



“To deliver effective and efficient local government services that benefit our citizens, our businesses, our environment and our future”

THE CORPORATION OF THE CITY OF VERNON

A G E N D A

REGULAR OPEN MEETING OF COUNCIL

CITY HALL COUNCIL CHAMBER

TUESDAY, MAY 25, 2021

AT 8:40 AM

*Pursuant to Provincial Health Officer's Order, "Gathering and Events – May 7, 2021", members of the public are **prohibited** from attending Council meetings in-person until such time as the order "Gathering and Events – May 7, 2021" is rescinded or amended;*

Council meetings are live-streamed and video-recorded and may be accessed at <https://www.vernon.ca/council-video>. Recordings are made available on the City of Vernon website by noon on the day following the meeting.

1. CALL REGULAR MEETING TO ORDER AND MOVE TO COMMITTEE OF THE WHOLE

2. RESOLUTION TO CLOSE MEETING

BE IT RESOLVED that the meeting be closed to the public in accordance with Section 90 of the *Community Charter* as follows:

- (1)(a) personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the municipality or another position appointed by the municipality;
- (e) the acquisition, disposition or expropriation of land or improvements, if the Council considers that disclosure could reasonably be expected to harm the interests of the municipality;
- (g) litigation or potential litigation affecting the municipality;
- (k) negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the Council, could reasonably be expected to harm the interests of the municipality if they were held in public;
- (i) the receipt of advice that is subject to solicitor-client privilege, including communications necessary for that purpose;
- (2)(b) the consideration of information received and held in confidence relating to negotiations between the municipality and a provincial government or the federal government or both, or between a

provincial government or the federal government or both and a third party.

3. ADJOURN TO OPEN COUNCIL AT 1:30 PM

AGENDA

- A. THAT the Agenda for the May 25, 2021, Regular Open Meeting of Council be adopted as circulated.

4. ADOPTION OF MINUTES AND RECEIPT OF COMMITTEE OF THE WHOLE

MINUTES

- A. THAT the minutes of the Regular Meeting of Council held May 10, 2021 be adopted; **(P. 10)**

AND FURTHER, that the minutes of the Committee of the Whole Meeting of Council held May 10, 2021 be received.

5. BUSINESS ARISING FROM THE MINUTES

6. GENERAL MATTERS

DELEGATION – CARYNE BUNN (VIA ZOOM) (P. 21)

- A. Caryne Bunn, resident of Sandon Place, will present to Council on excessive speeding and suggested measures to enhance safety.

DEVELOPMENT VARIANCE PERMIT APPLICATION FOR 702 BRASSEY CRESCENT (DVP00505) (P. 30)

- B. THAT Council support the Development Variance Permit application #00505 to vary Section 4.2.1 of Zoning Bylaw #5000 in order to allow an at grade swimming pool to be constructed within the front and exterior side yard on Lot 25, Plan KAS3344, Section 2, Township 13, ODYD (702 Brassey Crescent).

Public Input – DVP#00505

- (i) Public Input (written submissions only) on Development Variance Permit #00505 to vary sections of Zoning Bylaw #5000 for Lot 25, Plan KAS3344, Section 2, Township 13, ODYD (702 Brassey Crescent).

Issuance of Permit – DVP#00505

- (ii) THAT the Corporate Officer be authorized to issue Development Variance Permit #00505 vary Section 4.2.1 of Zoning Bylaw #5000 in order to allow an at grade swimming pool to be constructed within the front and exterior side yard on Lot 25, Plan KAS3344, Section 2, Township 13, ODYD (702 Brassey Crescent), once all conditions of Council are satisfied.

7. COUNCIL INQUIRIES

8. ADMINISTRATION UPDATES

**ADMINISTRATION
UPDATES
(0550-05) (P. 53)**

- A. THAT Council receive the Administration Updates dated May 25, 2021, for information.

9. UNFINISHED BUSINESS

**BUS STOP SNOW
REMOVAL –
INCREASED SERVICE
LEVEL (5400-11)
(P. 56)**

- A. THAT Council receive the memo titled “Bus Stop Snow Removal – Increased Service Level” dated May 10, 2021 respectfully submitted by the Manager of Roads, Drainage and Airport.

**SPRING SWEEPING
PROGRAM – UPDATE
(5400-14)
(P. 58)**

- B. THAT Council receive the memorandum titled “Spring Sweeping Program – Update” dated May 10, 2021 respectfully submitted by the General Manager of Public Works.

**ROADSIDE LITTER
CONTROL (5400-13)
(P. 60)**

- C. THAT Council receive the memorandum titled “Roadside Litter Control” dated May 10, 2021 respectfully submitted by the Manager of Roads, Drainage and Airport for information.

**8835 OKANAGAN
LANDING ROAD BOAT
LAUNCH – CLOSURE
QUESTIONS
(6140)(P. 62)**

- D. THAT Council receive the memorandum titled “8835 Okanagan Landing Road Boat Launch – Closure Questions” dated May 12, 2021 respectfully submitted by the Director, Operation Services.

**2021 PRIORITY LAKE
ACCESS COUNCIL
TOUR DISCUSSION
(8700-02)
(P. 64)**

- E. Council, at their Regular meeting of May 10, 2021, ratified and confirmed the following resolutions regarding Lakes Accesses:

‘THAT Council directs Administration to defer discussion of Lake Access Site #26 (8835 Okanagan Landing Road) until information concerning the City of Vernon’s liability at Lake Access #26 is received from the Municipal Insurance Association.’

‘THAT Council directs Administration to develop Lake Access Site #20 (7300 Tronson Road) at the same time as the Pumphouse park no later than in 2023.’

‘THAT Council directs Administration to defer discussion of the remaining 2021 Priority Lake Access Sites until further information has been received from the Municipal Insurance Association with respect to the City’s liability.’

THAT Council directs Administration to develop Lake Access Site #26 (8835 Okanagan Landing Road, community boat launch) in 2022;

AND FURTHER, that Council directs Administration to develop Lake Access Site #30 (9499 Eastside Road) in 2024;

AND FURTHER, that Council directs Administration to develop Lake Access Site #37 (114 Russell Road) in 2025;

AND FURTHER, that Council directs Administration to develop Lake Access Site #14 (7806 Tronson Road) in 2026;

AND FURTHER, that Council directs Administration to develop Lake Access Site #15 (7700 Tronson Road) in 2027;

AND FURTHER, that Council directs Administration to bring forward capital budgets for each site for Council's consideration and approval prior to commencement of work.

**DOGS IN KIN BEACH
PARK (6135-01)
(P. 70)**

F. THAT Council directs Administration to conduct a dogs on leash pilot program in Kin Beach Park from June 25, 2021 until October 15, 2021 as described in the memorandum titled "Dogs in Kin Beach Park" dated May 7, 2021, and respectfully submitted by the Manager, Long Range Planning and Sustainability;

AND FURTHER, that Council authorizes the expenditure of up to \$2,000 for the installation of signage and a pet waste bag dispenser, funded by the 2020 Unexpended Uncommitted Balance Reserve.

**DVA BUSINESS
ENGAGEMENT 30TH
AVENUE CLOSURE
(8300-07)
(P. 72)**

G. THAT Council request the Downtown Vernon Association proceed to survey businesses in the 2900 and 3000 block of 30th Avenue as outlined in the memorandum titled "DVA Business Engagement 30th Avenue Closure" dated May 12, 2021 respectfully submitted by the Manager, Long Range Planning and Sustainability.

**10. MATTERS REFERRED: COMMITTEE OF THE WHOLE AND
IN CAMERA**

11. NEW BUSINESS

A. Correspondence:

**COUNCIL
DISCRETIONARY
GRANT APPLICATIONS
– APRIL INTAKE
(1850-02)
(P. 73)**

(i) THAT Council approves the recommendations regarding the Council Discretionary Grants from the Finance Committee as follows:

1. THAT Council **approve**, on a one-time basis, a Council Discretionary Grant to Funtastic Sports Society in the amount of \$7,500 to purchase a 30 x 30 tent for their tournament.
2. THAT Council **deny** a Council Discretionary Grant to Allan Brooks Nature Centre in the amount of \$5,500 as the application does not meet the required criteria.
3. THAT Council **deny** a Council Discretionary Grant to Bottman Sports in the amount of \$6,000 as the City has limited funds for disbursement.
4. THAT Council **deny** a Council Discretionary Grant to Caetani Centre in the amount of \$10,000 as the City has limited funds for disbursement.
5. THAT Council **deny** a Council Discretionary Grant to Canadian Mental Health Association in the amount of \$10,000 as the City has limited funds for disbursement.
6. THAT Council **deny** a Council Discretionary Grant to Clarence Fulton Secondary School in the amount of \$5,695 as the application does not meet the required criteria.
7. THAT Council **deny** a Council Discretionary Grant to Community Recreation Initiative Society in the amount of \$5,000 as the City has limited funds for disbursement.
8. THAT Council **approve**, on a one-time basis, a Council Discretionary Grant to Family Resource Centre in the amount of \$3,000 to provide counselling and ongoing group support services for victimized women.
9. THAT Council **deny** a Council Discretionary Grant to Good Samaritan Canada in the amount of \$3,000 as the City has limited funds for disbursement.
10. THAT Council **deny** a Council Discretionary Grant to HOPE Outreach in the amount of \$3,000 as the City has limited funds for disbursement.
11. THAT Council **deny** a Council Discretionary Grant to International Tree Project in the amount of \$22,337 as the application does not meet the required criteria.
12. THAT Council **deny** a Council Discretionary Grant to Men's Shed Vernon Society in the amount of \$20,000 as the City has limited funds for disbursement.

13. THAT Council **deny** a Council Discretionary Grant to North Okanagan Cycling Society in the amount of \$5,000 as the City has limited funds for disbursement.
14. THAT Council **deny** a Council Discretionary Grant to North Okanagan Land to Table Network in the amount of \$2,500 as the City has limited funds for disbursement.
15. THAT Council **approve**, on a one-time basis, a Council Discretionary Grant to North Okanagan Neurological Association in the amount of \$8,000 to transition to a virtual server to provide accessible technology for staff and families.
16. THAT Council **deny** a Council Discretionary Grant to North Valley Gymnastics Society in the amount of \$4,500 as the City has limited funds for disbursement.
17. THAT Council **deny** a Council Discretionary Grant to Powerhouse Theatre in the amount of \$5,000 as the City has limited funds for disbursement.
18. THAT Council **deny** a Council Discretionary Grant to Vernon Alano Club in the amount of \$12,000 as the City has limited funds for disbursement.
19. THAT Council **approve**, on a one-time basis, a Council Discretionary Grant to Vernon BMX Association in the amount of \$5,000 to assist with operational costs.
20. THAT Council **deny** a Council Discretionary Grant to Vernon Community Music School in the amount of \$4,300 as the City has limited funds for disbursement.
21. THAT Council **approve**, on a one-time basis, a Council Discretionary Grant to Vernon Elks Lodge in the amount of \$2,300 out of a requested amount of \$5,500 to purchase a meat slicer.
22. THAT Council **deny** a Council Discretionary Grant to Vernon Farmer's Market in the amount of \$5,000 as the application does not meet the required criteria.
23. THAT Council **deny** a Council Discretionary Grant to Vernon Girls Trumpet Band in the amount of \$3,500 as the application does not meet the required criteria.
24. THAT Council **deny** a Council Discretionary Grant to Vernon Learning Disabilities Association in the amount of \$3,500 as the City has limited funds for disbursement.

25. THAT Council **deny** a Council Discretionary Grant to Vernon Lions Club in the amount of \$5,000 as the City has limited funds for disbursement.
26. THAT Council **deny** a Council Discretionary Grant to Vernon Native Housing in the amount of \$3,000 as the City has limited funds for disbursement.
27. THAT Council **deny** a Council Discretionary Grant to Vernon Paddling Centre Society in the amount of \$10,790 as the City has limited funds for disbursement.
28. THAT Council **deny** a Council Discretionary Grant to Vernon Pickleball Association in the amount of \$32,000 as the City has limited funds for disbursement.
29. THAT Council **deny** a Council Discretionary Grant to Vernon Upper Room Mission in the amount of \$20,000 as the City has limited funds for disbursement.
30. THAT Council amend the Council Discretionary Grant Policy to reflect the following change:

Item 2.1 (b) the most recent completed fiscal year financial statements within the last 2 years.

**2020 STATEMENT OF
FINANCIAL
INFORMATION
(1880-02 2020)
(P. 81)**

- (ii) THAT Council approve the 2020 Statement of Financial Information as provided in attachments to the Memorandum dated May 6, 2021 respectfully submitted by the Manager, Financial Planning and Reporting.

**TIMELINE EXTENSION
REQUEST FOR 9188
TRONSON ROAD
REZONING
AMENDMENT BYLAW
#5802, 2020 (ZON00343)
(P. 94)**

- (iii) THAT pursuant to the “Bylaws – Inactive Policy” Council approves a one year extension to the processing period for “9188 Tronson Road Rezoning Amendment Bylaw Number 5802, 2020” to June 8, 2022.

**FUNDING FOR
REPLACEMENT OF
CITY VEHICLE, UNIT
#202 ICBC WRITE-OFF
(1280-01)
(P. 97)**

- (iv) THAT Council receive the memorandum titled “Funding for Replacement of City Vehicle, Unit #202 ICBC Write-Off” dated May 18, 2021 respectfully submitted by the Manager, Fleet Services;

AND FURTHER, that Council direct Administration to proceed with the purchase of a new small utility van at a cost of \$40,000 to be funded by the ICBC settlement of \$19,661.46 from unit #202 with the remainder to be funded from Vehicle and Equipment Reserve.

**ADDITIONAL PICNIC
TABLES DOWNTOWN –
FUNDING REQUEST
(6135-01)
(P. 98)**

- (v) THAT Council directs Administration to place picnic tables downtown as described in the memorandum titled “Additional Picnic Tables Downtown –Funding Request” dated May 12, 2021, and respectfully submitted by the Manager, Long Range Planning and Sustainability;

AND FURTHER, that Council authorizes the expenditure of up to \$32,500 for the purchase and installation of the picnic tables, funded by the 2020 Unexpended Uncommitted Balance reserve.

12. LEGISLATIVE MATTERS

Bylaws:

**ADOPTION
• 5785**

- (i) THAT Bylaw #5785, **“7497 and 7501 Brooks Lane Rezoning Amendment Bylaw Number 5785, 2019”** – a bylaw to rezone the subject property from “R1: Estate Lot Residential” to “C10A: Tourist Commercial and Residential” and “P1: Parks and Open Space”, be **adopted**.
(P. 99)

- Memo dated May 11, 2021 from the Economic Development Planner, “7497 and 7501 Brooks Lane Rezoning Amendment Bylaw #5785, 2019”, re: confirmation of conditions met, consideration of adoption.
(P. 102)

**FIRST, SECOND AND
THIRD READINGS
• 5861**

- (ii) THAT Bylaw #5861, **“Fees and Charges (Residential Garbage Collection) Amendment Bylaw Number 5861, 2021”** – a bylaw to amend fees and charges for Residential Garbage Collection, be **read a first, second and third time**.
(P. 137)

13. COUNCIL INFORMATION UPDATES

A. Mayor and Councillors Reports.

**NOTICE OF MOTION –
PARAMOUNTCY –
COUNCILLOR
ANDERSON (P. 140)**

- B.** THAT Council authorize the Mayor to send a letter to UBCM and to the Provincial government asking that the paramountcy not be invoked to overrule municipal decisions.

**NOTICE OF MOTION –
FIREARM BYLAWS –
COUNCILLOR
ANDERSON (P. 141)**

- C.** BE IT RESOLVED that the City of Vernon is opposed to the adoption of any bylaws restricting possession, storage and transportation of legally owned and acquired firearms by licensed gun owners.

14. INFORMATION ITEMS

- A. Minutes from the following Committee of Council:
- (i) Finance Committee, November 19, 2020 **(P. 142)**
 - (ii) Advisory Planning, March 23, 2021 **(P. 147)**
 - (iii) Climate Action Advisory, March 24, 2021 **(P. 150)**
 - (iv) Climate Action Advisory, March 29, 2021 **(P. 155)**
- B. Letter dated May 10, 2021 from Joan Atkinson, Mayor, District of MacKenzie re: Letter of Support for national three-digit suicide prevention hotline - 988.
(P. 157)
- C. Letter dated May 11, 2021 from Braden Hutchins, Director of Corporate Services, City of Langford re: Support for Authority and Training for Hospital Security Staff. **(P. 159)**

RECESS**15. RECESS MEETING****NOTES:**

As per Public Health Order: *Gatherings and Events – May 7, 2021*, **members of the public are prohibited** from attending public hearings. Public input pertaining to the application being considered shall be received in **written form only or provided via Zoom for those registered**.

A Public Hearing is scheduled to be held at the **City of Vernon Council Chambers** at **5:30 PM** for:

“Zoning Text (Secondary Suites) Amendment Bylaw Number 5851, 2021”

RECONVENE**16. RECONVENE MEETING****THIRD READING**

- **5851**

- A. THAT Bylaw #5851 **“Zoning Text (Secondary Suites) Amendment Bylaw Number 5851, 2021”**, a bylaw to add text amendments to include development regulations for secondary suites, be **read a third time**. **(P. 160)**

CLOSE**17. CLOSE OF MEETING**

THE CORPORATION OF THE CITY OF VERNON

**MINUTES OF A REGULAR OPEN MEETING OF COUNCIL
HELD MAY 10, 2021**

PRESENT: Mayor V. Cumming

Councillors: S. Anderson, K. Fehr, K. Gares,
B. Quiring, A. Mund, (D. Nahal – absent)

Staff: W. Pearce, Chief Administrative Officer
P. Bridal, DCAO, Director, Corporate Services
K. Austin, Manager, Legislative Services
J. Nicol, Deputy Corporate Officer
C. Isles, Executive Assistant, Corporate Services
D. Law, Director, Financial Services
A. Stuart, Manager, Financial Planning & Reporting
C. Poirier, Manager, Communications & Grants
K. Flick, Director, Community Infrastructure and Development
J. Rice, Director, Operation Services
R. Manjak, Director, Human Resources
K. Poole, Manager, Economic Development & Tourism
B. Bandy, Manager, Real Estate
D. Lind, Fire Chief, Vernon Fire Rescue Services
S. Melenko, Information Technician I

Mayor Cumming called the Regular Open meeting to order at 8:41am and requested a motion to move to Committee of the Whole.

Mayor Cumming reconvened the Regular Open meeting at 10:43 am and requested a motion to move to In Camera.

**RESOLUTION TO
CLOSE MEETING**

Moved by Councillor Quiring, seconded by Councillor Fehr:

BE IT RESOLVED that the meeting be closed to the public in accordance with Section 90 of the *Community Charter* as follows:

- (1)(a) personal information about an identifiable individual who holds or is being considered for a position as an officer, employee or agent of the municipality or another position appointed by the municipality;
- (c) labour relations or other employee relations;
- (e) the acquisition, disposition or expropriation of land or improvements, if the Council considers that disclosure could reasonably be expected to harm the interests of the municipality;
- (k) negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the Council, could reasonably

be expected to harm the interests of the municipality if they were held in public.

CARRIED

Mayor Cumming called the Regular Open meeting back to order at 1:31 pm.

PRESENT: Mayor V. Cumming

Councillors: S. Anderson, K. Fehr, K. Gares,
A. Mund, B. Quiring, (D. Nahal – absent)

Staff: W. Pearce, Chief Administrative Officer
P. Bridal, Deputy CAO, Director, Corporate Services
K. Austin, Manager, Legislative Services
J. Nicol, Deputy Corporate Officer
C. Isles, Executive Assistant, Corporate Services
C. Poirier, Manager, Communications and Grants
K. Flick, Director, Community Infrastructure & Development Services
B. Bandy, Manager, Real Estate Services*
J. Rice, Director, Operation Services*
D. Law, Director, Financial Services*
S. Baher, Supt. OIC, Vernon RCMP
K. Poole, Manager Economic Development and Tourism
D. Lind, Director, Vernon Fire & Rescue Services
R. Nuriel, Economic Development Planner
E. Croy, Transportation Planner
M. Dowhaniuk, Manager, Infrastructure
L. Cordell, Manager, Long Range Planning & Sustainability
A. Watson, Manager, Transportation
S. Melenko, Information Tech.

