provincial highways, except those in agricultural zones and within Town Centres, are required to have Level 4 **Landscape Buffer** treatment unless superceded by development permit area guidelines;~~
  - ~~.2 (Deleted — Bylaw 6012)~~
  - ~~.3 all industrial zone properties shall have a Level 3 buffer zone when **Adjacent** to non-industrial zone properties;~~
  - ~~.4 all commercial zoned properties shall have a Level 3 buffer zone when **Adjacent** to non-commercial and non-industrial properties;~~
  - ~~.5 CD zones shall specify Landscape Buffer treatment for the **CD Site**;~~
  - ~~.6 all non-secondary surface parking **Lots** in a commercial zone shall have a Level 3 buffer zone;~~
  - ~~.7 required **Landscape** islands in parking areas shall have the same level of **Landscaping** as a Level 1 buffer zone; and~~
  - ~~.8 **Recreational Vehicle** parking compounds in housing zones shall have a Level 4 buffer zone.~~
- ~~6.6.10 Notwithstanding Section 6.6.1, all landscape areas should reflect the character and intent of the *Official Community Plan*.~~
- ~~6.6.11 Where a **Side Yard Landscape Buffer** treatment is required and an opaque barrier is included in the **Landscape Buffer** Treatment Design, the opaque barrier may be located at the **Lot Line**.~~
- ~~6.6.12 **Landscape Buffer** treatments for **School Sites** may be amended from the standards indicated in Table 6.1 — Minimum Landscape Buffer Schedule. Where changes to the~~

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~~standards are proposed, supporting documentation from a registered **Landscape** architect must be provided that contains that the following objectives have been met:~~

- ~~.1 that sufficient screening to **Adjacent** housing-based **Lots** has been achieved;~~
- ~~.2 that adequate **Landscaping** has been provided to provide shade for **Buildings** and play areas;~~
- ~~.3 **Driveway** entrances and **Parking Areas** have been appropriately **Landscaped** for optimization of screening and vehicular **Site** lines; and~~
- ~~.4 **Landscaping** around active play areas ensures safety to children on the **School** grounds.~~

~~Where perimeter **Landscaping** cannot be provided due to any of the above noted objectives, the School District will be required to provide or upgrade boulevard trees on all abutting **Streets**.~~

*Table 6.1 — Minimum Landscape Buffer Schedule*

<b>Location</b>	<b>Front Yard</b>	<b>Rear Yard</b>	<b>Side Yard</b>	<b>Public Amenity Area Permitted</b>
<b>Agricultural Zones</b>				
<b>ALR, AGRL, AGRS</b>	0	0	0	NO
<b>Housing Zones</b>				
<b>MUS (4 units or less) (Bylaw 6012)</b>	0	0	0	NO
<b>MUS (5 units or more) (Bylaw 6012)</b>	4	4	4	NO
<b>MUA, MHS</b>	4	4	4	NO
<b>MUM</b>	4	2	4	NO
<b>MSH</b>	4	2	2	YES
<b>Commercial and Resort Zones</b>				
<b>CMUN, CMUC</b>	4	4	4	YES
<b>CMUB</b>	4	2	2	YES
<b>RTH</b>	4	4	4	NO
<b>RCC</b>	4	2	2	YES
<b>Industrial Zones</b>				
<b>INDL, INDA</b>	4	3	3	NO
<b>Community &amp; Parks Zones</b>				
<b>PANS</b>	0	0	0	N/A
<b>CMTY</b>	4	4	4	YES
<b>UTIL</b>	3	4	4	NO

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**Minimum Landscape Buffer Treatment**