ADOPTION OF THE AGENDA

**APPROVAL OF ITEMS
LISTED ON THE
AGENDA**

Moved by Councillor Mund, seconded by Councillor Fehr:

THAT the agenda for the May 10, 2021, Regular Open meeting of the Council of The Corporation of The City of Vernon be adopted.

CARRIED

ADOPTION OF MINUTES

COUNCIL MEETINGS

Moved by Councillor Mund, seconded by Councillor Gares:

THAT the minutes of the Regular Meeting of Council held April 26, 2021 be adopted;

AND FURTHER, that the minutes of the Committee of the Whole Meeting of Council held April 26, 2021 be received.

CARRIED

BUSINESS ARISING FROM THE MINUTES

GENERAL MATTERS

**PRESENTATION –
RCMP QUARTERLY
REPORT
(7400-30)**

Supt. Shawn Baher, OIC, RCMP, provided the First Quarter report for 2021.

The following points were noted:

- Community Service
- Frontline policing
- Serious Crime Unit
- Special Victim Unit
- Targeted Policing
- Operations Statistics
- Opioid Pilot Project Statistics
- Traffic Enforcement Statistics
- Forensic Identification Statistics
- Police Dog Service
- School Resource Officer
- Online Crime Reporting
- Annual Performance Plan

Moved by Councillor Mund, seconded by Councillor Gares:

THAT Council receives the RCMP 1st Quarter Report (January to March 2021) as provided by Supt. Shawna Baher, OIC, RCMP at the May 10, 2021 Regular Council Meeting.

CARRIED

COUNCIL INQUIRIES

DOG PARK MAPPING

Council inquired regarding Regional District of North Okanagan's (RDNO) list of posted dog parks and that it is not consistent with the City Of Vernon's list. An Admin. update will be provided.

**CIVIC RAT AND MICE
CONTROL**

Council inquired regarding civic rat and mice control and specifically if we have explored how other jurisdictions deal with rodents. Admin. advised that due to current workloads, this is not currently a priority.

**39TH AVE
ROUNDBABOUTS**

Council inquired regarding the 39th Ave roundabouts and why the traffic circles are so wide. Admin. confirmed that the width is to accommodate larger trucks and buses.

**31ST STREET AND 37TH
AVE ROAD
CONSTRUCTION**

Council inquired regarding the timing of construction of roadworks at 31st Street and 37th Avenue. Admin. advised that the tender is currently in progress, it is anticipated that the road will be closed for approximately two weeks during construction.

**PADDLEWHEEL PARK
SIGNAGE**

Council inquired regarding the traffic calming signs at Paddlewheel Park. Admin. advised that temporary signage has arrived and will be posted and the situation will be monitored.

ADMINISTRATION UPDATES**ADMINISTRATION
UPDATES
(0550-05)**

Moved by Councillor Quiring, seconded by Councillor Gares:

THAT Council receive the Administration Updates dated May 10 2021, for information.

CARRIED

UNFINISHED BUSINESS**SKATING RINK
OPTIONS FOR
CONSIDERATION
(6135-03)**

Moved by Councillor Fehr, seconded by Councillor Mund:

THAT Council receive the report titled “Skating Rink Options for Consideration” dated April 28, 2021 and respectfully submitted by the Manager, Long Range Planning and Sustainability.

DEFEATED, with Councillors Mund, Anderson, Gares and Quiring opposed.

Moved by Councillor Anderson, seconded by Councillor Gares:

THAT Council direct Administration to provide more information on the selected option(s) for an outdoor skating rink as outlined in the report titled “Skating Rink Options for Consideration” dated April 28, 2021 and respectfully submitted by the Manager, Long Range Planning and Sustainability as follows:

- Synthetic Ice Surface as shown on Attachment 3 of above-noted report

CARRIED, with Councillor Fehr opposed

Moved by Councillor Quiring, seconded by Councillor Anderson:

THAT Council direct Administration to provide more information on temporary refrigerated ice surfaces in a variety of sizes, as outlined in the report titled “Skating Rink Options for Consideration” dated April 28, 2021 and respectfully submitted by the Manager, Long Range Planning and Sustainability.

CARRIED, with Councillor Fehr opposed**30TH AVENUE STREET
CLOSURE (8300-07)**

Moved by Councillor Quiring, seconded by Councillor Anderson:

THAT Council defer discussion of the memorandum titled “30th Avenue Street Closure” dated April 28, 2021, pending Councillor Nahal’s return.

WITHDRAWN

Moved by Councillor Mund, seconded by Councillor Quiring:

THAT Council receive for information the memorandum titled “30th Avenue Street Closure” dated April 29, 2021 and respectfully submitted by the Director of Community Infrastructure and Development.

CARRIED

Moved by Councillor Quiring, seconded by Councillor Anderson:

THAT Council direct Administration to reach out to the DVA and ask what their availability and timing will be to provide a survey to the businesses in the 2900 and 3000 block of 30th Avenue.

CARRIED**MATTERS REFERRED FROM THE COMMITTEE OF THE WHOLE –
May 10, 2021**

Moved by Councillor Mund, seconded by Councillor Quiring:

THAT Council **ratifies and confirms** the following resolutions adopted at the **May 10, 2021**, Committee of the Whole meeting of Council:

‘THAT Council receives and approves the 2020 Audited Financial Statements as presented by representatives of KPMG, LLP, at the May 10, 2021 Committee of the Whole meeting.’

CARRIED

Moved by Councillor Mund, seconded by Councillor Quiring:

THAT Council **ratifies and confirms** the following resolutions adopted at the **May 10, 2021**, Committee of the Whole meeting of Council:

'THAT Council directs Administration to defer discussion of Lake Access Site #26 (8835 Okanagan Landing Road) until information concerning the City of Vernon's liability at Lake Access #26 is received from the Municipal Insurance Association.'

CARRIED

Moved by Councillor Mund, seconded by Councillor Quiring:

THAT Council **ratifies and confirms** the following resolutions adopted at the **May 10, 2021**, Committee of the Whole meeting of Council, and amended as shown in bold:

*'THAT Council directs Administration to develop Lake Access Site #20 (7300 Tronson Road) **at the same time as the Pumphouse park no later than in 2023.***

CARRIED

Moved by Councillor Mund, seconded by Councillor Gares:

THAT Council **ratifies and confirms** the following resolutions adopted at the **May 10, 2021**, Committee of the Whole meeting of Council:

THAT Council directs Administration to defer discussion of the remaining 2021 Priority Lake Access Sites until further information has been received from the Municipal Insurance Association with respect to the City's liability.

CARRIED

Moved by Councillor Quiring, seconded by Councillor Gares:

THAT Council **ratifies and confirms** the following resolutions adopted at the **May 10, 2021**, Committee of the Whole meeting of Council:

'THAT Council directs Administration to defer Diversity Training until such time that a Member of Council requests that it placed back on the agenda.'

CARRIED

THAT Council brings forward, as public information, the following motions **declassified** from confidential to non-confidential at the May 10, 2020, In Camera meeting:

‘THAT Council direct Administration to renew the following Management Unit leases at the noted rates for the 2021 Spray Irrigation season:

- *Management Units 4a, 4b – Coldstream Ranch, \$1,898.06 per year,*
- *Management Unit H - Coldstream Ranch, \$230.96 per year,*
- *Management Unit A - Coldstream Ranch, \$4,572.02 per year,*
- *Management Unit 11 – F.D.C. Ayres, \$710.20 per year,*
- *Management Unit 12 – Havenwood Ranch (French Family), \$739.06 per year;*

AND FURTHER, that Council direct Administration to further renew these Management Units leases to the same lessees for the Spray Irrigation seasons of 2022 through 2025, with the rates increased annually by prior year CPI All Items B.C.’

NEW BUSINESS

Correspondence:

*Councillor Fehr left the meeting at 4:05 pm and returned at 4:08 pm.
Mayor Cumming left the meeting at 4:17 pm and returned at 4:19 pm.*

2021 PLANNING AND BUILDING FIRST QUARTER STATISTICS SUMMARY (6970-20)

Moved by Councillor Mund, seconded by Councillor Gares:

THAT Council receive the memorandum titled “2021 Planning and Building First Quarter Statistics Summary” dated April 27, 2021, respectfully submitted by the Economic Development Planner, for information.

CARRIED

42ND AVENUE BX CREEK CULVERT REPAIR FUNDING (5410-10-42)

Moved by Councillor Mund, seconded by Councillor Fehr:

THAT Council receive the memorandum titled “42nd Avenue BX Creek Culvert Repair Funding”, dated April 30, 2021 and respectfully submitted by the Manager, Infrastructure;

AND FURTHER, that Council authorize the additional expenditure of \$370,000 for the BX Crossing at 42nd Avenue, to be funded by the Trenchless Storm and Culvert Rehabilitation project.

CARRIED

Reports:

Councillor Anderson left the meeting at 4:34pm.

**2021 LAKE ACCESS
PLAN UPDATE
(8700-02)**

Moved by Councillor Quiring, seconded by Councillor Fehr:

THAT Council endorse the updated 2018 Lake Access Plan as shown in Attachment 1 in the report titled “2021 Lake Access Plan Update” dated April 27, 2021 and respectfully submitted by the Transportation Planner.

CARRIED

Councillor Anderson returned to the meeting at 4:36pm.

LEGISLATIVE MATTERSBylaws:

Councillor Gares declared a conflict of interest as she is the Chair of the Vernon and District Community Land Trust. Councillor Gares left the meeting at 4:36 pm.

ADOPTION

- 5837

Moved by Councillor Mund, seconded by Councillor Fehr:

THAT Bylaw #5837, “**6309, 6321 and 6335 Okanagan Landing Road Rezoning Amendment Bylaw Number 5837, 2020**” – a bylaw to rezone lands from RR: Rural Residential to RH1: Low-Rise Apartment Residential, be **adopted**.

CARRIED

Councillor Gares returned to the meeting at 4:37 pm.

- 5853

Moved by Councillor Fehr, seconded by Councillor Mund:

THAT Bylaw #5853, “**Tax Rates Bylaw 5853, 2021**” – a bylaw to levy rates for Municipal, Hospital, Regional District and Specified Area purposes for 2021, be **adopted**.

CARRIED

- 5854

Moved by Councillor Anderson, seconded by Councillor Mund :

THAT Bylaw #5854, “**Parks and Public Places (Removal of Section 24) Amendment Bylaw Number 5854, 2021**” – a bylaw to remove Section 24 from Parks and Public Places Bylaw Number 5057, be **adopted**

CARRIED

- **5855** Moved by Councillor Mund, seconded by Councillor Anderson:

THAT Bylaw #5855, **“Bylaw Notice Enforcement (Remove Penalties under Section 24) Amendment Bylaw Number 5855, 2021”** – a bylaw to remove penalties under Section 24 of Parks and Public Places Bylaw Number 5057, be **adopted**.

CARRIED

- **5856** Moved by Councillor Mund, seconded by Councillor Gares:

THAT Bylaw #5856, **“Municipal Ticketing Information (Remove Penalties under Section 24) Amendment Bylaw Number 5856, 2021”** – a bylaw to remove penalties under Section 24 of Parks and Public Places Bylaw Number 5057, be **adopted**.

CARRIED

- **5857** Moved by Councillor Gares, seconded by Councillor Mund:

THAT Bylaw #5857, **“Traffic (Electric Kick Scooters) Amendment Bylaw Number 5857, 2021”** – a bylaw to allow the use of Electric Kick Scooters in Vernon as part of the Ministry of Transportation and Infrastructure’s Electric Kick Scooter Pilot, be **adopted**.

CARRIED

- **5859** Moved by Councillor Quiring, seconded by Councillor Gares:

THAT Bylaw #5859, **“Heritage Revitalization Agreement Amendment (3001 25th Street) Bylaw Number 5859, 2021”** – a bylaw to amend Heritage Revitalization Agreement Bylaw Number 4810, 2003, be **adopted**.

CARRIED

COUNCIL INFORMATION UPDATES

Councillor Akbal Mund

- No report

Councillor Scott Anderson

NOTICE OF MOTION – COUNCILLOR ANDERSON - PARAMOUNTCY

To be brought forward to the Regular meeting on May 25, 2021:

THAT Council authorize the Mayor to send a letter to UBCM and to the Provincial government asking that the paramountcy not be invoked to overrule municipal decisions.

**NOTICE OF MOTION –
COUNCILLOR
ANDERSON – FIREARM
BYLAWS**

To be brought forward to the Regular meeting on May 25, 2021:

BE IT RESOLVED that the City of Vernon is opposed to the adoption of any bylaws restricting possession, storage and transportation of legally owned and acquired firearms by licensed gun owners.

Councillor Kari Gares:

Attended:

- Regional Growth meeting
- Regional Library finance meeting
- Greater Vernon Chamber of Commerce advocacy
- Tourism Commission

Councillor Kelly Fehr:

Attended:

- Regional Advisory Committee

Councillor Brian Quiring:

- No report

Mayor Victor Cumming:

Attended:

- Mayors and Chairs meeting with Ministers Behr & Osborne
- Day of Mourning
- Community to Community with OKIB
- Climate Action Advisory Committee
- Meeting with Mayor Garlick re: trails and natural spaces for GVAC
- Okanagan Basin Water Board
- Meeting with new executive of North Okanagan Cycling Society
- Greater Vernon Advisory Committee
- Video celebrating the opening of the 29th/30th Street corridor

14. INFORMATION ITEMS

A. Minutes from the following Committee of Council:

- (i) Tourism Commission, March 17, 2021
- (ii) Tourism Commission, April 21, 2021

B. Letter dated April 1, 2021 from David Screech, Mayor, Town of View Royal re: Request for Authority and Training for Hospital Security Staff.

C. Letter dated April 12, 2021 from Merlin Blackwell, Mayor, District of Clearwater re: Designation of invasive Asian clams as Prohibitive Aquatic Invasive Species.

- D. Letter dated April 12, 2021 from Merlin Blackwell, Mayor, District of Clearwater re: Endorsement of 9-8-8 Crisis Line Initiative.
- E. Letter dated April 23, 2021 from Brad Sperling, Regional Board Chair and Leonard Hiebert, Invasive Plant Committee Chair, Peace River Regional District re: Lack of funding – Invasive Plant Management.
- Letter dated April 21, 2021 from Allen Courtoreille, Mayor, District of Chetwynd re: Support for Invasive Weed Control on Crown Land.
- F. Letter dated April 29, 2021 from Andy Adams, Mayor, City of Campbell River re: Logging of at-risk old-growth forests in the province.
- G. Email dated May 5, 2021 from the Office of the Premier re: Opioid Crisis.

Mayor Cumming requested a motion to move to In Camera at 4:57 pm.

**RESOLUTION TO
CLOSE MEETING**

Moved by Councillor Quiring, seconded by Councillor Anderson:

BE IT RESOLVED that the meeting be closed to the public in accordance with Section 90 of the *Community Charter* as follows:

(1)(c) labour relations or other employee relations.

CARRIED

Mayor Cumming called the Regular Open meeting back to order at 5:19 pm.

CLOSE

Mayor Cumming closed the Regular Open Meeting of the Council of the Corporation of the City of Vernon at 5:19 pm.

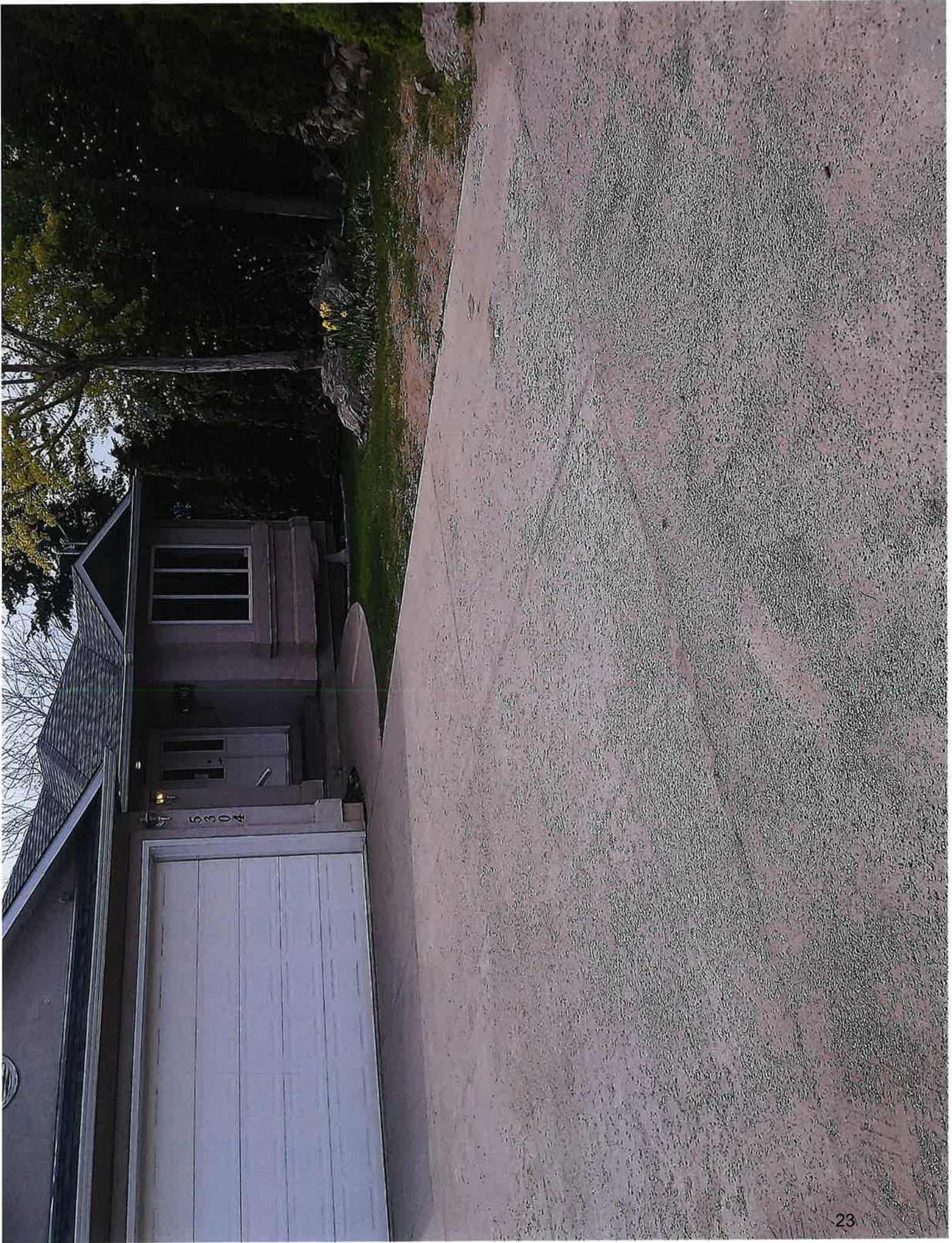
CERTIFIED CORRECT:

Mayor

Corporate Officer







Narinder Bal
Sandon Place
Vernon B.C

City Of Vernon
3400 30th Street
Vernon B.C
V1T 5E6
April 30th 2021

To whom it may concern,

Please be advised that the speed that vehicles travel on Bella Vista Road is unacceptable. There have been many accidents on the area between Planet Bee and Davidson Road.

We need to have more speed signs and barriers put in place along the residential side of that area as well as a cross walk.

Kindest Regards.