Diagram 6.3

Level 1

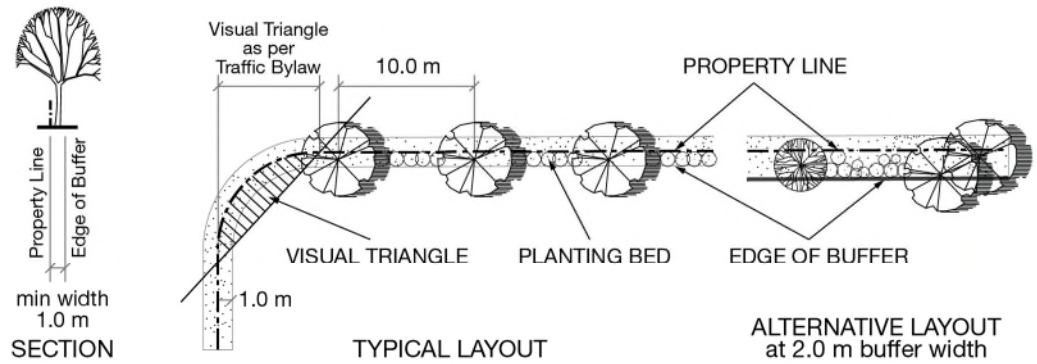


Diagram 6.4

Level 2

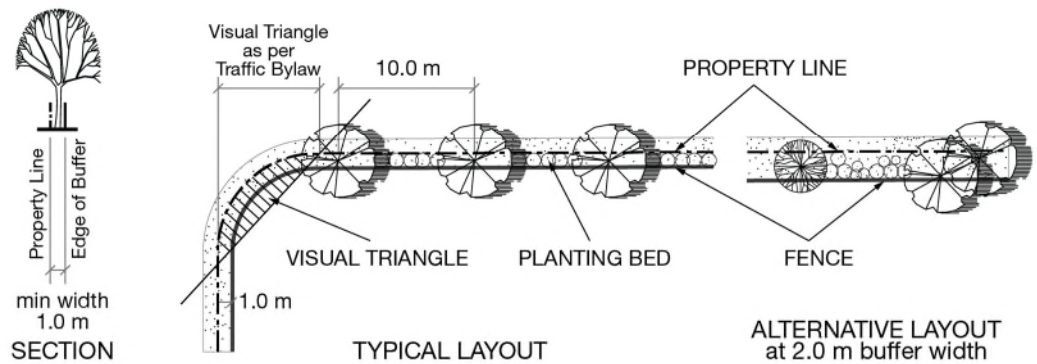


Diagram 6.5

Level 3

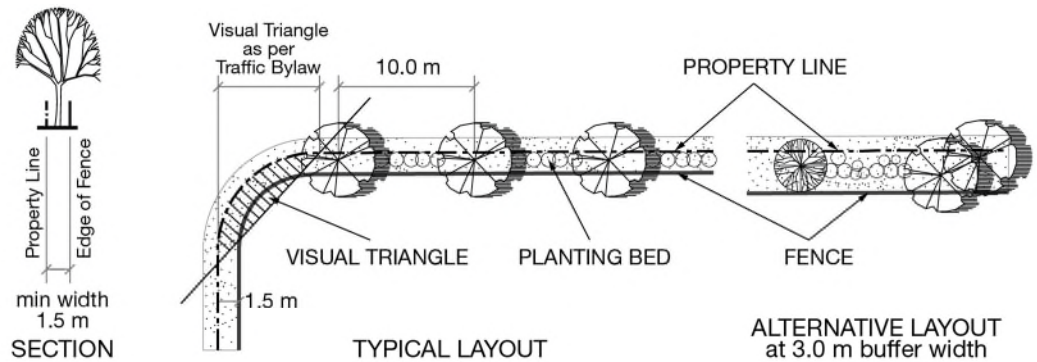
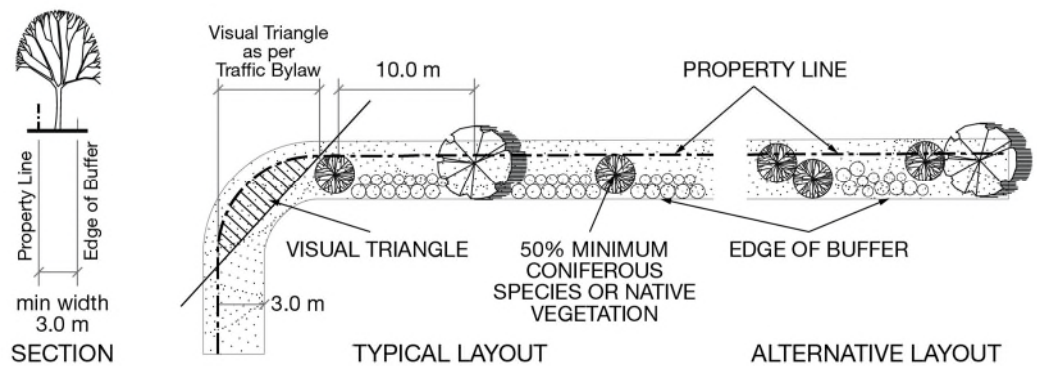


Diagram 6.6

Level 4



# SECTION 6: Landscape & Screening

*(Bylaw 6082 – various amendments to section 2 and replaced section 6 in its entirety)*

## ▲ 6.1 Required Landscaping

- 6.1.1 The minimum level of **Landscaping** in each zone shall follow the minimum **Landscaping** area standards of the zone, and the minimum **Landscape Buffer** standards in Section 6.7 and Table 6.1.
- 6.1.2 In cases where the **Lot** is to be developed in phases, **Landscaping** shall be provided on all lands that are used for the development of a phase. This includes lands that have been graded or filled. **Landscaping** shall be required in subsequent phases on the remainder of the **Lot** at the time that the remainder is developed.
- 6.1.3 Any designated **Landscaping** area between a **Lot Line** and an existing road curb or shoulder area shall be completed concurrently with **Landscaping** within **Lot Lines** by the development to the standard of **Landscaping** required for the **Lot** and in conformance with the *City of Vernon Subdivision & Development Servicing Bylaw No. 3843*.

## ▲ 6.2 Landscaping Standards

- 6.2.1 **Landscape** areas and installations shall be regularly maintained to meet or exceed the *Canadian Landscape Standard*, current edition, as jointly published by the Canadian Society of Landscape Architects and the Canadian Nursery Landscape Association.
- 6.2.2 **Landscape Buffers** shall be continuous along the affected **Lot** boundaries, interrupted only by required **Pathways**, **Driveway** accesses, and utility service boxes.
- 6.2.3 **Landscape** areas shall be graded to meet the following standards:
  - .1 maximum 1:5 slope (20%) for lawn areas;
  - .2 maximum 1:3 slope (33%) for shrub or ground cover area;
  - .3 minimum 1:25 slope (4%) for cross slope for any **Landscape** area;
  - .4 all **Site** grading will direct overland drainage away from **Buildings**;
  - .5 all areas in which the existing slope exceeds 30% are to be identified; and
  - .6 all areas developed and **Adjacent** lands impacted by development with slopes greater than 30% shall be rehabilitated using native vegetation.
- 6.2.4 Outdoor storage areas shall have a dust-free surface.