Narinder Bal.

A handwritten signature in black ink, appearing to be 'Narinder Bal', written in a cursive style.

Austin and Caryne Bunn

Sandon Place

Vernon BC

Dear Sir/Madame

We are the home owner of 5201 Sandon Place Vernon BC.

On the early evening of Friday, June 28, 2019, there was an unfortunate accident on Bella Vista Road, the back side of our home.

Resulting in a gentleman being seriously injured, his vehicle collide with a smaller vehicle with children in the back seat the vehicles caused damage to two properties 5201 Sandon Place and 5109 Sandon Place.

Safety is a huge concern as the homes that back onto Bella Vista from Sandon Place (5109, 5201, and 5205) have young children. We residence are uncomfortable on having children play in the yards or entertaining with guests in our yards. This should not be a concern, we should be able to enjoy the Okanagan sun, beauty and sounds of the quails.

Our home was purchased in 2006, this is the 3rd accident resulting in property damage.

Dec 26, 2007 Claim [REDACTED] \$13860.00.

This damage was due to a vehicle coming down Bella Vista

Damages to fence, deck/ stairs and stucco damage

Dec 31, 2010 [REDACTED] - Loss - Impact Land Vehicle \$13186.00

This damage was due to a vehicle coming up Bella Vista

Damage to fence, deck/stairs

June 28, 2019 [REDACTED] cost has not been determined

This damage was due to a vehicle coming up Bella Vista

Damage to fence, and structural damage to our home

Over the past few years the traffic volume on Bella Vista has increase considerably.

We along with area residence are nervous and worried about safety.

It is believed the increase in traffic volume is due to the development, and continued developing of "The Rise" and "Tronson Road", as well as "Okanagan Landing" traffic has migrated to Bella Vista to get to the North end of Vernon.

The Traffic Act rule is if not posted travel at 50KM, however this speed is not being keep. At times it seems as if Bella Vista has become a speed way.

There are no speed signs posted;No pedestrian signs posted ;No slow signs posted ; in the area of Bella Vista Orchards, Planet Bee or entrance to go up the hill to Davidson Orchard. These areas are great tourist attractions, with a tremendous amount of foot traffic. Again safety should be the utmost importance in these areas.

There needs to be sings put in place for speed and pedestrian walking all long the road.

Can this be done? Or can speed bumps be put in place from Heritage Drive and Bella Vista and at Allenby Way and Bella Vista? Sooner the better.

In the years of living in this area we have not seen police presents doing traffic speed control.

Is there a change this could be done?

With the accidents in 2007 and 2010 we did contact the City of Vernon to see if there could be concrete barriers put in place on the ditch side/house side of the road. Each time we were advised someone would be out to review. We had not been contacted or advise at any time of the result of the review. Here we are again addressing the same problem. This time with a major injury, vehicle damage and property damage.

There has been several accidents on this road in the area of Bella Vista Orchard driveway and Plant Bee driveway. Many vehicles have entered Bella Vista Orchard causing much damage to the orchard, and fencing. Vehicles have even traveled along the concrete barriers in place causing them to flip on their side or roof. Again a safety concern.

We have been in contact with the Engineering Department, Ed Stranks, and his team Ellen and Dwight, with MLA, Eric Fosters. His office contacted, City of Vernon Transportation, Amanda Watson. For legal advise and guidance we have met with Lawyer, Bob Moffat.

Ed Stranks, was to refer this concern to the City of Vernon Transportation, Amanda Waston.

MLA Eric Fosters office was contacted by City of Vernon Transportation, Amanda Waston as we were in the office. She advised there would be a meeting to address our concerns.

As of today we have not had any further conversation with the City of Vernon Transportation, Amanda Waston.

We will communicate with City of Vernon Transportation, Amanda Waston by weeks end July 19, 2019.

The families of 5109, 5201 and 5205 really would like to have this concern and safety matter addressed immediately, so we can feel safe in our yards.

This accident has impacted many families in our area. Our hearts are sad as we do not know the health and welfare of the gentleman. Our thoughts are with the young family that was collided with and their mental well being.

Property can be repaired as we all agree, but lives can not be replaced.

The families in our neighbourhood need to see results as soon as possible. Please help us.

Please reply with an action plan. We really need to feel safe, and to be heard.

Thank you for your time and immediate reply.

Regards,

Caryne Bunn

Mayor Cumming and Councillor

Area in Question:

Bella Vista Road Way Across from Planet Bee

Issue:

Speed and amount of traffic

Chevrons have been put in place to show the curve. We thank you!

What do we want to happen?

- A sign on the curve to slow down to 30KM or 40KM
- Signs to show the speed is 50KM (example a lit sign with the Happy Face) for a reminder
- Continue barriers as is at 5304 Bella Vista Road. The 6th house up from the corner. Could they be extended to the corner of Sandon Road and Belle Vista.
- Police presents is difficult, this could be more of a challenge. Could the presents of the individuals of the Community Watch be available from time to time. Drivers are more cautious when they see them.

Safety is a major concern.

Tanya Belanger
Sandon Place
Vernon BC

May 18, 2021

To Whom it may concern;

We live on Sandon Place and our backyard, backs onto Bella Vista by the entrance to Davison Orchards. We have a trampoline that usually has our kids and other neighbors' children as well on it as well as they play in the yard most of the time. I am always worried that one day someone would come through our fence.

We have lived in this residence since Sept 2018 and we have already witnessed a horrific accident that could have been so much worse. Speed, the weather conditions, rainy weather and the way that the road curves needs some better protection for our families. There was a man that his truck went down and into the backyard of our next door neighbors house, it HIT their home. The Truck smashed over all the kids' toys. THANKFULLY there were no children out that day or the dogs were not in the area. The driver was thrown from the vehicle and was given CPR by another neighbor, he was taken away with life threatening injuries. This is only one of the many stories I have heard happen. And not the first time for this neighbor. We need to not wait for this to happen again. We need to do something now.

This part of the road is scary. People drive way too fast and there is really no safe way to have our children use it to get to downtown or to Allenby safely. The speed on this road is getting worse. The traffic picks up when Davison Orchards and Planet Bee are at full capacity.

Something needs to be done here to make it safe for all involved.

Thanks for your time,

Tanya Belanger



THE CORPORATION OF THE CITY OF VERNON REPORT TO COUNCIL

SUBMITTED BY: Craig Broderick, Manager, Current Planning

COUNCIL MEETING: REG ☒ COW ☐ I/C ☐

COUNCIL MEETING DATE: May 25, 2021

REPORT DATE: May 14, 2021

FILE: 3090-20 (DVP00505)

SUBJECT: DEVELOPMENT VARIANCE PERMIT APPLICATION FOR 702 BRASSEY CRESCENT

PURPOSE:

To review the development variance permit application to vary Section 4.2.1 of Zoning Bylaw #5000 in order to allow an at grade swimming pool to be constructed within the front and exterior side yard at 702 Brassey Crescent. The applicant has also requested that covenant LB136794 (charge holder is Predator Ridge) be modified to allow a portion of the pool and deck to be within the covenant area. Any modifications of the covenant would be up to the charge holder (Predator Ridge Golf Club Ltd.).

RECOMMENDATION:

THAT Council support Development Variance Permit Application DVP00505 to vary Section 4.2.1 of Zoning Bylaw #5000 in order to allow an at grade swimming pool to be constructed within the front and exterior side yard on Lot 25, Plan KAS3344, Section 2, Township 13, ODYD (702 Brassey Crescent);

AND FURTHER, that Council support of DVP00505 is subject to the following:

- a) the site plan and elevations intended to illustrate the proposed variance, as shown on Attachments 1 and 2 in the report titled "Development Variance Permit Application for 702 Brassey Crescent" dated May 14, 2021, respectfully submitted by the Manager, Current Planning, be attached to and form part of DVP00505 as Schedule 'A'.

ALTERNATIVES & IMPLICATIONS:

1. THAT Council not support Development Variance Permit Application DVP00505 to vary Section 4.2.1 of Zoning Bylaw #5000 in order to allow an at grade swimming pool to be constructed within the front and exterior side yard on Lot 25, Plan KAS3344, Section 2, Township 13, ODYD (702 Brassey Crescent).

Note: This alternative does not support the development variance permit application and as a result the swimming pool could not be constructed as requested.

ANALYSIS:

A. Committee Recommendations:

At its meeting of April 27, 2021, the Advisory Planning Committee passed the following resolution:

"THAT Council support Development Variance Permit Application DVP00505 to vary Section 4.2.1 of Zoning Bylaw #5000 in order to allow an at grade swimming pool to be constructed within the front and exterior side yard on Lot 25, Plan KAS3344, Section 2, Township 13, ODYD (702 Brassey Crescent);

AND FURTHER, that Council support of DVP00505 is subject to the following:

- a) The site plan and elevations intended to illustrate the proposed variance, as shown on Attachments 1 and 3 in the report titled "Development Variance Permit Application for 702 Brassey Crescent" dated April 20, 2021, respectfully submitted by the Manager, Current Planning, be attached to and form part of DVP00505 as Schedule 'A'.

B. Rationale:

1. The subject property is located at 702 Brassey Crescent (Figures 1 and 2). The property is 1,087 sq.m (11,700 sq.ft) in size. The subdivision and property are located in the Falcon Point neighbourhood of Predator Ridge. The property is located at the corner of Brassey Crescent and Falcon Point Way. The subdivision (KAS3344) was registered in November 2007. The house on this lot was constructed in November 2010.
2. The subject application proposes to vary Section 4.2.1 of Zoning Bylaw #5000 in order to allow an at grade swimming pool to be constructed within the front and exterior side yard of the subject property.
3. In support of the application, the owner has submitted a letter, site photographs, a site plan and a cross-section of the lot (Attachment 1). The intent is to construct a pool on the south-west side of the property as that is the preferred site for the proposed pool and related improvements.
4. Zoning Bylaw #5000 Section 4.2.1 states that "Swimming pools shall not be located in a front yard or an exterior side yard". For the subject property, the functional rear yard (i.e. behind the house) is technically the front yard due to the subdivision configuration. From a legal/zoning perspective, the front yard of this lot is on Falcon Point Way as that is the most narrow road frontage. The exterior side yard flanks onto Brassey Crescent. Typically, zoning bylaws prohibit pools and other accessory buildings (i.e. sheds, garages, etc.) in front and exterior side yards. The intent is

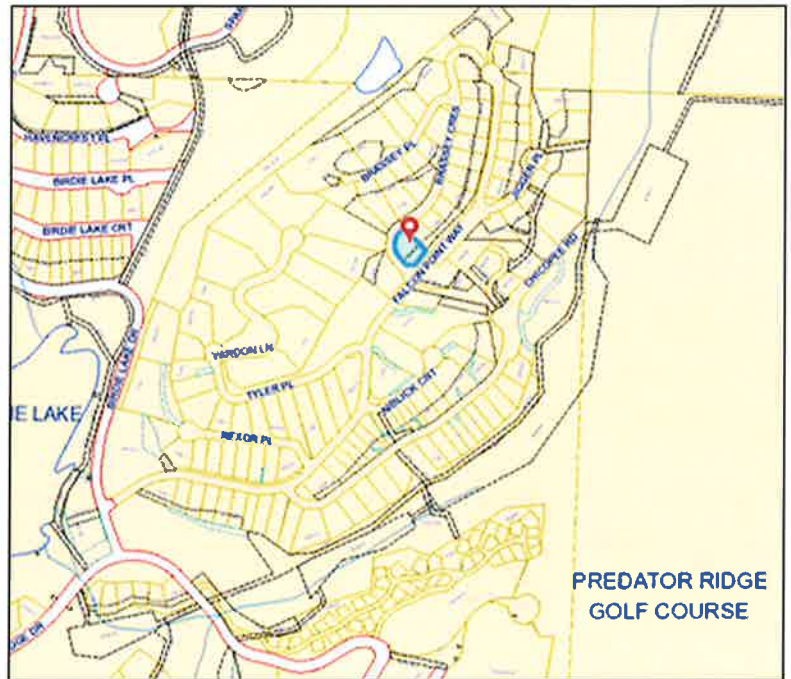


Figure 1 - Property Location Map

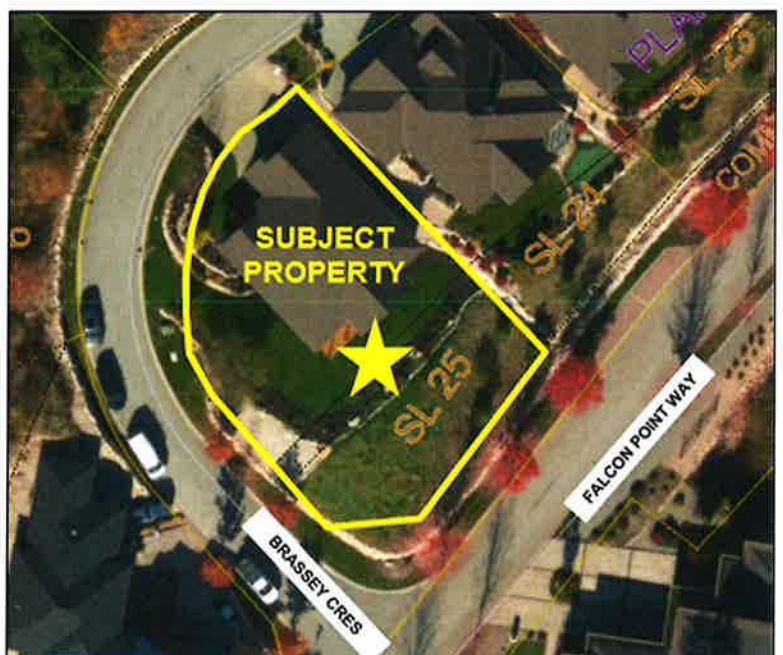


Figure 2 – Aerial View of Property

to help keep a residential streetscape along a typical subdivision development, while also enhancing privacy for residents. Further, safety considerations related to pools is typically easier to administer with a pool in the rear yard.

5. As with many phases of development at Predator Ridge, a “no-build, no-disturb” covenant was placed on title at the rear of the property. Most of these covenant areas are environmentally sensitive or serve as a buffer between residential uses and golf areas. The covenant (LB136794 – Attachment 2) is in the name of Predator Ridge Golf Club Ltd. This covenant has been heavily modified in the past as it is the rear yard of all the homes on Brassey Crescent. As the covenant is not in the City’s name, any modification within that area is up to the charge holder (i.e. Predator Ridge Golf Club Ltd.). As the charge holder of the Restrictive Covenant, Predator Ridge is aware of this application.
6. The physical characteristics of the lot and house built on the lot limit options for the placement of the pool and related improvements. The lot slopes upward from Falcon Point Way and Brassey Crescent. As such, the pool and deck would be above the road surfaces and generally out of view from drivers, pedestrians and cyclists. The required fencing and landscaping would screen the pool from view. In general, the Falcon Point area of Predator Ridge is similar to a large, multi-phase strata with only other owners entering the area. No through road exists or are planned for that part of the Predator Ridge neighbourhood.
7. Administration supports the proposed construction of the pool and related improvements (i.e. deck, pump house). The site is well suited for the proposed project and the zoning regulations in this instance are not effective.
8. In order to protect the public, Council members, and staff, the City has implemented strict physical distancing measures in all City facilities, which follow the guidelines and Orders of the Provincial Health Officer (PHO).

Until further notice, to support these measures, Council has directed Administration to receive public input for development variance permit applications in written form only, until physical distancing requirements have been lifted by the PHO.

Only those written submissions (or emails to phearings@vernon.ca) received prior to the Public Input Session shall be distributed to Council.

As part of the notification process, twelve letters were sent to neighbouring residents, tenants and property owners. At the time of report writing, zero written submissions had been received. As input is received, it is placed on the City of Vernon website (Development Variance Permits – Public Input) as well as in a binder at the front counter of the Community Services Building.

C. Attachments

Attachment 1 – Letter, Site Photographs, Site Plan and Cross-Section
Attachment 2 – Restrictive Covenant (LB136794)

D. Council’s Strategic Plan 2019 – 2022 Goals/Action Items:

The subject application involves the following goals/action items in Council’s Strategic Plan 2019 – 2022:

- Review applications processes to ensure they are efficient as possible

E. Relevant Policy/Bylaws/Resolutions:

N/A

BUDGET/RESOURCE IMPLICATIONS:

N/A

Prepared by:

May 13 2021 4:36 PM

Approved for submission to Council:


X

Craig Broderick



Craig Broderick, Manager
Current Planning


Will Pearce, CAO

Date: 17 MAY 2021


X

Signer 2

Kim Flick, Director
Community Infrastructure and Development

REVIEWED WITH

- | | | |
|--|---|---|
| <input type="checkbox"/> Corporate Services | <input type="checkbox"/> Operations | <input checked="" type="checkbox"/> Current Planning |
| <input type="checkbox"/> Bylaw Compliance | <input type="checkbox"/> Public Works/Airport | <input type="checkbox"/> Long Range Planning & Sustainability |
| <input type="checkbox"/> Real Estate | <input type="checkbox"/> Facilities | <input type="checkbox"/> Building & Licensing |
| <input type="checkbox"/> RCMP | <input type="checkbox"/> Utilities | <input type="checkbox"/> Engineering Development Services |
| <input type="checkbox"/> Fire & Rescue Services | <input type="checkbox"/> Recreation Services | <input type="checkbox"/> Infrastructure Management |
| <input type="checkbox"/> Human Resources | <input type="checkbox"/> Parks | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Financial Services | | <input type="checkbox"/> Economic Development & Tourism |
| <input checked="" type="checkbox"/> COMMITTEE: APC (Apr.27/21) | | |
| <input type="checkbox"/> OTHER: | | |

RANDY HOOD

702 Brassey Crescent
Vernon, BC V1H 2H7

September 22, 2020

City of Vernon
3400-30 St.
Vernon, BC

ATT: Mr. Craig Broderick

Dear Sir,

We are proposing to build a swimming pool on the front of our property, however there is an existing covenant registered on our property. We are requesting a waiver of a portion of this covenant to allow construction of the pool.

I understand that the original purpose of these covenants was to preserve the natural areas on the lots. On this particular lot the developer removed all vegetation because of the terrain and required grade changes.

Previous owners of the property landscaped a portion of the covenant area, added trees and wild grasses to the remainder of the area.

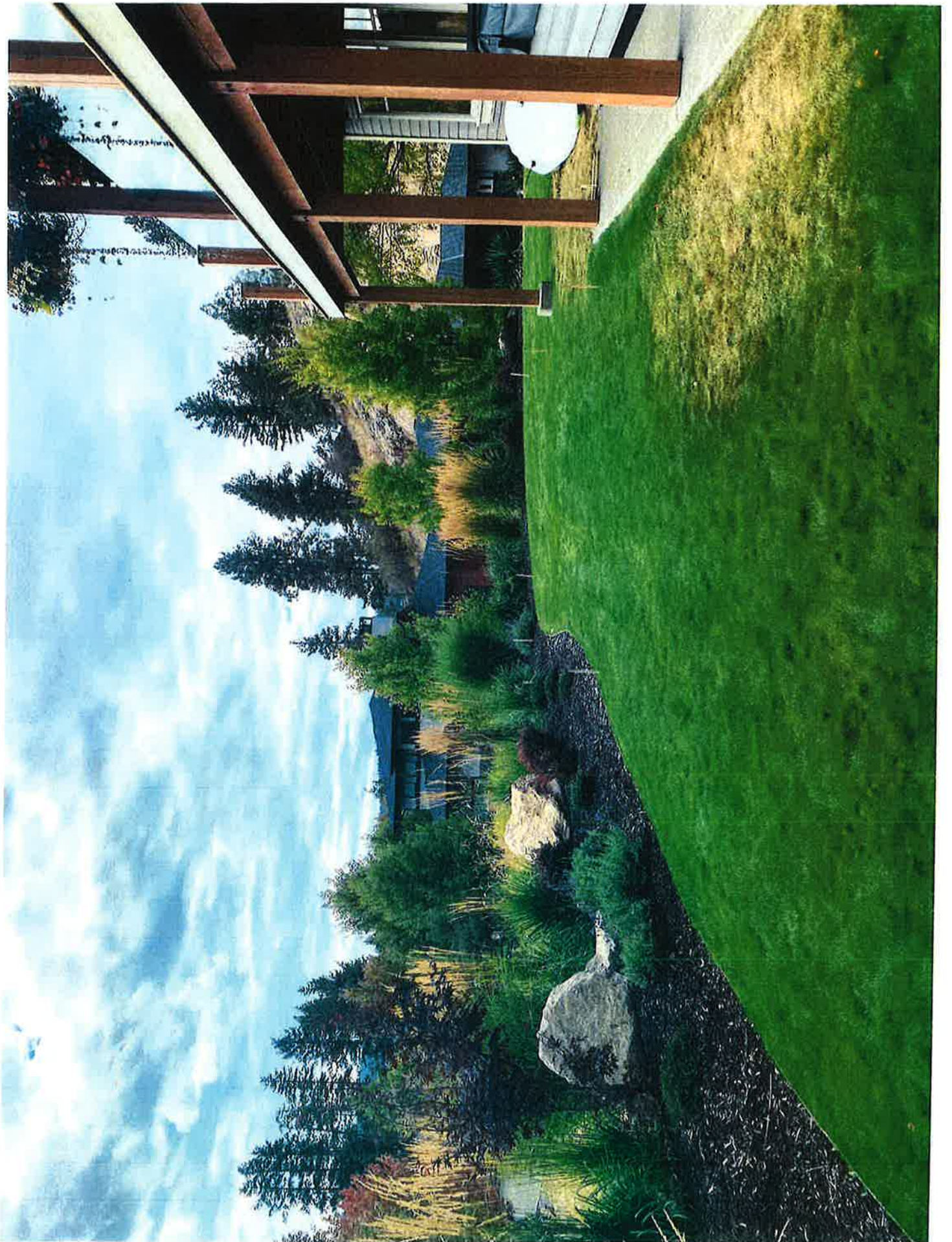
We would intend to move the landscaping in the proposed pool and patio area closer to the Falcon Point Way end of the lot, along the edge of the new patio.

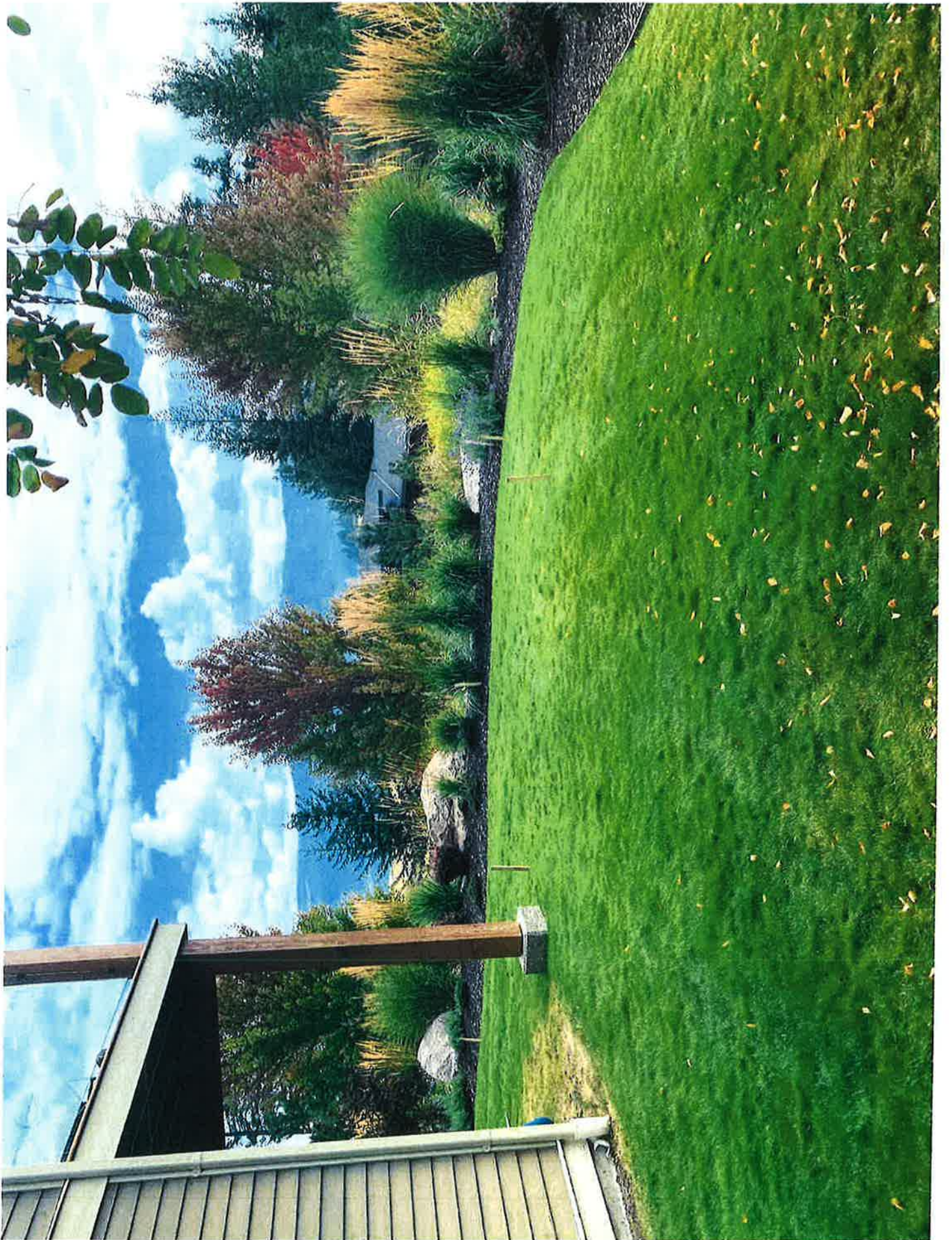
We have attached our pool permit application, site plan and a few photos showing the existing landscaping.

We would be please to meet with you onsite at your convenience.

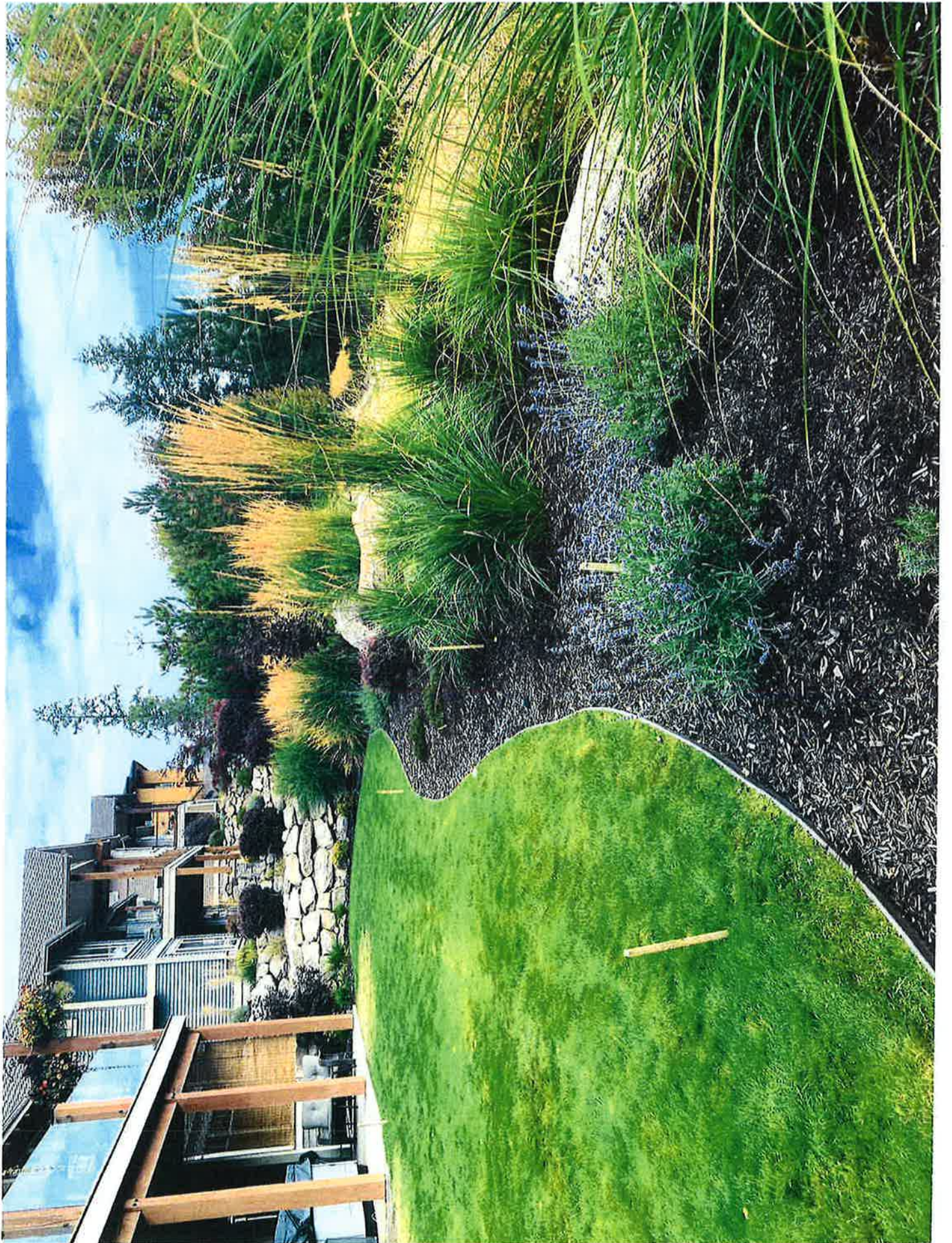
Best Regards,

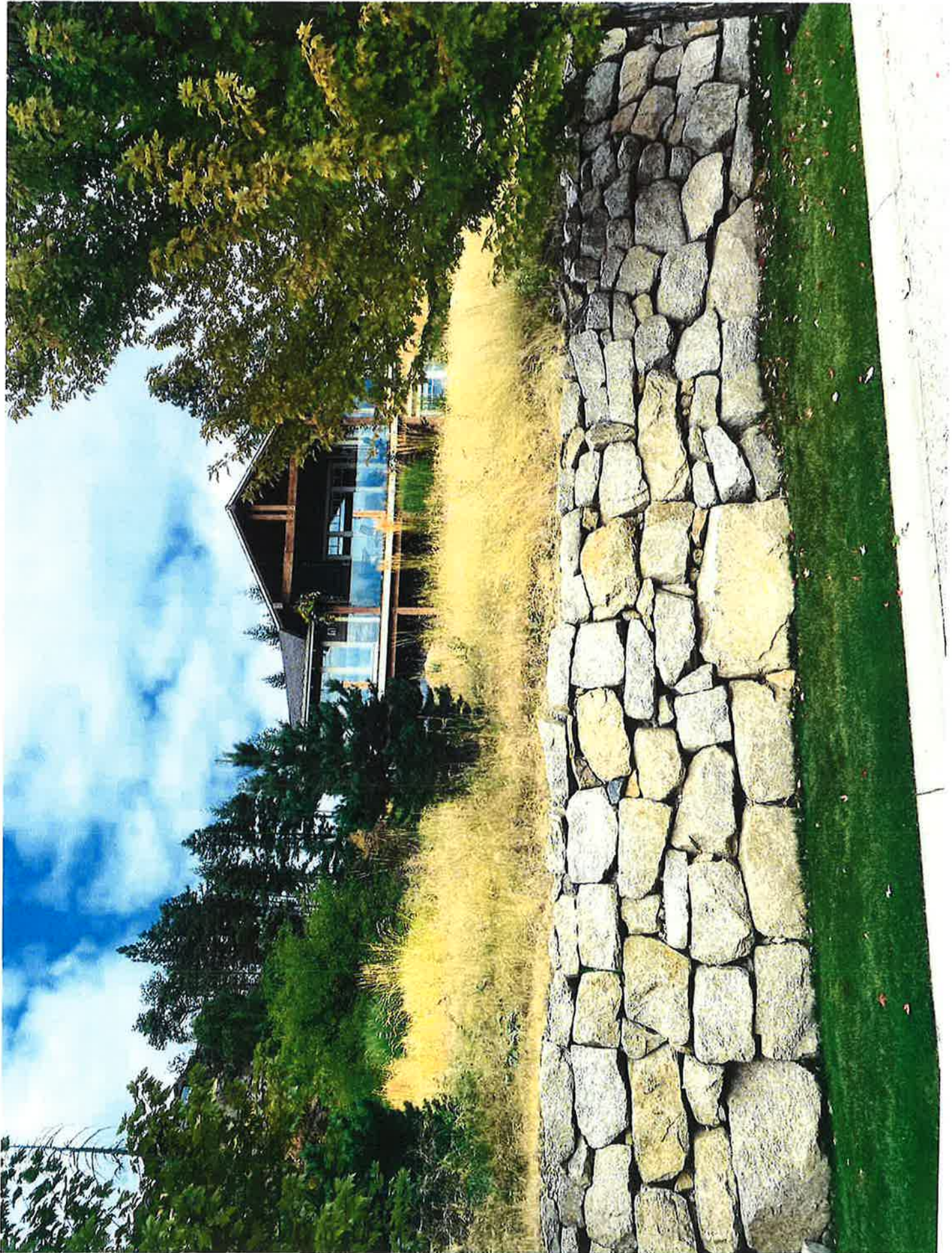
Randy Hood











SCALE 1: 400 (ALL DISTANCES IN METRES)

PID: 027-305-830

CIVIC ADDRESS: 702 BRASSEY CRES, VERNON, BC



DERIVED FROM FIELD SURVEY.

FILE No. 26202sc

F.B. 1169

Pg. 48

RUSSELL N. SHORTT
British Columbia Land Surveyor

2801-32nd Street, Vernon, B.C. Phone 545-0511
c/o FAX: 545-2741

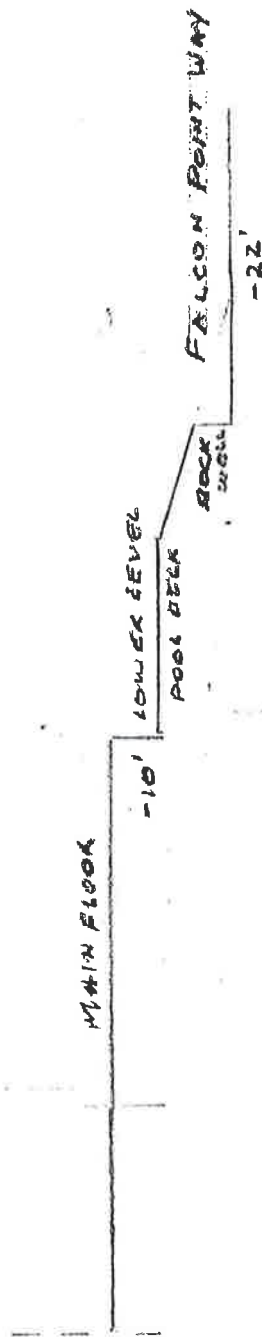
© JASON R. SHORTT, B.C.L.S., 2010.

THIS BUILDING LOCATION CERTIFICATE HAS BEEN PREPARED IN ACCORDANCE WITH THE MANUAL STANDARD OF PRACTICE AND IS CERTIFIED CORRECT THIS 28TH DAY OF MARCH, 2010.

J.R. SHORTT
(INVALID IF NOT ORIGINALLY SIGNED AND SEALED)

BP 34167

O. BRASSEY (219)



SITE PROFILE

702 BRASSEY CREEK

Status: Registered

Doc #: LB136794

RCVD: 2007-11-15 RQST: 2017-03-03 09.08.55

**LAND TITLE ACT
FORM C**

(Section 233)

Province of British Columbia

GENERAL INSTRUMENT - PART 1

(This area for Land Title Office use)

Page 1 of 10 pages

1. APPLICATION: (Name, address, phone number and signature of applicant, applicant's solicitor or agent)

NIXON WENGER, Barristers and Solicitors (ID #10560)

4th Floor, 3201-30th Avenue, Vernon, B.C. V1T 2C6

Telephone No. (250) 542-5353

Attention: Chris Alveberg 19286-304

signature of applicant, applicant's solicitor or agent
 RB 07/11/15 14:54:09 01 KL 026553
 CHARGE \$131.30
 RB 07/11/15 14:54:14 01 KL 026553
 S/S/DT PLANS \$54.00

2. PARCEL IDENTIFIER(S) AND LEGAL DESCRIPTION(S) OF LAND:*

(PID)

(LEGAL DESCRIPTION)

SEE SCHEDULE

NATURE OF INTEREST:*

DESCRIPTION

DOCUMENT REFERENCE
(page and paragraph)

PERSON ENTITLED TO INTEREST

SEE SCHEDULE

TERMS: Part 2 of this instrument consists of (select one only)

(a) Filed Standard Charge Terms

(b) Express Charge Terms

(c) Release

D.F. No.

Annexed as Part 2

There is no Part 2 of this instrument

A selection of (a) includes any additional or modified terms referred to in Item 7 or in a schedule annexed to this instrument. If (c) is selected, the charge described in Item 3 is released or discharged as a charge on the land described in Item 2.

Gillespie Renikema
 Barnett Highway LLP
 KAMLOOPS
 AGENT
 #10588

5. TRANSFEROR(S):*

SEE SCHEDULE

TRANSFeree(S): (including postal address(es) and postal code(s))*

PREDATOR RIDGE GOLF CLUB LTD., (Inc. No. 354876), 301 Village Centre Place, Vernon, British Columbia, V1H 1T2

7. ADDITIONAL OR MODIFIED TERMS: * NIL

8. EXECUTION(S):** This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

Officer Signature(s)

Execution Date

Y	M	D
2007	10	16

Transferor(s) Signature(s)

PREDATOR RIDGE GOLF CLUB LTD.,
(as Transferor) by its authorized
signatory(ies):Print Name: **David Bustos**

DAVID R. LARONDE
BARRISTER & SOLICITOR
 SUITE #2650, PARK PLACE
 666 BURNARD STREET
 VANCOUVER, B.C. V6C 2X8
 TEL: 604-694-8819

OFFICER CERTIFICATION: Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the Evidence Act, R.S.B.C., 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the Land Title Act as they pertain to the execution of this instrument.

- * If space insufficient, enter "SEE SCHEDULE" and attach schedule in Form E.
 ** If space insufficient, continue executions on additional page(s) in Form D.

Page 2 of 10 pages

**LAND TITLE ACT
FORM D**

Province of British Columbia

EXECUTION CONTINUED

Officer Signature(s)



DAVID R. LARONDE
BARRISTER & SOLICITOR
SUITE #2650, PARK PLACE
666 BURNARD STREET
VANCOUVER, B.C. V6C 2X8
TEL: 604-694-8819

Execution Date

Y	M	D
2007	10	16

Party(ies) Signature(s)

PREDATOR RIDGE GOLF CLUB LTD.
(as Transferee) by its authorized
signatory(ies):


Print Name: David Bustos

OFFICER CERTIFICATION: Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C., 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

Page 3 of 10 pages

**LAND TITLE ACT
FORM D**


Province of British Columbia

EXECUTION CONTINUED

Officer Signature(s)

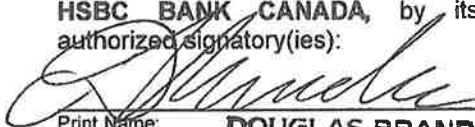

Execution Date

Party(ies) Signature(s)


WINNIE SHUM
A COMMISSIONER FOR TAKING AFFIDAVITS
FOR BRITISH COLUMBIA
885 WEST GEORGIA STREET
VANCOUVER, B.C.
V6C 3G1

Y	M	D
2007	10	10

HSBC BANK CANADA, by its
authorized signatory(ies):


Print Name: **DOUGLAS BRANDES**
ASSISTANT VICE PRESIDENT
COMMERCIAL FINANCIAL SERVICES

Print Name: **ANDERS HENNINGSEN**
COMMERCIAL FINANCIAL
SERVICES OFFICER

OFFICER CERTIFICATION: Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C., 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

LAND TITLE ACT
FORM E
 Province of British Columbia
SCHEDULE

Enter the Required Information in the Same Order as the Information Must Appear on the Freehold Transfer Form, Mortgage Form or General Document Form.