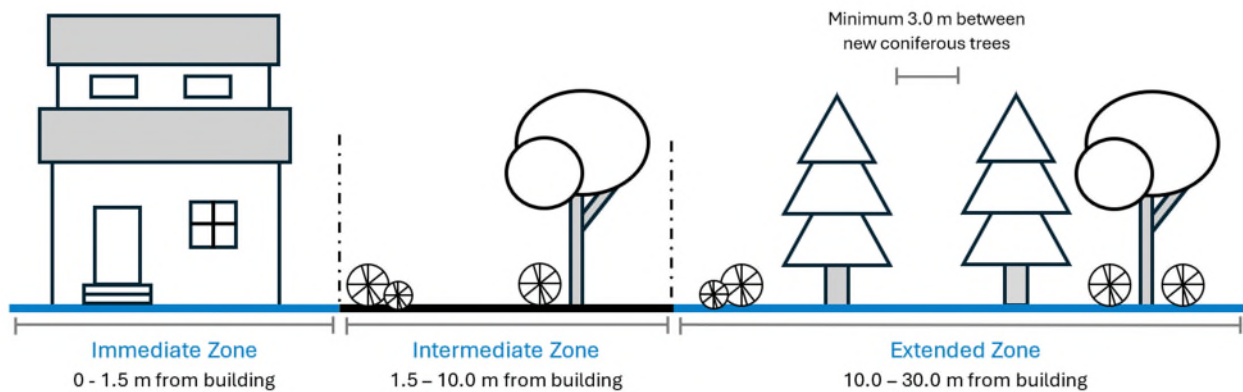
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- 6.2.5 Construction on-site shall occur concurrently with erosion control measures to prevent the pollution, degradation, or siltation of natural areas and **Watercourses**. This includes the provision of temporary **Fencing** prior to and during construction.
- 6.2.6 **Soft Landscaping** shall be watered by a fully automatic irrigation system. No run-off onto sidewalks, **Streets**, **Laneways**, **Alleys** or **Parking Areas** shall be permitted.
- 6.2.7 Despite Section 6.2.6, **Soft Landscaping** within the following areas shall be exempt from having permanent fully automatic irrigation systems:
- .1 existing areas of undisturbed native vegetation which have been accepted as **Landscape** area or an environmentally sensitive area; and
  - .2 **Soft Landscaping** specifically designed as xeriscape or with drought resistant vegetation, however temporary irrigation may be required.
- 6.2.8 New trees and shrubs shall be planted a minimum of 1.0 m from underground utilities.
- 6.2.9 **Landscaping**, including **Landscape Buffers**, shall follow minimum wildfire-risk mitigation standards, as measured from the nearest **Building** or **Structure** attached to a **Building** (see Diagram 6.1):
- .1 Immediate Zone (0 – 1.5 m)
    - a. No new combustible mulch including bark mulch, wood chips, or pine needles; and
    - b. No new coniferous trees or coniferous shrubs. This includes Cedar and Juniper hedges.
  - .2 Intermediate Zone (1.5 – 10.0 m)
    - a. No new coniferous trees within 10.0 m, unless spaced a minimum of 6.0 m from the nearest **Building** with non-combustible exterior finishes and other coniferous trees, and lower branches are pruned to a minimum of 2.0 m in height; and
    - b. No new coniferous shrubs. This includes Cedar and Juniper hedges.
  - .3 Extended Zone (10.0 – 30.0 m)
    - a. New coniferous trees or coniferous shrubs shall be spaced to ensure a minimum horizontal separation of 3.0 m at maturity.

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Diagram 6.1 — FireSmart Zones



## 6.3 Refuse and Recycling Bins

- 6.3.1 When any development is proposed, provisions for garbage storage, recycling, and collection shall be provided on the same **Site** as the development, unless a bin sharing agreement is in place.
- 6.3.2 Above-ground **Site** refuse and recycling bins, including all other large receptacles used for the **Temporary Storage** of materials, require opaque screening from **Adjacent Lots** and **Streets**, except in agricultural zones.
- 6.3.3 Screening shall be a minimum of 2.0 m in height, to a maximum height that is equivalent to the height of the refuse or recycling bin.
- 6.3.4 Sides open to public view shall be screened by the additional planting of shrub and groundcover material at least 1.5 m in height.
- 6.3.5 Refuse or recycling bins shall be located entirely within the **Lot Lines** so as to not obstruct pedestrian or **Vehicle** traffic.
- 6.3.6 An unobstructed access **Laneway** or **Alley** with a minimum width of 3.0 m and a minimum vertical clearance of 4.6 m shall be provided for access to a required refuse and recycling room or enclosure.
- 6.3.7 Refuse and recycling bins shall be sited as far away from **Watercourses** as possible.

## ▲ 6.4 Public Amenity Areas

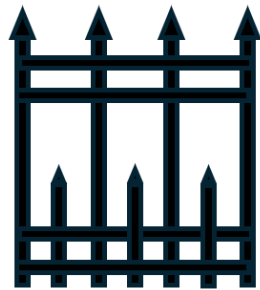
- 6.4.1 **Public Amenity Areas**, when permitted pursuant to Table 6.1, shall be solely for pedestrian **Use** and accessible to the public from both the **Street** and from the development.
- 6.4.2 The minimum **Public Amenity Area** street frontage is 6.0 m.
- 6.4.3 The minimum **Public Amenity Area** depth is 4.0 m.
- 6.4.4 **Public Amenity Areas** in lieu of a **Landscape Buffer** shall include, at minimum:
- .1 Decorative paving surface for all **Hard Surface** areas;
  - .2 Shade trees with a **Caliper** of 40 mm and a clear stem height of 1.5 m; and
  - .3 Decorative lighting and public seating.