2. Parcel Identifier(s) and Legal Description(s) of Land:
 (PID) (Legal Description(s))

Strata Lot 1 and Strata Lot 2, Section 11, Township 13, Osoyoos Division Yale District, Strata Plan KAS ~~603344~~ and each Strata Lot having an undivided 1/238 share in Lot A, Sections 2 and 11, Township 13, Osoyoos Division Yale District, Plan KAP65832 (see Plan as to Limited Access);

Strata Lot 3, Strata Lot 11 and Strata Lot 12, Sections 2 and 11, Township 13, Osoyoos Division Yale District, Strata Plan KAS ~~603344~~ and each Strata Lot having an undivided 1/238 share in Lot A, Sections 2 and 11, Township 13, Osoyoos Division Yale District, Plan KAP65832 (see Plan as to Limited Access); and

Strata Lots 4 to 9 inclusive and Strata Lot 13 to 26 inclusive, Section 2, Township 13, Osoyoos Division Yale District, Strata Plan KAS ~~603344~~ and each Strata Lot having an undivided 1/238 share in Lot A, Sections 2 and 11, Township 13, Osoyoos Division Yale District, Plan KAP65832 (see Plan as to Limited Access)

3. Nature of Interest
 Description

Document Reference
 (page & paragraph)

Person Entitled to Interest

Restrictive Covenant

Entire Instrument
 Pages 5 - 10

Registered Owner of ^{85/} Lot E and an undivided ^{86/} 26/238 share in Lot A, Sections 2 and 11, Township 13, ODYD, Plan KAP65832 except Plans KAP70001, KAP74004, KAP75755, KAP76359, KAP81819 and KAP 85324

Priority Agreement granting this Restrictive Covenant priority over Mortgage LB102884, extended by LB115984 and Assignment of Rents LB102885, extended by LB115985

Page 9

Transferee

5. Transferor(s):

PREDATOR RIDGE GOLF CLUB LTD., Inc. No. 354876, as to Restrictive Covenant, and **HSBC BANK CANADA**, as to priority

TERMS OF INSTRUMENT – PART 2**RESTRICTIVE COVENANT (BUFFER AREA)****WHEREAS:**

- A. The Transferor is the registered owner in fee simple of all and singular that certain parcel(s) or tract(s) of land and premises, situate, lying and being in the Vernon Assessment Area, in the Province of British Columbia, more particularly known and described as:

Strata Lot 1 and Strata Lot 2, Section 11, Township 13, Osoyoos Division Yale District, Strata Plan KAS003341 and each Strata Lot having an undivided 1/238 share in Lot A, Sections 2 and 11, Township 13, Osoyoos Division Yale District, Plan KAP65832 (see Plan as to Limited Access);

Strata Lot 3, Strata Lot 11 and Strata Lot 12, Sections 2 and 11, Township 13, Osoyoos Division Yale District, Strata Plan KAS003341 and each Strata Lot having an undivided 1/238 share in Lot A, Sections 2 and 11, Township 13, Osoyoos Division Yale District, Plan KAP65832 (see Plan as to Limited Access); and

Strata Lots 4 to 9 inclusive and Strata Lot 13 to 26 inclusive, Section 2, Township 13, Osoyoos Division Yale District, Strata Plan KAS003341 and each Strata Lot having an undivided 1/238 share in Lot A, Sections 2 and 11, Township 13, Osoyoos Division Yale District, Plan KAP65832 (see Plan as to Limited Access)

(hereinafter collectively called the "Servient Tenement");

- B. The Transferor will be developing on the Servient Tenement a residential housing development at locations on the Servient Tenement that have not yet been determined by the Transferor;
- C. The Transferee is the registered owner in fee simple of all and singular that certain parcel(s) or tract(s) of land and premises, situate, lying and being in the Vernon Assessment Area, in the Province of British Columbia, more particularly known and described as:

Lot E and an undivided 86/238 share in Lot A, Sections 2 and 11, Township 13, Osoyoos Division Yale District, Plan KAP65832 except

Plans KAP70001, KAP74004, KAP75755, KAP76359, KAP81819
and KAP 85324

(hereinafter called the "Dominant Tenement");

D. The Transferee owns the Dominant Tenement which will be affected by construction of the residential housing development on the Servient Tenement, therefore, requiring the Transferor to establish a buffer area (the "Buffer Area") on:

- (a) those parts of Strata Lots 1 to 9 inclusive and Strata Lots 11 to 26 inclusive, of the Servient Tenement as shown outlined in bold black on an Reference Plan of Covenants pursuant to Section 99(1)(e) of the *Land Title Act* over Strata Lots 1 - 9 and 11 - 26, Sections 2 and 11, Township 13, Strata Plan KAP 85324 and an undivided 25/238 share in Lot A, Sections 2 and 11, Township 13, ODYD, Plan KAP65832 (see Plan as to Limited Access) prepared by Mark A Cahill, B.C.L.S., and completed on the 19th day of September, 2007 (a photocopy of which is attached hereto as Schedule "A");

ASSIGNED PLAN NO.
KAP 85324

- E. The Transferor and the Transferee agree that the Buffer Area is not to be disturbed unless in accordance with the provisions of this Agreement;
- F. Pursuant to the provisions of Section 221 and 222 of the Land Title Act, there may be registered a covenant against the title to the Servient Tenement and such covenant is enforceable against the Transferor by the Transferee and the successors in title of the Transferee to the Dominant Tenement;

NOW THEREFORE in consideration of the promises set forth in this Covenant and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties hereby agree as follows:

1. The Transferor covenants with the Transferee that:
- (a) the Buffer Area must not be altered, interfered with or disturbed and, without limiting the generality of the foregoing, the natural vegetation, contour and state of the Buffer Area shall not be altered, interfered

with or disturbed and no soil, plantings or other material shall be deposited on, removed from or excavated within the Buffer Area;

- (b) development of the Buffer Area, including, without limitation, by construction or placement of any building or structure on the Buffer Area, is prohibited; without limiting the foregoing, the Transferor shall not construct, erect or place any buildings, modular homes, mobile homes or unit improvement or structure on the Buffer Area;
- (c) no building permit may be applied for in respect of the Buffer Area; and
- (d) no occupancy permit may be applied for in respect of the Buffer Area,

unless, solely in connection with paragraph (a) above:

- (i) strictly required in connection with the terms and conditions of the Section 219 Covenant in favour of The Corporation of the City of Vernon, registered against title to the Servient Tenement under instrument no. KR96531, as the same may be modified, amended or replaced from time to time and, then, upon thirty (30) days prior written notice to the Transferee; or
- (ii) required in order to conduct reasonable repairs and/or maintenance of the rock wall which is located, as at the date of this Agreement, or will be located, after the date of this Agreement, within the Buffer Area.

will be

- 2. If the Transferor or the Transferee or their successors come to any disagreement concerning the interpretation of the provisions of this restrictive covenant, such dispute shall be resolved by arbitration by referring this matter to a single arbitrator pursuant to the provisions of the *Commercial Arbitration Act*, Statutes British Columbia.
- 3. It is expressly agreed between the Transferor and the Transferee hereto that the restrictions hereinbefore contained in this Agreement shall be read and held as made by and with, granted to and imposed upon the respective parties hereto and their respective heirs, executors, administrators,

successors and transferees in title of the Servient Tenement and the Dominant Tenement respectively, and wherever the singular or masculine is used, the same shall be construed as being the plural, feminine or body politic or corporate where the context or the parties hereto so require.

4. The Transferor agrees to do everything reasonably necessary, at the Transferor's expense, to ensure that this Agreement is registered against title to the Servient Tenement with priority over all financial charges, liens and encumbrances registered or the registration of which is pending, at the time of application for registration of this Agreement.
5. An alleged waiver of any breach of this Agreement is effective only if it is an express waiver in writing of the breach in respect of which the waiver is asserted. A waiver of a breach of this Agreement does not operate as a waiver of any other breach of this Agreement.
6. If any part of this Agreement is held to be invalid, illegal or unenforceable by a court having the jurisdiction to do so, that part is to be considered to have been severed from the rest of this Agreement and the rest of this Agreement remains in force unaffected by that holding or by the severance of that part.
7. This Agreement is the entire agreement between the parties regarding its subject.
8. The Transferor must do everything reasonably necessary to give effect to the intent of this Agreement, including execution of further instruments.
9. By executing and delivering this Agreement each of the parties intends to create both a contract and a deed executed and delivered under seal. The rights given to the Transferee by this Agreement are permissive only and nothing in this Agreement imposes any legal duty of any kind on the Transferee to anyone, or obliges the Transferee to enforce this Agreement, to perform any act or to incur any expense in respect of this Agreement.
10. As evidence of their agreement to be bound by the above terms and conditions set out in this Agreement, the parties each have executed and delivered this Agreement by executing the *Land Title Act* Form C and Form

D, as applicable, to which this Agreement is attached and which forms part of this Agreement.

11. The covenant set out in this Agreement will burden and run with the Servient Tenement. The Transferor releases, and must indemnify and save harmless, the Transferee, its directors, officers, agents and employees, from and against all liability, actions, causes of action, claims, damages, expenses, costs, debts, demands or losses suffered or incurred by the Transferor, or anyone else, arising from the granting or existence of this Agreement, from the performance by the Transferor of this Agreement, or any default of the Transferor under or in respect of this Agreement.
12. Subject to section 13, this Agreement will enure to the benefit of and be binding upon the parties to this Agreement and their respective successors, heirs, executors, administrators and assigns.
13. Notwithstanding anything contained in this Agreement, the Transferor will not be liable under any of the covenants and agreements contained in this Agreement where a liability arises by reason of an act or omission occurring after the Transferor ceases to have any further interest in the Servient Tenement.
14. HSBC BANK CANADA hereby consents to the within Restrictive Covenant and grants priority over its Mortgage registered under number LB102884, extended by LB115984 and its Assignment of Rents registered under number LB102885, extended by LB115985.

SCHEDULE "A"

Page 10 of 10 pages

REFERENCE PLAN OF COVENANTS OVER PARTS OF STRATA LOTS 1-9 AND 11-26, SECS. 2 & 11, TP. 13, STRATA PLAN KAP603341 AND AN UNDIVIDED 25/238 SHARE IN LOT A, SECS. 2 & 11, TP. 13, ODYD, PLAN KAP65832. (SEE PLAN AS TO LIMITED ACCESS)

Pursuant to Section 99(1)(e) of the Land Title Act.

Scale 1:800 Metric

BCGS 82L014

Book Of Reference

[illegible]

Sec. 11, Tp. 13
Sec. 2, Tp. 13

Rem. SE 1/4 of SW
1/4 SEC. 11, TP. 13

SEC. 2 TP. 13

REM. LOT E AND AN UNDIVIDED 85/238
SHARE IN LOT A, SECS. 2 & 11, TP. 13, QD9D,
PLAN KAP05832, EXCEPT PLANS KAP70001, KAP74004,
KAP75755, KAP76359, KAP81819 AND KAP

Fritch Land Surveying Inc
Fitch, Richard & Family Land Surveyors
 8202 - 586 Linn Avenue
 Kelowna, B.C., V1Y 5Y6
 06-069-87(21,70) (250) 757-0127

64/MF229U = June 11
w = 116/748 7 28 5m
t = 129/219 12 1m

LEGEND

- ☐ Standard Iron Pail found
☐ Standard Lead Plug found
☐ Standard Iron Pail lost
☐ Standard Lead Plug lost
☒ Gunshot Pencil in, no shot in the back of the person

UNR identification are subject of continuous COPS
e.g. machine

Member correspondence complete between OP 'S' and the
revital membership of MAGS(CSIS) [page 11 (117) is -150

1. More A Split: A British Columbia (and) Surveyor of the City of Vancouver, in British Columbia, Canada, that I was present at and personally supervised the survey and that the survey was carried out by the City of Vancouver, 2007. The plan was submitted and checked and the survey was carried out by the City of Vancouver, 2007.

END OF
DOCUMENT

LAND TITLE ACT
FORM 11(a)
 (Section 99(1)(e), (j) and (k))
APPLICATION FOR DEPOSIT OF REFERENCE OR EXPLANATORY
PLAN (CHARGE)

- I, **CHRISTOPHER ALVEBERG**, Lawyer of Nixon Wenger, Barristers & Solicitors, 4th Floor, 3201 - 30th Avenue, Vernon, British Columbia, V1T 2C6, 542-5353, agent of **PREDATOR RIDGE GOLF CLUB LTD.**, (Inc. No. 354876), 301 Village Centre Place, Vernon, British Columbia, V1H 1T2, the owner of a registered charge,

apply to deposit reference/explanatory plan of:

Covenants

Over Parts of Strata Lots 1 - 9 and 11 - 26, Sections 2 & 11, Township 13, ODYD, Strata Plan KAS 85325 and an undivided 25/238 share in Lot A, Sections 2 & 11, Township 13, ODYD, Plan KAP65832 (see Plan as to Limited Access)

I enclose:

1. The reference/explanatory plan.
2. The reproductions of the plan required by section 67(s).
3. Fees of \$54.00.

ASSIGNED PLAN NO.

KAP 85325

Dated the 9 day of November, 2007.

CHRISTOPHER ALVEBERG
 Barrister & Solicitor
 4th Floor, 3201 - 30th Avenue
 Vernon, British Columbia, V1T 2C6

NOTE:(i) Under section 67(s) the following reproductions of the plan must accompany this application:

- (a) one blue linen original (alternatively, white linen or original transparencies).
- (b) one duplicate transparency.
- (c) one whiteprint is required as a worksheet for the land title office.
- (ii) The following further requirements may be necessary:
 - (a) If the parent property is in an Agricultural Land Reserve, a release is required unless the parent property is less than 2 acres (app. 0.8094 hectares) of where, for permitted uses, an approving officer has endorsed the plan under section 3 of the Agricultural Land Reserve Use, Subdivision and Procedure Regulation (B.C. Reg. 171/2002) under the **Agricultural Land Commission Act**.
 - (b) Where a notice respecting a grant under the **Home Purchase Assistance Act** is endorsed on title, an extra white print must accompany the application, unless the Ministry of lands, parks and Housing agrees otherwise in writing. This extra print must contain the following endorsement:
 "The eligible residence as defined by the **Home Purchase Assistance Act** is located on lot _____ created by this plan.
- (c) Controlled access approval must be evident on the plan where parent property adjoins a highway that is designated as a controlled access highway.
- (d) Where the plan refers to a covenant to be made under section 219, the instrument containing the covenant must be tendered with the plan.

B.C.L.S. or solicitor for the owners

ADMINISTRATION UPDATES

May 25, 2021 REGULAR COUNCIL MEETING

File: 0550-05

COMMUNITY INFRASTRUCTURE AND DEVELOPMENT SERVICES

Legacy Reserve Potential Projects

Administration will bring forward additional information on the project short list identified by Council at its Committee of the Whole Meeting of May 10, 2021 to the Committee of the Whole Meeting of June 14, 2021.

Traffic Calming Signs at Paddlewheel

The hazard marker sign located on the traffic calming island near the entrance of Paddlewheel park is hit approximately six times per year costing \$450/year to reinstate it. The sign is fitted with a break away coupling that does allow for easy repair in most cases.

Should the traffic calming measure and signage be relocated approximately 20m to the southwest, it could cost up to \$15,000.

As reported in the memorandum to Council titled *Strategy for Overflow Parking at Paddlewheel Park* dated March 25, 2021 from the Transportation Technician, an extensive overall review and revision of park access, circulation and parking in Paddlewheel Park is warranted. This would include reviewing the location of traffic calming features once changes to the park access(es) have been identified. Administration is currently working with the Okanagan Landing and District Community Association (OLDCA) to replace the current five-year use agreement with a long-term lease (25 years). Once a long-term lease is in place – expected this summer, the City can include Paddlewheel Park in long term planning and capital investment – including parking and access, with input from Council, the OLDCA and the Public. In the short-term, Administration will continue to explore cost effective options to optimize parking and access at Paddlewheel Park in its present configuration.

Outdoor Skating Options

Further to Council's deliberation of outdoor skating options at its Regular Meeting of May 10, 2021, Administration will bring back additional information on synthetic and temporary outdoor rink options to Council's Regular Meeting of August 16, 2021.

Spring GoByBike Week 2021 (May 31 – June 6)

The City of Vernon has received a grant of \$2,560 from the GoByBikeBC Society to coordinate Spring GoByBike Week 2021. Formerly called Bike to Work & School Week, GoByBike Week is an annual challenge that encourages residents to get around by bike for a week. In 2019, 1,788 local cyclists rode over 67,000 kilometres and saved 14 tons of greenhouse gas emissions. Campaigns like GoByBike Week are known to trigger long term

behaviour shifts towards active transportation, supporting the Master Transportation Plan goal of having 37% of all trips use active transportation by 2040.

No in-person events are being organized this year due to the COVID-19 pandemic. Participants are being encouraged to ride on their own or with their bubble for fun, for health and wellbeing, and for the environment.

Mayor and Council are cordially invited to join the challenge by registering at www.GoByBikeBC.ca and are welcome to join the City of Vernon team, create their own team, or participate as a solo rider.

RECREATION SERVICES

Priest Valley Arena Refrigeration Replacement Project

Initial work was started a week earlier than scheduled by the contractor for the project, Fraser Valley Refrigeration. Due to new piping that will be installed, some removal of vermiculite was required from within block walls. This work was completed before other demolition work could take place. As part of its standard procedure for demolition and construction of ammonia vessels, Technical Safety BC has been on site to review the project.

OPERATION SERVICES

Parks

City Dog Parks

Administration will be working with RDNO to ensure the mapping of all dog parks in the City of Vernon is updated and accurate. Tourism Vernon will be informed of any of these updates as well.

Public Works

Eastside Road Pavement Damage

Logging equipment damaged a portion of the roadway at 14767 Eastside Road during FireSmart logging of Crown land in the spring of 2021. Logging is now completed and Public Works has scheduled repairs to the road. Costs associated with the repair will be forwarded to the logging contractor for recovery. Several other base failures and pot holes have also been identified on Eastside Road and will be repaired over the next month as resources permit.