## ▲ 6.5 Fencing

- 6.5.1 Subject to traffic sight lines, **Fence** height measured from **Natural Grade** shall not exceed:
- .1 1.2 m in housing, resort, community, and commercial mixed-use zones.
  - .2 2.4 m in industrial and servicing zones.
- Despite Section 6.5.1.1:
- .3 The maximum **Fence** height may increase to 2.0 m if situated behind the **Setback** abutting a **Street**, or along a **Lot Line** not abutting a **Street**;
  - .4 The maximum **Fence** height may increase to 2.4 m where abutting an agricultural or industrial zone; and
  - .5 One gate for pedestrian access may be 2.0 m in height with a maximum width of 1.0 m if situated along the **Lot Lines** or within the **Setback** abutting a **Street**.
- 6.5.2 Industrial zones shall have an opaque 2.4 m **Fence** along **Lot Lines** abutting non-industrial zones and around outdoor **Vehicle Storage** facilities or **Wrecking Yards** that are visible from a **Street** abutting the **Lot**.
- 6.5.3 No **Fence** shall have pickets or finials extending above a horizontal rail that may pose a danger to wildlife (see Diagram 6.1).

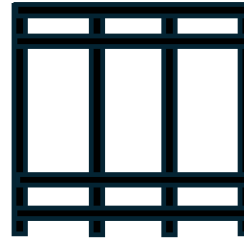
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Diagram 6.2 — Fencing Types



**Not Allowed**

Pickets and finials shall not exceed a horizontal rail



**Allowed**

Smooth top rail

6.5.4 No barbed wire or electrified **Fencing** shall be allowed, except:

- .1 in agricultural zones for use in livestock enclosures; and
- .2 in community zones where the **Site** is used for a **Detention Facility**.

Razor wire **Fences** shall not be permitted in any zone.

## ▲ 6.6 Retaining Walls

- 6.6.1 **Retaining Wall** height, measured from **Natural Grade** on the lower side of the wall, shall not exceed 1.2 m, except for **Retaining Walls** required as a condition of subdivision approval.
- 6.6.2 At least 1.2 m horizontal separation shall be provided between **Retaining Wall** tiers.
- 6.6.3 Where the subject **Lot** is higher than the affected **Lot**, the combined height of a **Fence** and **Retaining Wall** at the **Lot Line** or within 1.2 m of the **Lot Line** shall not exceed 2.0 m, measured from **Natural Grade** at the **Lot Line** (see Diagram 6.3).
- 6.6.4 Where the subject **Lot** is lower than the affected **Lot**, the combined height of a **Fence** and the portion of the **Retaining Wall** that extends above the **Natural Grade** of the affected **Lot** shall not exceed 2.0 m, measured from the **Natural Grade** at the **Lot Line** (see Diagram 6.4).

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Diagram 6.3 — Retaining Wall on Higher Subject Lot