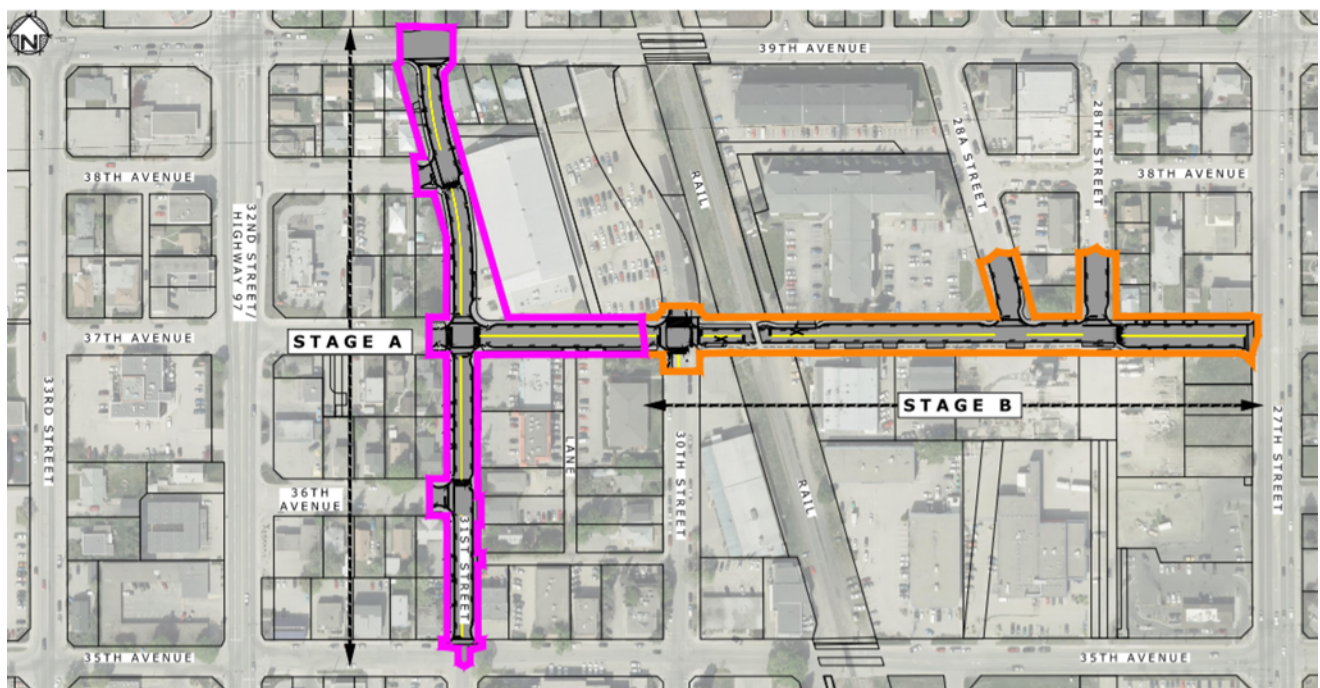
Infrastructure

Archeology Services

The City has retained Ursus Heritage Consulting to provide archaeology services for all City of Vernon Capital Projects. The City will be reviewing all projects within the Capital program for archeology potential and Ursus will be providing services for compliance with the Heritage Conservation Act for sites with high archeology potential.

31st Street and 37th Avenue Reconstruction Project

The Stage B phase of work is currently out to tender. The contract allows for 17 days of closure at the 30th Street and 37th Avenue intersection to allow for reconstruction of the water, drainage and sanitary infrastructure that were not part of the recent projects on either end of the intersection. This work will require the removal of the temporary asphalt and curbing in the in the intersection. The road and curbing will also be realigned to accommodate the design of 37th Avenue.





THE CORPORATION OF THE CITY OF VERNON

INTERNAL M E M O R A N D U M

TO: Will Pearce, CAO **FILE:** 5400-11
PC: James Rice, Director, Operation Services **DATE:** May 10, 2021
FROM: Ian Adkins, Manager, Roads Drainage and Airport
SUBJECT: BUS STOP SNOW REMOVAL – INCREASED SERVICE LEVEL

At its Regular Meeting of January 11, 2021, Council requested that Administration report back on the cost and feasibility of increasing the service level of snow and ice to address windrows fronting bus stops left by passing snow plows.

There are +/-211 bus stops in the City. The Snow and Ice Control policy identifies bus stops as priority level 3 (lowest service level) under sidewalks and linear trails. Snow removal of problem windrows at bus stops are also listed in the policy under priority level 3.

Currently, City and contract forces perform hand clearing of snow around bus stop pads within 72 hours following snowfalls greater than 3 cm. This service is provided approximately 6-10 times per year and does not include the removal of windrows left by plow trucks. The cost to provide this service is approximately \$6k per removal or \$36k-\$60k per year.

City forces also provide clearing and/or removal of windrows at bus stops using heavy equipment. This service is provided on a limited basis at select locations (+/-50 sites) approximately 1-2 times per year. The cost to provide this service is approximately \$7k per removal or \$7k-\$14k per year.

The estimated cost to expand the City's snow clearing and/or removal service of windrows to include all 212 sites 6-10 times per year would cost approximately \$20k per removal or \$120k-\$200k per year. There is a reduced cost per site since some of the more remote/rural locations would likely never require removal. The increase in cost to the existing snow and ice control budget to provide this service would be \$113k-\$186k per year.

Should Council decide to proceed with an increase in service level for snow and ice control at bus stops, It is important to note that the accuracy of the estimates provided will depend on market conditions and the availability of suitable contractors at time of tendering.

RECOMENDATION

THAT Council receive the memo titled "Bus Stop Snow Removal – Increased Service Level" dated May 10, 2021, respectfully submitted by the Manager of Roads Drainage and Airport.


ALTERNATIVE:

THAT Council direct Administration to expand the City snow clearing service to include removal of windrows fronting all Transit stops (approximately 212) under Priority Level 3 (approximately 6 – 10 times per years) effective 2021;


AND FURTHER, that Council increase the 2021 snow clearing budget by \$100,000, source of funds: 2020 Year End Unexpended Uncommitted balance;

AND FURTHER, that Council give early approval to a 2022 service level increase to include windrow removal fronting all Transit stops (approximately 212) under Priority Level 3, with a base budget increase of \$185,000, source of funds: property taxes, which will be above the Council budget target as determined in June 2021.

May 19 2021 2:48 PM



X



DocuSign

Ian Adkins
Manager Roads Drainage and Airport



THE CORPORATION OF THE CITY OF VERNON

INTERNAL M E M O R A N D U M

TO: Will Pearce, CAO **FILE:** 5400-14
PC: James Rice, Director, Operations Services **DATE:** May 10, 2021
FROM: Chris Ovens, General Manager, Public Works
SUBJECT: SPRING SWEEPING PROGRAM - UPDATE

The City's 2021 spring sweeping program began on March 10 and was completed on April 23. The program is completed with City and contractor forces, typically operating 16 hours a day seven days a week. The scope of work includes approximately 197km of sidewalk and more than 615 lane kilometres of road.

Sand applied to roadways as winter traction material can be a significant source of spring road dust and have a detrimental effect on air quality. The Ministry of Environment and Climate Change Strategy monitors and provides air quality data captured by a monitoring station located at the Okanagan Science Centre. The data collected at the monitoring station is likely impacted by Highway 97 and Highway 6 which are located in close proximity on three sides of the monitoring station. The data provided from this location may not be an accurate representation of the dust levels in the community. Administration is working with the Ministry to determine if installing additional monitoring stations within the community is a possibility.

Prior to this year's spring sweeping program, Administration made a number of changes to help reduce the amount of spring road dust. These changes included the following:

- Addition of new regenerative air sweeper in sweeping program (Council Approved).
- Changed winter grit material to align closely with Ministry suggested "Best Practices".
- Repurposed fleet equipment to increase the speed of the flushing program.

The following table outlines key performance indicators for the spring sweeping program. Spring rainfall levels have also been added to this table since rainfall has such a significant effect on road dust.

Goal	Key Performance Indicators	2018	2019	2020	2021
REDUCE SPRING ROAD DUST	Total spring rainfall (mm)	59.3	25.1	20.3	6.6
	Spring dust advisories	14	20	13	12
	Days required to complete spring sweeping	n/a	n/a	n/a	45
	Dust complaints	12	9	9	6

Administration is planning on making the following adjustments prior to next spring's sweeping program and will report back to Council on the effectiveness of these changes:

- Install additional air quality monitor station(s) to ensure that the performance indicators being used to assess this program are accurate.
- Increase sweeping activities through the winter prior to the spring sweeping program to reduce the amount of sand that needs to be removed in the spring.
- Enhance staff training relating to snow and ice control services to ensure correct levels of sand are being applied and that over sanding is not occurring.

RECOMMENDATION:

THAT Council receive the memorandum titled "Spring Sweeping Program - Update" dated May 10, 2021 respectfully submitted by the General Manager of Public Works.

May 17 2021 4:40 PM

X  


For:
Chris Owens
General Manager, Public Works



THE CORPORATION OF THE CITY OF VERNON

INTERNAL M E M O R A N D U M

TO: Will Pearce, CAO **FILE:** 5400-13
PC: James Rice, Director, Operation Services **DATE:** May 10, 2021
FROM: Ian Adkins, Manager, Roads Drainage and Airport
SUBJECT: ROADSIDE LITTER CONTROL

At its Regular Meeting of April 26, 2021, Council requested that administration report back on a suggested budget and source of funds needed to provide enhanced litter control on Eastside Road, Bella Vista Road and Silver Star Road.

The estimated cost to provide this service using contract forces is \$5000 for the initial spring clean-up and \$2500 per pickup for the remainder of the program. If Council was to direct staff to complete a monthly litter control program on the three roads identified from March until October, the annual cost would be \$22,500 (\$15,000 for the remainder of 2021). This cost is contingent on the availability and capacity of contract forces.

Council could approve the expenditure of up to \$15,000 for litter collection on Eastside Road, Bella Vista Road and Silver Star Road to be funded from the 2020 Unexpected Uncommitted Balance, for the service to be performed in 2021. Council could also pre-authorize a 2022 service level increase of \$22,500 which would be in addition to the base budget target directed by Council in June of 2021

RECOMMENDATION:

THAT Council receive the memorandum titled "Roadside Litter Control" dated May 10, 2021 respectfully submitted by the Manager of Roads Drainage and Airport for information.

ALTERNATIVE:

THAT Council direct Administration to initiate a monthly litter control program (through October, 2021) on Eastside Road, Bella Vista Road and Silver Star Road at a cost of \$15,000 to be funded from the 2020 Unexpended Uncommitted Balance;

AND FURTHER, That Council give pre-approval to a monthly roadside litter collection service on Eastside Road, Bella Vista Road and Silver Star Road beginning 2022, with an annual budget of \$22,500 to be tax funded.

May 19 2021 2:21 PM

X



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Ian Adkins
Manager, Roads Drainage and Airport



THE CORPORATION OF THE CITY OF VERNON

INTERNAL MEMORANDUM

TO: Will Pearce, CAO **FILE:** 6140
PC: Keri-Ann Austin, Corporate Officer **DATE:** May 12, 2021
FROM: James Rice, Director, Operation Services
SUBJECT: 8835 OKANAGAN LANDING ROAD BOAT LAUNCH – CLOSURE QUESTIONS

At the Committee of the Whole Meeting of May 10, 2021, Council deferred discussion on the six remaining high priority lake access sites pending additional information relating to Lake Access Site #26 (8835 Okanagan Landing Road, community boat launch). Additional information was requested regarding liability and reconstruction costs.

Staff have contacted the Municipal Insurance Association (MIA) and confirmed that should Council decide to open up the boat launch in its current condition, ***it would not void the City's liability coverage with MIA.*** The representative from MIA also advised that it is up to the City to determine what level of risk to the public is acceptable before permanent repairs are completed. Qualified Staff have advised that the boat launch should remain closed due to the risk of personal injury or property damage.

Council could decide to open the boat launch with "warning" signage. The City's legal counsel has provided direction regarding suitable wording as follows:

HAZARD WARNING

Boat ramp and surroundings **MAY CONTAIN HAZARDS** including:

- Broken and uneven pavement/surfacing
- Slippery surfaces, risk of falling and loss of traction
- Changes in water level and wakes from boaters
- Other ramp users
- Risk of break in to parked vehicles

Persons using boat ramp do so at OWN RISK

It is important to note that the City's legal counsel also advised that hazard signage is only one part of liability management and may not significantly reduce legal risks.

Council also questioned liability issues with respect to the remaining lake access sites that have been identified for development. The balance of the lake access sites that are scheduled for development will be designed and constructed to permit safe public use.

The estimated cost to reconstruct the 8130 Tronson Road (Lake Access Site #11) boat launch scheduled for 2021 is \$195,000. It is reasonable to apply the same reconstruction value to Site #26 until more detailed information is available. Administration would bring forward the estimated budget for Council's consideration and approval prior to development of Lake Access Site #26.

RECOMMENDATION:

THAT Council receive the memorandum titled "8835 Okanagan Landing Road Launch – Closure Questions" dated May 12, 2021 respectfully submitted by the Director, Operation Services.

ALTERNATIVE:

THAT Council receive the memorandum titled "8835 Okanagan Landing Road Launch – Closure Questions" dated May 12, 2021 respectfully submitted by the Director, Operation Services.

AND FURTHER, That Council direct Administration to reopen the boat launch at 8835 Okanagan Landing Road, and place warning signs as presented in the subject memorandum.

May 18 2021 11:15 AM

x  


James Rice,
Director, Operation Services

G:\8300-8799 TRANSPORTATION\8700 WATER\02 Lake Accesses\IRPTS &
RESOLUTIONS\210512_Memo_BoatLaunchMIA.docx



THE CORPORATION OF THE CITY OF VERNON

INTERNAL MEMORANDUM

TO: Will Pearce, CAO **FILE:** 8700-02

PC: Kim Flick, Director, Community Infrastructure and Development **DATE:** April 27, 2021

FROM: Ellen Croy, Transportation Planner

SUBJECT: **2021 PRIORITY LAKE ACCESS COUNCIL TOUR DISCUSSION**

At its Regular Meeting of April 26, 2021, Council passed a resolution to tour the remaining six high priority lake access sites listed in the 2018 Lake Access Plan at their leisure before May 10, 2021. Council also directed Administration to present the six high priority lake access sites for discussion at Council's Committee of the Whole Meeting of May 10, 2021.

Administration anticipates that one lake access site could be constructed each year, subject to permitting (environmental, archaeological), site constraints, and adjacent property encroachments. Attachment 1 outlines the known site characteristics, constraints, and design options for each of the six sites.

Due to the recent closure of Lake Access Site #26 (8835 Okanagan Landing Road, community boat launch), Administration recommends that design and development of that site be the first priority in 2022. Administration recommends that the next priority in 2023 be Lake Access Site #20 (7300 Tronson Road) since there are priority overland flow routes in the area that need to be redirected through this lake access right-of-way to Okanagan Lake. The design of the lake access would incorporate the overland flow routes.

Next, Administration recommends that Site #30 (9499 Eastside Road) be developed in 2024 as there are limited constraints and encroachments with the site. Site #37 (114 Russell Road) is recommended to be built in 2025, as more time may be needed to deal with the current Russell Road right-of-way trespassing onto private property and the rocky beach access.

Finally, Administration recommends that Lake Access Sites #14 (7806 Tronson Road) and #15 (7700 Tronson Road) be improved in 2026 and 2027, respectively, as there are more constraints due to property encroachments, available parking, drainage / utility needs, and steep slopes between Tronson Road and Okanagan Lake.

RECOMMENDATION:

THAT Council directs Administration to develop Lake Access Site #26 (8835 Okanagan Landing Road, community boat launch) in 2022 (**deferred pending information re: liability**);

AND FURTHER, that Council directs Administration to develop Lake Access Site #20 (7300 Tronson Road) in 2023 (**direction received**);

Remaining Recommendations deferred pending information re: liability

AND FURTHER, that Council directs Administration to develop Lake Access Site #30 (9499 Eastside Road) in 2024;

AND FURTHER, that Council directs Administration to develop Lake Access Site #37 (114 Russell Road) in 2025;

AND FURTHER, that Council directs Administration to develop Lake Access Site #14 (7806 Tronson Road) in 2026;

AND FURTHER, that Council directs Administration to develop Lake Access Site #15 (7700 Tronson Road) in 2027;

AND FURTHER, that Council directs Administration to bring forward capital budgets for each site for Council's consideration and approval prior to commencement of work.

Respectfully submitted:

May 18 2021 11:12 AM




Ellen Croy
DocuSign

Ellen Croy
Transportation Planner

Attachment 1 – 2021 Priority Lake Access Council Tour Discussion Information

G:\8300-8799 TRANSPORTATION\8700 WATER\02 Lake Accesses\RPTS & RESOLUTIONS\210427_MEMO_2021PriorityLakeAccessCouncilTourDiscussion.docx

Lake2021 Council Lake Access Tour Sites

Site 14 – 7806 Tronson Road (between 7796 and 7814 Tronson Rd)

Site 15 – 7700 Tronson Road (between 7688 and 7716 Tronson Rd)

Site 20 – 7300 Tronson Road (between 7292 and 7304 Tronson Rd)

Site 26 – 8835 Okanagan Landing Rd (between 8829 and 8839 Okanagan Landing Rd)

Site 30 – 9499 Eastside Road (between 9797 and 9501 Eastside Rd)

Site 37 – 114 Russell Road (between 110 and 111 Russell Rd)



Lake Access Site	Site Characteristics	Known Constraints	Design Options
Site 14 – 7806 Tronson Road (between 7796 and 7814 Tronson Rd)	<ul style="list-style-type: none"> • Driveway through the site • Some encroachments • Steady grade, then steepens through brush to the lake • Some on-street parking available on the other side of Tronson Road 	<ul style="list-style-type: none"> • Grades from Tronson Road to the lake • Adjacent property encroachments • Site may be needed for drainage and/or utilities for adjacent development 	<ul style="list-style-type: none"> • Pathway • May require stairs • Parking on opposite side of Tronson Road • Remove encroachments • Provide standard amenities (signage, garbage, bike racks) • Provide for drainage / utilities as needed
Site 15 – 7700 Tronson Road (between 7688 and 7716 Tronson Rd)	<ul style="list-style-type: none"> • Narrower right-of-way from Tronson Road to the lake • Driveway through the site • Secondary buildings encroaching on the right-of-way • Steady grade, then steepens through brush to the lake • Some on-street parking available on the other side of Tronson Road • Debris from old dock on the beach 	<ul style="list-style-type: none"> • Grades from Tronson Road to the lake • Adjacent property encroachments • Narrower right-of-way limits the options for pathway switchbacks • Site may be needed for drainage and/or utilities for adjacent development 	<ul style="list-style-type: none"> • Pathway • May require stairs • Parking on opposite side of Tronson Road • Remove encroachments • Provide standard amenities (signage, garbage, bike racks) • Provide for drainage / utilities as needed
Site 20 – 7300 Tronson Road (between 7292 and 7304 Tronson Rd)	<ul style="list-style-type: none"> • Long, narrow lake access site located close to the new Beach for Dogs / Pump Station and Kin Beach Park • Currently has concrete retaining wall at the lake 	<ul style="list-style-type: none"> • The house to the east is partly encroaching on the lake access site • Limited to no parking available for the site • Concrete wall at the lake would add complexity 	<ul style="list-style-type: none"> • Redirect priority overland flow route through the lake access • Review pathway options to Tronson Road

Lake Access Site	Site Characteristics	Known Constraints	Design Options
	<ul style="list-style-type: none"> • High priority overland flow route nearby • Drainage swale running along the west side of the lake access from Tronson Road to the lake • Limited to no parking available nearby on Tronson Road 	<ul style="list-style-type: none"> • Access to the site could be an issue, but access could come from the new Beach for Dogs / Pump Station to the east of the lake access, along the waterfront 	<ul style="list-style-type: none"> • Provide standard amenities (signage, garbage, bike racks)
Site 26 – 8835 Okanagan Landing Road (between 8829 and 8839 Okanagan Landing Rd)	<ul style="list-style-type: none"> • Existing community boat launch • Boat launch currently closed due to disrepair and safety hazards • Okanagan Landing Road adjacent to the site is signed as 30 km/h to help facilitate maneuverability in/out of the boat launch • Limited to no parking available for trucks and trailers 	<ul style="list-style-type: none"> • Current boat launch is not in an ideal location as there is limited space for maneuverability and parking • The site is important for drainage to the lake 	There are some options for this boat launch: <ol style="list-style-type: none"> 1. Replace the boat launch and continue with the site operating as it was before the closure. 2. Replace the boat launch but restrict its use to non-motorized boats and accessible lake access (i.e. mobility aids such as wheel chairs, walkers, or other aids). 3. Remove the boat launch and develop into a standard lake access site.
Site 30 – 9499 Eastside Road (between 9497 and 9501 Eastside Rd)	<ul style="list-style-type: none"> • Small lake access site, approximately 7 m deep and 12 m wide • Steep grade change between Eastside Road and the lake 	<ul style="list-style-type: none"> • Visibility for motorists and pedestrians as the site is located near a curve on Eastside Road • Grade change between Eastside Road and the lake 	<ul style="list-style-type: none"> • Improve parking on one or both sides of Eastside Road • Review the need for a crosswalk on Eastside Road

Lake Access Site	Site Characteristics	Known Constraints	Design Options
	<ul style="list-style-type: none"> • Potential for parking, enough for about two to three vehicles, on both sides of Eastside Road • Failing concrete wall for the property to the west • Debris jutting out into the lake east of the lake access 	<ul style="list-style-type: none"> • Adjacent property walls / debris may add complexity at the lake 	<ul style="list-style-type: none"> • Review pathway / stairs from Eastside Road to the lake, similar to adjacent properties in the area • Provide standard amenities (signage, garbage, bike racks)
Site 37 – 114 Russell Road (between 110 and 111 Russell Rd)	<ul style="list-style-type: none"> • Waterfront is about 240 m from Inkster Road, along Russell Road • Russell Road is gravel, windy, and wide enough for one-way traffic • Russell Road right-of-way is currently unclear as it appears to be through private property • The beachfront has large rocks and boulders, so access is not very easy or accessible • Beachfront has views of the Outback Resort 	<ul style="list-style-type: none"> • Review solutions to the unclear Russell Road right-of-way location • Large rocks and boulders at the lakefront would restrict provision of amenities at the beach front 	<ul style="list-style-type: none"> • Provide parking on Inkster Road • Russell Road could be shared between motorists and active transportation between the lake and Inkster Road • Potential to set up view-point benches along the walk to the lake • Provide standard amenities (signage, garbage, bike racks)



THE CORPORATION OF THE CITY OF VERNON

INTERNAL MEMORANDUM

TO: W. Pearce, Chief Administrative Officer **FILE:** 6135-01
PC: K. Flick, Director, Community Infrastructure and Development **DATE:** May 7, 2021
FROM: L. Cordell, Manager, Long Range Planning and Sustainability
SUBJECT: DOGS IN KIN BEACH PARK

At its Regular Meeting of March 8, 2021, Council raised a concern that “the Kin Park trail did not allow dogs; however, the trail is frequently used to access the dog park at the north end of Kin Park, since the parking is located at the south end of Kin Park”.