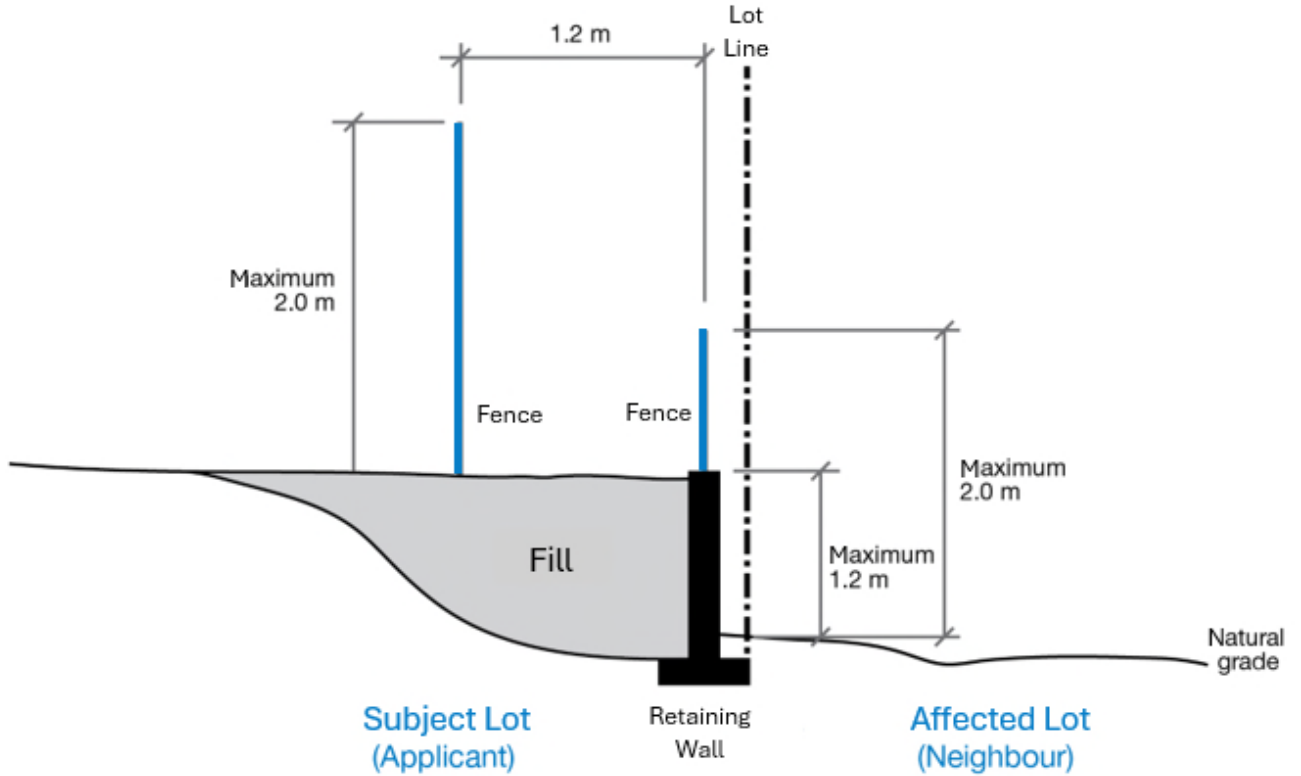
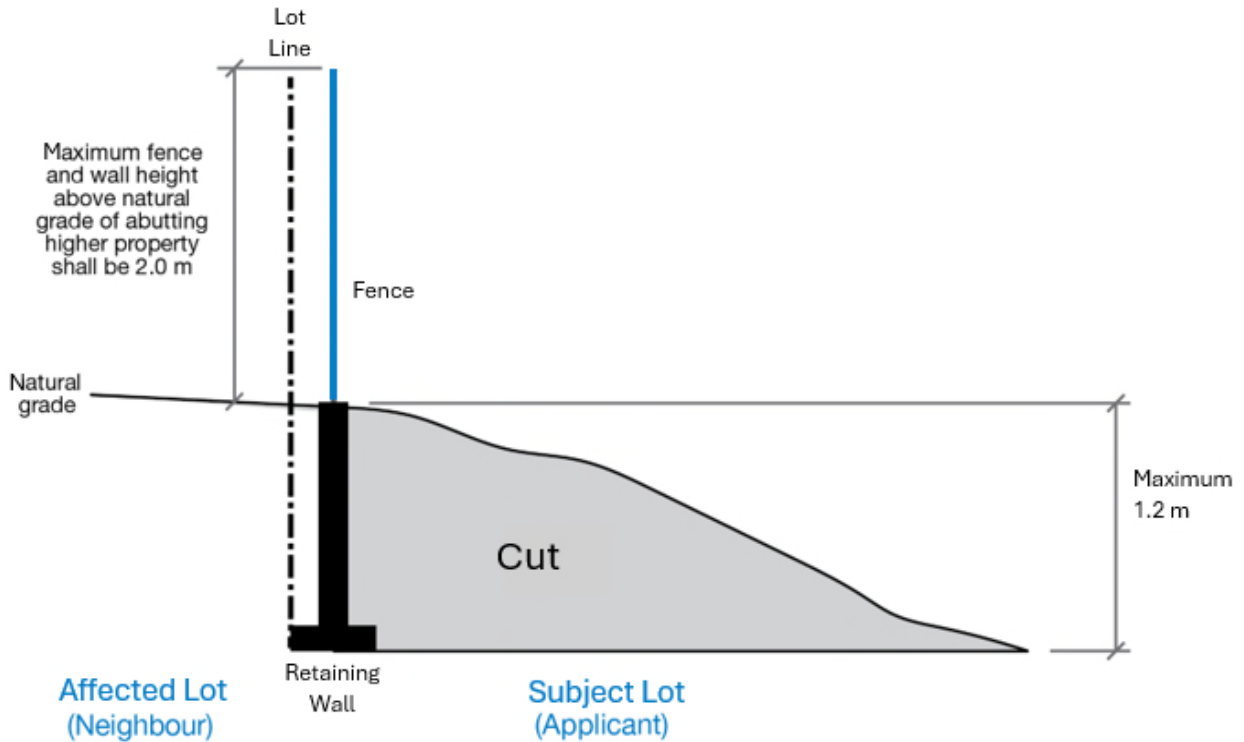


Diagram 6.4 — Retaining Wall on Lower Subject Lot



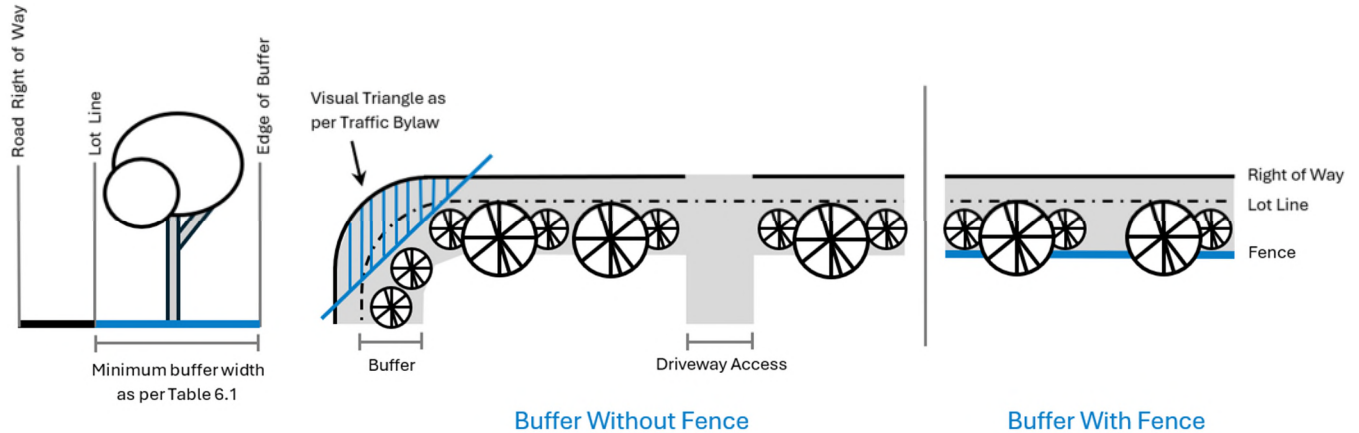
## ▲ 6.7 Minimum Landscape Buffers

- 6.7.1 **Landscape Buffers** shall follow Table 6.1 – Minimum Landscape Buffer Schedule, except:
- .1 all lands **Adjacent** to provincial highways shall have a 3.0 m **Landscape Buffer Adjacent** to the highway, unless superseded by development permit area guidelines;
  - .2 Comprehensive development zones shall specify the **Landscape Buffer** for the comprehensive development **Site**; and
  - .3 Land with non-farm **Use** that abuts the Agricultural Land Reserve shall have a **Landscape Buffer** that meets the Ministry of Agriculture’s *Guide to Edge Planning*.
- 6.7.2 Despite Section 6.7.1, **Landscape Buffer** widths may be reduced to the width of the actual **Setback** of the **Building** or **Structure** if the actual **Setback** of the **Building** or **Structure** is narrower than the **Landscape Buffer** specified in Table 6.1.
- 6.7.3 Trees in the **Landscape Buffer** shall meet the following minimum standards:
- .1 the equivalent of 1 tree per 10 linear meters of **Landscape Buffer**, including required **Pathways, Driveway** accesses, and utility boxes, shall be planted and/or retained on the subject property. The linear metre calculation is used to determine the minimum number of trees to be planted and/or retained not the minimum spacing;
  - .2 trees shall be planted in a soil volume capable of supporting tree health at maturity;
  - .3 trees shall be spaced to maximize shading to sidewalks and other pedestrian **Pathways**;
  - .4 deciduous trees shall have a minimum **Caliper** of 40 mm with a minimum clear stem height of 1.5 m;
  - .5 coniferous trees shall be a minimum of 2.5 m high;
  - .6 when existing trees that are retained in a **Landscape Buffer** have a minimum **Caliper** of 150 mm, they may count double towards meeting these standards; and
  - .7 when existing trees that are retained in a **Landscape Buffer** have a minimum **Caliper** of 250 mm, they may count triple towards meeting these standards.
- 6.7.4 Shrubs in the **Landscape Buffer** shall meet the following minimum standards:
- .1 the equivalent of 1 shrub per 1 linear meters of **Landscape Buffer**, including required **Pathways, Driveway** accesses, and utility boxes, shall be planted and/or retained on the subject property. The linear metre calculation is used to determine the minimum number of shrubs to be planted and/or retained not the minimum spacing; and
  - .2 shrubs shall be no. 2 pot size.