Administration has reviewed this concern and offers the following:

- The north end of Kin Beach is open space and currently no dogs are allowed until such time as the proposed dog park is developed.
- Enforcement of dogs on the path only can be difficult.
- People normally park in the stalls along Tronson Road and walk across the park, rather than going down to Lakeshore Road to access the path.
- Keeping dogs on the path will prohibit dog walkers from using the washroom in the park.
- The on leash pilot in Polson Park has not raised concerns with adding on leash dogs in the park, other than people not picking up dog feces.
- Many families walk their kids and dogs to the park and would benefit from having on leash dogs allowed in the park.

In order to simplify enforcement, Administration recommends that Council consider a trial run of on leash dogs in Kin Beach Park. This could run from June 15, 2021 to October 15, 2021 and if successful, become permanent at that time.

Administration would install signage for the park and add a pet waste bag dispenser. This would cost about \$2,000 for the signage and dispenser and about \$1,000 annually for bag maintenance and graffiti removal. For 2021 the source of funds for this would be the 2020 Uncommitted Unexpended reserve which has an approximate balance of \$402,765.

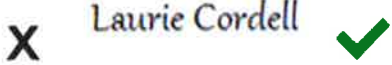


RECOMMENDATION:

THAT COUNCIL directs Administration to conduct a dogs on leash pilot program in Kin Beach Park from June 25, 2021 until October 15, 2021 as described in the memorandum titled “Dogs in Kin Beach Park” dated May 7, 2021, and respectfully submitted by the Manager, Long Range Planning and Sustainability;

AND FURTHER that Council authorizes the expenditure of up to \$2,000 for the installation of signage and a pet waste bag dispenser, funded by the 2020 Unexpended Uncommitted Balance reserve.

Respectfully submitted:

May 18 2021 9:08 AM

 
Laurie Cordell


Laurie Cordell
Manager, Long Range Planning & Sustainability

\\gw1\groups\5800-6399 PARKS ADMINISTRATION\6135 PARKS - PLANNING\01 General\Admin_Memos_Reports\210507 Dogs
KinBeach memo.doc



THE CORPORATION OF THE CITY OF VERNON

INTERNAL MEMORANDUM

TO: W. Pearce, Chief Administrative Officer **FILE:** 8300-07
PC: K. Flick, Director, Community Infrastructure and Development **DATE:** May 12, 2021
FROM: L. Cordell, Manager, Long Range Planning and Sustainability
SUBJECT: DVA BUSINESS ENGAGEMENT 30TH AVENUE CLOSURE

At its Regular Meeting of May 10, 2021, Council passed the following resolution:

THAT Council direct Administration to reach out to the DVA and ask what their availability and timing will be to provide a survey to the businesses in the 2900 and 3000 block of 30th Avenue.

Administration met with the Downtown Vernon Association (DVA) and can advise that the DVA is shifting workloads to accommodate this very time sensitive request. This includes delaying their AGM and cancelling an event.

The DVA is developing an engagement process that meets directly with all the businesses in a manner and time that suits their needs, gathers both verbal and written feedback and collaborates with the businesses to find a path forward that solves problems and meets needs.

In order to accommodate scheduling, engagement would begin the first week of June, with a target of providing a report with recommendations as a late addition to the June 14, 2021 Council meeting.

RECOMMENDATION:

THAT Council request the Downtown Vernon Association proceed to survey businesses in the 2900 and 3000 block of 30th Avenue as outlined in the memorandum titled "DVA Business Engagement 30th Avenue Closure" dated May 12, 2021, and respectfully submitted by the Manager, Long Range Planning and Sustainability.

Respectfully submitted:

May 19 2021 8:27 AM

 Laurie Cordell 
Laurie Cordell DocuSign

Laurie Cordell
Manager, Long Range Planning and Sustainability



THE CORPORATION OF THE CITY OF VERNON

INTERNAL M E M O R A N D U M

TO: Will Pearce, CAO **FILE:** 1850-02

PC: Mayor and Council **DATE:** May 14, 2021

FROM: Terry Martens, Manager, Financial Operations

SUBJECT: ***COUNCIL DISCRETIONARY GRANT APPLICATIONS – APRIL INTAKE***

The Finance Committee, at its May 13, 2021 meeting reviewed the April 2021 Council Discretionary Grant applications. There were 29 applications totalling \$235,622. The total funds available are \$50,000 combined for both the April and October intake periods. The Committee recommendation below allocated \$25,800 of available funds.

The Finance Committee also recommended an amendment to the Council Discretionary Grant Policy requiring that an applicant's submitted financial statements be a complete set of financial statements from their most recent completed fiscal year within the last two years. Currently, some applicants submit a partial set of statements which covers the current fiscal year but not for a full twelve months. This amendment clarifies what the City is requiring. The revised policy is attached.

The Finance Committee adopted the following for Council's consideration.

RECOMMENDATION:

THAT Council approves the recommendations regarding the Council Discretionary Grants from the Finance Committee as follows:

1. THAT Council **approve**, on a one-time basis, a Council Discretionary Grant to Funtastic Sports Society in the amount of \$7,500 to purchase a 30 x 30 tent for their tournament.
2. THAT Council **deny** a Council Discretionary Grant to Allan Brooks Nature Centre in the amount of \$5,500 as the application does not meet the required criteria.
3. THAT Council **deny** a Council Discretionary Grant to Bottman Sports in the amount of \$6,000 as the City has limited funds for disbursement.
4. THAT Council **deny** a Council Discretionary Grant to Caetani Centre in the amount of \$10,000 as the City has limited funds for disbursement.
5. THAT Council **deny** a Council Discretionary Grant to Canadian Mental Health Association in the amount of \$10,000 as the City has limited funds for disbursement.

6. THAT Council **deny** a Council Discretionary Grant to Clarence Fulton Secondary School in the amount of \$5,695 as the application does not meet the required criteria.
7. THAT Council **deny** a Council Discretionary Grant to Community Recreation Initiative Society in the amount of \$5,000 as the City has limited funds for disbursement.
8. THAT Council **approve**, on a one-time basis, a Council Discretionary Grant to Family Resource Centre in the amount of \$3,000 to provide counselling and ongoing group support services for victimized women.
9. THAT Council **deny** a Council Discretionary Grant to Good Samaritan Canada in the amount of \$3,000 as the City has limited funds for disbursement.
10. THAT Council **deny** a Council Discretionary Grant to HOPE Outreach in the amount of \$3,000 as the City has limited funds for disbursement.
11. THAT Council **deny** a Council Discretionary Grant to International Tree Project in the amount of \$22,337 as the application does not meet the required criteria.
12. THAT Council **deny** a Council Discretionary Grant to Men's Shed Vernon Society in the amount of \$20,000 as the City has limited funds for disbursement.
13. THAT Council **deny** a Council Discretionary Grant to North Okanagan Cycling Society in the amount of \$5,000 as the City has limited funds for disbursement.
14. THAT Council **deny** a Council Discretionary Grant to North Okanagan Land to Table Network in the amount of \$2,500 as the City has limited funds for disbursement.
15. THAT Council **approve**, on a one-time basis, a Council Discretionary Grant to North Okanagan Neurological Association in the amount of \$8,000 to transition to a virtual server to provide accessible technology for staff and families.
16. THAT Council **deny** a Council Discretionary Grant to North Valley Gymnastics Society in the amount of \$4,500 as the City has limited funds for disbursement.
17. THAT Council **deny** a Council Discretionary Grant to Powerhouse Theatre in the amount of \$5,000 as the City has limited funds for disbursement.
18. THAT Council **deny** a Council Discretionary Grant to Vernon Alano Club in the amount of \$12,000 as the City has limited funds for disbursement.
19. THAT Council **approve**, on a one-time basis, a Council Discretionary Grant to Vernon BMX Association in the amount of \$5,000 to assist with operational costs.
20. THAT Council **deny** a Council Discretionary Grant to Vernon Community Music School in the amount of \$4,300 as the City has limited funds for disbursement.
21. THAT Council **approve**, on a one-time basis, a Council Discretionary Grant to Vernon Elks Lodge in the amount of \$2,300 out of a requested amount of \$5,500 to purchase a meat slicer.

22. THAT Council **deny** a Council Discretionary Grant to Vernon Farmer's Market in the amount of \$5,000 as the application does not meet the required criteria.
23. THAT Council **deny** a Council Discretionary Grant to Vernon Girls Trumpet Band in the amount of \$3,500 as the application does not meet the required criteria.
24. THAT Council **deny** a Council Discretionary Grant to Vernon Learning Disabilities Association in the amount of \$3,500 as the City has limited funds for disbursement.
25. THAT Council **deny** a Council Discretionary Grant to Vernon Lions Club in the amount of \$5,000 as the City has limited funds for disbursement.
26. THAT Council **deny** a Council Discretionary Grant to Vernon Native Housing in the amount of \$3,000 as the City has limited funds for disbursement.
27. THAT Council **deny** a Council Discretionary Grant to Vernon Paddling Centre Society in the amount of \$10,790 as the City has limited funds for disbursement.
28. THAT Council **deny** a Council Discretionary Grant to Vernon Pickleball Association in the amount of \$32,000 as the City has limited funds for disbursement.
29. THAT Council **deny** a Council Discretionary Grant to Vernon Upper Room Mission in the amount of \$20,000 as the City has limited funds for disbursement.
30. THAT Council amend the Council Discretionary Grant Policy to reflect the following change:
Item 2.1 (b) the most recent completed fiscal year financial statements within the last 2 years.

Respectfully submitted,

A handwritten signature in black ink, appearing to be 'J. Smith', written over a horizontal line.



THE CORPORATION OF THE CITY OF VERNON
 3400 – 30th Street, Vernon, B.C. V1T 5E6
 Telephone: (250) 545-1361 FAX: (250) 545-4048
 website: www.vernon.ca

Corporate Policy

Section:	Finance	
Sub-Section:		
Title:	Council Discretionary Grant Policy	

RELATED POLICIES

Number	Title

APPROVALS

POLICY APPROVAL:	AMENDMENT APPROVAL:	SECTION AMENDED
Approved by: <i>"Wayne Lippert"</i> Mayor Date: November 13, 2007	Amendment Approved by: <i>"Wayne Lippert"</i> Mayor Date: June 9, 2008	Updated Sec. 1.3© to include "excluding tax exemptions."
	Amendment Approved by: <i>"Rob Sawatzky"</i> Mayor Date: November 26, 2012	"Remove clause noting that unspent funds in one fiscal year are rolled over to the next year."
	Amendment Approved by:	"Amend intake periods, remove

	"Rob Sawatzky" Mayor Date: July 15, 2013	application form, and perform various housekeeping updates and changes."
	Amendment Approved by: "Akbal Mund" Mayor Date: March 12, 2018	"Amended paragraph under Policy. Amended Capital Expenditures, Intake Period, Project under Definitions and added Program. Amended 1.2 (d) and (e) and 2.2, 2.2.1 and 3.1 (e) Removed last sentence"
	Amendment Approved by: "Victor Cumming" Mayor Date: June 8, 2020	"Section 4.0 (Recipient Reporting) was added."

POLICY

The City supports the enhancement and preservation of a positive quality of life for all its residents. One means of achieving this goal is through the provision of grants to organizations that contribute to the general interest and advantage of the City.

The awarding of grants is solely within Council's discretion; Council may deny any and all grant requests.

This policy is in effect subject to the continuance of ongoing annual funding.

Organizations requesting \$25,000 in a single year must submit, at their expense, audited financial statements to the City.

DEFINITIONS

Application means the documents listed in Section 2.1

Application Deadline means the 30th day of April and the 31st day of October.

Capital Expenditure means providing an asset in the City of Vernon that is significant and is of lasting benefit.

Community Based means a non-restricted membership group or organization:

- (a) whose practices are consistent with the City's Strategic Directions; and
- (b) who provide program(s), project(s) or capital expenditure(s) which positively and directly impact the City or its residents.

Intake Period means that applications will be accepted April 1 to April 30 up to 4:00pm and October 1 to October 31 up to 4:00pm, or if City Hall is closed on the due date, the next working day that City Hall is open up to 4:00 pm.

Project means a one-time event.

Program means an ongoing initiative by an organization. Funding preference will be given to startup programs.

Regional Funding means a funding source from surrounding communities or the regional district.

Resident means an individual who resides in the City.

PROCEDURES

1.0 *Eligibility for Grants*

- 1.1 An organization wishing to be considered for a discretionary grant will have to submit an application.
- 1.2 Each year, the City may award discretionary grants to organizations for the purpose of providing funding for a program, project or capital expenditure. An organization must meet the following criteria in order to qualify for a grant:
 - (a) The organization must be a non-profit organization or registered society;
 - (b) The organization must be Community Based;
 - (c) The organization is providing a service which is not provided by any other group or organization within the City or which is provided for in another municipality and is used by Residents.
 - (d) The organization may only submit one application per calendar year.
- 1.3 An organization is not eligible for a grant and the request will be denied if the grant:

- (a) Is for retroactive funding or to cover a deficit.
- 1.4 Preference will be given to organizations who are not receiving local government funding such as:
- (a) Regional funding
 - (b) Grants or other assistance from the City of Vernon, excluding tax exemptions.

2.0 Application Process

- 2.1 The organization must submit the following documents which form the application to apply for a grant:
- (a) A signed, completed application form;
 - (b) The most recent **completed fiscal year** ~~set of~~ financial statements **within the last 2 years**;
 - (c) The minutes of the most recent annual general meeting;
 - (d) A list of the members of the executive (including positions held, address and contact numbers);
 - (e) Confirmation of registered society status.
 - (f) A profile and history of the organization and its accomplishments.
- 2.1.1 Incomplete applications will not be considered.
- 2.2 The organization must submit the application to the Director of Financial Services, at Vernon City Hall no later than 4:00 pm on the application date(s), or if City Hall is closed on that day, no later than 4:00pm on the next working day that City Hall is open.
- 2.2.1 Applications for funding will be made on a semi-annual basis for those applications received between the intake periods of April 1 to April 30 4:00pm and October 1 to October 31, 4:00 pm each year, or if City Hall is closed on the 30th of April or the 31st of October, no later than 4:00 pm on the next working day that City Hall is open.
- An application received before or after the application deadline will be returned to the applicant.
- 2.3 The Finance Division will:
- (a) Review all applications to ensure policy compliance; and
 - (b) Forward the applications to the Finance Committee for consideration and recommendation to City Council.
 - (c) Where funds have been exhausted for the current fiscal year the Director of Financial Services will advise the applicant by letter, and forward a copy of the notification to Mayor and Council.

3.0 Council Consideration

- 3.1 The Finance Committee will consider the following factors when making recommendations to Council as to which organizations it will support or deny a grant:
- (a) The extent to which an application demonstrates that there is need in the community;
 - (b) The extent to which the profile and history of the organization and its accomplishments and organization's goals and objectives are supportive of, or align with the City's Strategic Directions;
 - (c) The degree to which the grant will support the enhancement of a positive quality of life for all City Residents;
 - (d) The extent to which the organization has obtained other sources of funding (e.g. Federal or Provincial Government funding, corporate sponsorships, fundraising campaigns, etc.);
 - (e) The availability of funds budgeted for discretionary grants;
 - (f) The need(s) of the organization requesting funding;
 - (g) The degree of demonstrated economic development, environmental stewardship or social benefit that may be generated by the award of a Council Discretionary Grant.

4.0 Recipient Reporting

- 4.1 The Finance Committee will correspond with organizations that have received a discretionary grant within twelve months of receipt to ensure that the awarded grant funds will be spent.
- 4.2 Organizations that have received a discretionary grant must submit a report to the City within two years of receipt disclosing details on how the grant funds were spent. If none of the grant was spent, the grant must be returned to the City within two years of receipt.
- 4.3 If the above requirement is not followed by an organization receiving a discretionary grant, subsequent applications from that organization will not be approved.



THE CORPORATION OF THE CITY OF VERNON

INTERNAL M E M O R A N D U M

TO: Will Pearce, Chief Administrative Officer **FILE:** 1880-03 (2020)

PC: Debra Law, Director, Financial Services **DATE:** May 06, 2021

FROM: Aaron Stuart, Manager, Financial Planning & Reporting

SUBJECT: 2020 STATEMENT OF FINANCIAL INFORMATION

In accordance with the *Financial Information Act*, the City must submit to the Province annually a Statement of Financial Information (SOFI) upon approval by Council.

The SOFI includes the following elements as part of the audited financial statements:

- Statement of assets and liabilities
- Operational statement
- Schedule of debts

Additional information in the SOFI as separate schedules includes:

- Schedule of elected official remuneration and expenses
- Schedule of employee remuneration and expenses
- Schedule of suppliers of goods and services
- Statement of severance agreements
- Schedule of guarantee and indemnity agreements
- Statement of payments of grants

The 2020 audited consolidated financial statements were presented to Council during the Committee of the Whole meeting on May 10, 2021. The statement of assets and liabilities is Statement A – Consolidated Statement of Financial Position, the operational statement is Statement B – Consolidated Statement of Operation and the schedule of debts is note 11 in the audited financial statements.

The schedule of Council remuneration and expenses (Attachment 1) includes total remuneration paid in 2020 to each Elected Official along with expenses paid on their behalf which have not been included as remuneration. Additionally, related party transactions are shown which represent payments to vendors in which a member of Council has a controlling interest.