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6.7.5 Trees or shrubs higher than 0.6 m shall not be located in the sight triangle indicated in *City of Vernon Traffic Bylaw No. 5600 – Schedule B Sight Triangle Requirements* (see Diagram 6.5).

Diagram 6.5 — Example Typical Landscape Buffer



6.7.6 **Landscape Buffers** for **School Sites** may be amended from the standards indicated in Table 6.1. Where changes to the standards are proposed, supporting documentation from a registered Landscape Architect shall confirm:

- .1 sufficient screening to **Adjacent** housing-based **Lots** has been achieved;
- .2 adequate **Landscaping** has been provided to provide shade for **Buildings** and play areas;
- .3 **Driveway** accesses and **Parking Areas** have appropriate **Landscaping** to optimize screening while retaining vehicular sight lines; and
- .4 **Landscaping** around active play areas ensures safety to children on the **School** grounds.

Where perimeter **Landscaping** cannot be provided due to any of the above noted objectives, the School District shall be required to provide or upgrade boulevard trees on abutting **Streets**.

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Table 6.1— Minimum Landscape Buffer Schedule

Location	Minimum Landscape Buffer Required	Fence Required in Landscape Buffer Min. fence height 1.2 m	Public Amenity Area Permitted
<i>Agricultural Zones</i>			
<b>ALR, AGRL, AGRS</b>	N/A	N/A	N/A
<i>Housing Zones</i>			
<b>MUS</b> (2 units or less)	N/A	N/A	N/A
<b>MUS</b> (3 units or more), <b>MUA, MHS, MUM, MSH</b>	Abutting <b>Street</b> , housing-based <b>Lot</b> , or non-housing-based <b>Lot</b> : 1.5 m	No	Yes
<i>Commercial and Resort Zones</i>			
<b>CMUN, CMUC, CMUB</b>	Abutting <b>Street</b> or non-housing based <b>Lot</b> : 1.5 m Abutting a housing-based <b>Lot</b> : 2 m Surface parking lots: 2 m	Yes, for <b>Rear Yard</b> and <b>Side Yard</b> when abutting a housing-based lot	Yes
<b>RTH, RTC</b>	Abutting <b>Street</b> or non-housing-based <b>Lot</b> : 1.5 m Abutting a housing-based <b>Lot</b> : 2 m	No	Yes
<i>Industrial Zones</i>			
<b>INDL, INDA</b>	Abutting <b>Street</b> : 3.0 m Abutting a housing-based lot or non-housing-based <b>Lot</b> : 2.0 m	Yes, for <b>Rear Yard</b> and <b>Side Yard</b> when abutting a housing-based lot	No
<i>Community &amp; Parks Zones</i>			
<b>PANS</b>	N/A	N/A	N/A
<b>CMTY</b>	Abutting <b>Street</b> , housing-based lot, or non-housing-based <b>Lot</b> : 1.5 m	No	Yes
<b>UTIL</b>	Abutting <b>Street</b> : 2.0 m Abutting a housing-based <b>Lot</b> or non-housing-based <b>Lot</b> : 1.5 m	Yes, for <b>Rear Yard</b> and <b>Side Yard</b> when abutting a housing-based lot	No