The schedule of employee remuneration and expenses (Attachment 2) discloses 2020 gross earnings for each employee. This information is separated into two groups, employees that earned \$75,000 or more, shown individually, and employees that earned under \$75,000 grouped together as a lump sum. Employee expense information is shown for each group which includes expenses paid on behalf of employees which is not included in their remuneration.

The schedule of vendor payments (schedule of suppliers of goods and services) (Attachment 3) separately discloses parties receiving payments from the City totalling \$25,000 or more including GST. Data for all other vendor payments are shown as an aggregate total at the bottom of the schedule.

Some vendor payments do not represent operating expenses of the City and are not recorded as such on the City's audited consolidated financial statements. Examples include: refunds of cash security, remittances of employee source deductions, payments of tax requisitions for other taxation agencies, tax sale deposit refunds, and debt principal payments. The inclusion of payments in the schedule is on a cash basis (based on the year payment was made) and not on an accrual basis (based on the year the goods and/or services were/will be received). This means that some items reported may have been recorded in the 2020 fiscal year, but were not physically paid in 2020.

The statement of severance agreements and guarantees (Attachment 4) includes the number of severance agreements executed during 2020. Additionally, the severance value is communicated as the equivalent number of months the severance amount represents in relation to the employee's salary. This attachment also includes the financial guarantees the City has in place, which is also included in the 2020 audited consolidated financial statements in note 23 f) Contingent Liabilities – Letter of Credit.

The statement of grants and contributions (Attachment 5) includes a listing of all grant and contribution payments made by the City during 2020, including grants totalling \$906,688 to residential property owners.

RECOMMENDATION:

THAT Council approve the 2020 Statement of Financial Information as provided in attachments to the Memorandum dated May 06, 2021 from the Manager, Financial Planning & Reporting.

Respectfully submitted:



Attachments:

- 1 Council Remuneration & Expenses
- 2 Employee Remuneration & Expenses
- 3 Payments to Vendors in Excess of \$25,000
- 4 Statement of Severance Agreements & Statement of Guarantees
- 5 Grants & Contributions
- 6 Permissive Tax Exemptions

COUNCIL REMUNERATION AND EXPENSES

NAME	OFFICE	2020 REMUNERATION	EXPENSES*
Cumming, Victor	Mayor	\$ 93,394	\$ 425
Anderson, Scott	Councillor	33,666	-
Fehr, Kelly	Councillor	33,441	-
Gares, Kari	Councillor	33,441	43
Mund, Akbal	Councillor	33,666	50
Nahal, Dalvir	Councillor	33,666	93
Quiring, Brian F *	Councillor	33,666	-
Total		\$ 294,939	\$ 611

RELATED PARTY AMOUNTS

*MQN Architects, MQN Interiors	\$ 2,674	Recreation Facility Renovations
	9,188	Lakeview Pool Design
	13,763	DND Washroom Renovations
	\$ 25,624	

EMPLOYEE REMUNERATION AND EXPENSES

EMPLOYEE NAME	2020 GROSS EARNINGS	EXPENSES (NET OF TAX)	EMPLOYEE NAME	2020 GROSS EARNINGS	EXPENSES (NET OF TAX)
Adkins, I.	\$ 93,100	\$ 110	Gaucher, G.	\$ 107,410	\$ 342
Archer, H.	77,208	1,267	Gaythorpe, G.	93,626	551
Bandy, B.	106,335	36	Gellein, D.	106,489	1,405
Barker, C.	102,819	533	Gilroy, C.	106,096	1,392
Beauregard, J.	108,544	213	Grier, C.	81,289	827
Bedard, R.	84,702	380	Harris, K.	88,211	999
Bond, B.	109,035	831	Hawthorne, M.	90,390	99
Borisenko, R.	80,295	1,393	Hemstad, S.	134,613	3,554
Bouchard, M.	89,361	184	Holloway, R.	81,396	742
Bowness, T.	79,084	3,424	Holman, K.	81,655	915
Box, H.	84,969	380	Holtz, C.	76,976	937
Bradley, J.	101,185	837	Imrich, D.	132,428	466
Bridal, P.	168,204	170	Irwin, S.	115,904	952
Bridge, S.	85,306	380	Jacobson, K.	92,166	-
Briggs, G.	81,225	1,139	Jameson, K.	85,437	342
Broadbent, A.	79,723	-	Keast, M.	86,665	6,751
Broderick, C.	114,428	1,357	Keenan, T.	110,211	496
Browne, R.	88,844	417	Koenig, S.	75,558	438
Calder, S.	84,093	372	Kozin, S.	102,528	487
Carter, B.	86,397	282	Kruysifix, D.	110,605	1,083
Cecchini, D.	135,456	988	Kryszak, K.	95,541	1,004
Chew, A.	80,753	5,093	Kulak, C.	126,241	685
Chirkoff, P.	90,069	-	Law, D.	147,989	592
Clarke, C.	130,656	496	Lees, D.	88,477	640
Clary, J.	94,544	2,640	Lefebvre, G.	91,785	37
Clerke, T.	80,129	-	Liefke, C.	77,321	630
Cleverley, C.	90,729	2,772	Lind, D.	166,499	5,025
Cooper, L.	79,899	-	Low, R.	83,891	-
Cordell, L.	104,692	2,601	Luxton, J.	80,564	60
Cover, D.	108,014	282	Manjak, R.	164,441	14,648
Crawford, B.	107,186	895	Markel, M.	93,909	99
Croy, E.	95,907	1,139	Martens, T.	106,989	3,395
Cucheran, R.	121,462	320	Mcdonald, K.	78,483	1,259
Dhillon, K.	103,531	1,511	Mcgiverin, R.	111,310	308
Donker, B.	95,825	73	Mcluckie, P.	116,677	2,056
Doorman, J.	101,095	278	Mitchell, S.	92,278	310
Flick, K.	153,639	815	Morrison, N.	79,269	672
Fredin, C.	102,184	304	Mulligan, G.	76,767	633
Fugel, T.	80,962	979	Mustonen, E.	78,196	4,673

Employee Remuneration and Expenses | Continued

EMPLOYEE NAME	2020 GROSS EARNINGS	EXPENSES (NET OF TAX)	EMPLOYEE NAME	2020 GROSS EARNINGS	EXPENSES (NET OF TAX)
Nadeau, D.	\$ 102,331	\$ 466	Seymour, L.	\$ 129,035	\$ 9,887
Nuriel, R.	97,742	675	Sheel, C.	110,364	7,656
Olson, G.	87,332	-	Sibilleau, D.	107,327	470
Olson, M.	106,651	1,225	Sissons, D.	82,926	567
Ovens, C.	124,962	352	Stoll, M.	111,728	486
Parker, R.	94,105	1,644	Story, B.	92,643	658
Parsons, B.	124,508	496	Stowards, B.	81,195	818
Patterson, S.	88,492	1,573	Stranks, E.	118,493	-
Pearce, W.	239,851	1,016	Strobel, R.	107,518	1,421
Pearson, J.	107,854	1,045	Stuart, A.	110,834	1,104
Poirier, C.	89,307	2,559	Sturgeon, D.	95,286	610
Poole, K.	120,555	2,598	Sykes, A.	84,633	470
Powell, R.	78,763	358	Taylor, D.	89,423	875
Price, E.	80,289	1,020	Thomas, J.	95,611	603
Pshyk, S.	104,766	468	Thompson, G.	85,370	380
Reich, A.	118,255	308	Toopitsin, H.	94,408	233
Reichlin, G.	106,187	1,044	Van Der Gulik, A.	82,326	75
Rice, J.	95,451	65	Van Dyke, W.	88,213	168
Robar, S.	86,058	1,389	Vienneau, R.	82,758	-
Robinson, C.	121,260	466	Wakefield, D.	126,677	588
Robinson, D.	83,826	1,015	Walker, D.	125,717	2,250
Roemer, D.	78,648	846	Walker, L.	83,892	36
Roesler, D.	91,264	393	Wanner, B.	77,869	-
Ross, D.	161,437	26	Watson, A.	118,092	603
Satchell, K.	110,801	82	Wright, D.	79,568	-
Saunders, S.	79,802	1,778	Wright, S.	91,785	-
Schikowski, T.	91,061	325	Wycott, C.	82,058	563
Scott, T.	95,150	473	Zubick, R.	80,693	378
Sengotta, R.	84,677	213			
			Total	13,545,699	149,476
			All Employees Under \$75,000	11,692,374	78,324
			Grand Total	\$ 25,238,073	\$ 227,800

Total gross earnings differs from the total wages included in the City's Consolidated Statement of Operations due to employer portions of salary costs.

PAYMENTS TO VENDORS IN EXCESS OF \$25,000

VENDOR NAME	2020	VENDOR NAME	2020
0765507 BC LTD	\$ 76,322	Corporate Express	\$ 46,847
0872355 BC Ltd DBA Speedpro Signs	43,770	Dawson International Truck Centres	56,772
0887624 BC LTD	69,515	Destination Think Professional Services Inc	102,083
0942304 BC Ltd	60,900	Devon Transport Ltd	39,707
1122820 BC LTD	72,311	District of Coldstream	48,545
1 & 2 Electric Ltd	46,893	Downtown Vernon Association	481,108
6-4 Building Maintenance Ltd	187,940	Drive Products Inc	26,334
A & D Asphalt Solutions Ltd	299,015	Duffin, Francis	28,223
A & G Supply Ltd	130,999	Durning Directions & Services Ltd	46,841
Accurate Fence & MFG	30,613	Dynamic Asphalt Services Inc	94,463
Accu-Sweep Services Ltd	43,315	EB Horsman & Son Ltd	131,976
Advantage Asset Tracking Inc	50,799	Econolite Canada Inc	203,980
Aecom Canada Ltd	239,732	EMCO Corporation	52,758
Alpha Omega Security Ltd	36,498	EMPS Electric Motor & Pump Service Ltd	82,194
American Professional Management Services Inc	68,250	Esolutions Group LTD	25,545
Andrew Sheret Ltd	182,237	ESRI Canada Limited	142,951
Aqua-bility Projects Ltd	46,535	Evergreen Building Maintenance Inc	51,151
Associated Environmental Consultants Inc	131,809	Evoqua Water Technologies Ltd	56,805
Associated Fire & Safety Group Inc	37,068	Executive Flight Centre Fuel Services	306,070
ATS Electric & Technical Service LTD	123,745	Falcon Engineering Ltd	59,331
ATS Traffic British Columbia LTD	41,116	Faulknerbrowns Architecture Inc	112,587
Bannister Chev-Olds Inc	36,062	Fisher's Hardware Ltd	25,394
BC Assessment Authority - Taxation	520,722	Fletcher Paine Associates Engineering Ltd	170,759
BC Hydro & Power Authority	2,284,237	Fortis BC	323,733
BC Transit	2,194,947	Franz, Maria Anna	52,830
BD Hall Contractors Corporation	153,501	GBG Rental Inc	275,100
Bell Canada	27,966	General Carbon Corp	81,105
Black Press Group Ltd	74,968	Gilbert Parts Depot	82,399
Blackbird Security Inc	47,240	Goldcliff Electric	29,715
Brentwell Construction LTD	44,638	Gotraffic Management Inc	85,296
Bry-Mac Mechanical LTD	184,120	Grizzly Curb & Concrete Ltd	244,061
Busy Bee Pest Control	39,375	Grounds Guys Landscape	896,065
Canada Post Corporation	66,876	Guillevin International Co	49,110
Canada Safety Equipment Ltd	135,721	Hach Sales & Service Canada Ltd	101,663
Canadian Engineered Products & Sales	89,015	Iconix Waterworks	133,138
Canadian Industrial Pumps LTD	26,901	Innov8 Digital Solutions Inc	27,641
Canadian National Railway Co	299,578	Insurance Corporation of BC	1,845
Canadian Professional Management Services Inc	28,560	Interprovincial Traffic Services Ltd	40,503
Capital H2O Systems Inc	85,050	Ironman Directional Drilling Ltd	47,438
Capri Insurance	473,321	J & B Commercial Centre	44,308
Carlisle Developments Inc	303,055	J.J. Mackay Canada Ltd	224,664
Caro Analytical Services	56,070	Jassi Holdings Ltd	27,935
Castle Fuels LTD	27,487	Jaydon Thiessen Electric	66,881
CDW Canada Inc	138,177	Kal Tire Ltd	46,495
Centralsquare-Vadim Computer Management	31,697	Kalamalka Security & Investigations	38,208
CGL Contracting Ltd	4,630,587	Kelowna Hyundai	43,685
Chances Bulk Unloading Ltd	88,904	Kelownas TNT Trucking Ltd	138,524
Chapman Industries LTD	1,985,772	Kendrick Equipment Ltd	516,794
City of Kelowna	1,218,646	KGC Fire Rescue Inc	65,295
CJIB FM - 107.5 Beach Radio	32,970	Kon Kast Products	53,541
CK Vernon Construction LTD	41,871	Kosmina Road Holdings Lts C/O Oballa Realty	40,604
Cleartech Industries Inc	88,554	KPMG LLP T4348	40,845
Commercial Aquatic Supplies - DB Perks & Associates	98,519	KTI Limited	110,375
Community Energy Association	108,946	Lafrentz Road Marking-Div of Cdn Road Builders	300,900

Payments to Vendors in Excess of \$25,000 | Continued

VENDOR NAME	2020	VENDOR NAME	2020
Laing Roofing Ltd	\$ 53,391	SCP Distributors Canada Inc	\$ 296,439
Lakeside Development Corp	55,999	Scuka Enterprises Ltd	114,122
Lawson Engineering & Developmemt Services Inc	142,685	Seal Tec Industries Ltd	230,659
Leko Pre Cast Ltd	38,392	Sel Surveys/Douglas R Jacobi	265,385
Lidstone & Company	245,267	Sherine Industries Ltd	35,009
Links Lawn & Yard Services	101,505	Shaw Cablesystems Gp	45,825
Load & Go Junk Removal Services Inc	25,538	Silver Pine Estates	41,805
London Drugs	52,443	Smith Cameron Process Solutions Inc	61,984
Maddox W E	28,238	Social Planning Council for the North Okanagan	70,745
Manulife Financial	1,503,289	Softchoice Lp	73,185
Mcelhanney Ltd	374,944	Source Office Furniture & Systems Ltd	29,440
Mearl's Machine Works Ltd	31,944	Special T Cleaning Ltd	45,510
Metro Motors Ltd	49,504	Sproing Creative	50,208
Minister of Finance	7,299,604	Stantec Consulting Ltd	623,472
Modern Energy Management Ltd	65,122	Sun Life Financial	45,000
Monaghan Engineering & Consulting Ltd	498,465	Suncor Energy Products Partnership	459,451
Montsion, Kari	42,474	Sunset West Mechanical Ltd	222,792
Mountain Rock Stabilization Services	222,241	Super Save Disposal Inc	92,918
MTS Mobile Pressure Wash	26,294	Telus Communications Inc	117,605
Municipal Insurance Assoc of BC	323,750	Telus Mobility Cellular Inc	107,964
Municipal Pension Plan	4,517,746	Temptasian Restaurant Ltd	55,977
N O Columbia-Shuswap Regional Hospital	4,171,119	Tetra Tech Canada Inc (EBA Inc)	75,942
Nokomis Landscaping Ltd	130,515	The Web Advisors	33,493
Nor-mar Industries Inc	27,552	Total Flooring Concepts Ltd DBA NuFloors	45,391
Northwest Hydraulic Consultants Ltd	225,324	Twisted Mops Cleaning Company	78,254
Nor-Val Rentals Ltd	29,594	Unifirst Canada Ltd	38,244
Oakcreek Golf & Turf LP	33,884	Urban Heights Holding Vernon Ltd	26,058
Okanagan College	48,210	Urban Systems Ltd	134,735
Okanagan Regional Library	1,905,605	Veolia Water Technologies Inc	1,363,598
Okanagan Restoration Services Ltd	65,096	VDACL	112,817
Okanagan Traffic Control Professionals Inc	45,775	Vernon Civic Employees Union - Local 626	274,267
O'Keefe Ranch & Historical Society	100,000	Vernon Curling & Athletic Club	57,957
Omega Communications Ltd	55,480	Vernon Firefighters Association Local 1517	126,506
Organized Crime Agency of BC	30,388	Vernon Lock And Safe	33,374
Perfectmind Inc	25,438	Vernon On Site Fencing Ltd	182,460
Petrovalue Products Canada Inc	249,426	Vernon Paving Ltd	582,084
Postill Nixon Earthworks	1,568,526	Vimar Equipment Ltd	720,315
Predator Ridge Limited Partnership	62,978	VVI Construction Ltd	53,243
Pyramid Excavation Corporation	2,284,322	Wasp Manufacturing Ltd	146,479
Quality First Homes Ltd	96,151	Waste Connections of Canada Inc	1,919,651
R E Postill & Sons Ltd	370,718	Waterhouse Environmental Services Corporation	123,530
R L Walker Contracting Ltd	244,321	Western Equipment Ltd	32,543
R W Gray Consulting Ltd	29,043	Western Road Distribution Inc	65,146
R355 Enterprises Ltd	1,506,598	Westridge Quarries Ltd	44,747
Receiver General for Canada	15,953,367	Wise Wildlife Control Service	43,038
Regional District of North Okanagan	25,956,806	Wise Wood Tree Care Ltd	29,747
Restorative Justice Society of North Okanagan	44,858	Wishbone Industries Ltd	57,602
Ricoh Canada Inc	50,651	Wolseley Waterworks Group	108,813
Rider Ventures	76,531	Woodland Equipment Inc	305,474
Rjames Management Group Ltd	26,698	Woodstyle Homes Ltd	269,333
Rocky Mountain Phoenix	79,812	Worksafe BC	476,017
Rocky Mountain Transport Ltd	85,836	WSP Canada Inc	54,415
Rona Inc	27,501	Young Anderson Barristers & Solicitors	189,107
Sandbar Holdings DBA GCR Rail Crossings	44,474		
		Total	106,547,859
		All Other Under \$25,000	12,881,193
		Grand Total Payments to Vendors	\$ 119,429,052

Total payments to Vendors differs from total expenses in the City's Consolidated Statement of Operations due to accrual basis of accounting, payments made for capital assets, amortization and payments made to other agencies for amounts collected on their behalf.

STATEMENT OF SEVERANCE AGREEMENTS

In accordance with the requirements of the *Financial Information Act* below is a schedule of Severance Agreements and equivalent's month range of compensation for the year 2020 for which severance payments commenced in 2020.

Number of Severance Agreements: One
Range of equivalent's months pay: Six months

Approved by: _____
Director, Financial Services

Dated: May 25, 2021

Approved by Council: _____
Mayor

Dated: May 25, 2021

STATEMENT OF GUARANTEES

In accordance with the requirements of the *Financial Information Act* below is a summary of Guarantees in effect for the year 2020. The City of Vernon has issued an irrevocable letter of credit in favour of the Agricultural Land Commission (ALC) as a guarantee to fund works required by the ALC as a condition of a property being removed from the Agricultural Land Reserve. The amount of the guarantee is \$716,000. As of December 31, 2020 no drawing on the letter of credit has occurred.

Approved by: _____
Director, Financial Services

Dated: May 25, 2021

Approved by Council: _____
Mayor

Dated: May 25, 2021

GRANTS & CONTRIBUTIONS

PAYEE	2020	GRANT TYPE
Barton, Rebecca	\$ 500	Heritage Retention Incentive Grant
BentallGreenOak (Canada) LP ITF Optrust Retail Inc	100,000	Contribution towards secondary transit exchange
Chippendale, Sean	500	Heritage Retention Incentive Grant
Cliffshores Strata Corp K399	309	UBCM CRIP FireSmart Community Funding Grant
Downtown Vernon Association	51,750	Contribution for downtown landscape maintenance
Downtown Vernon Association	22,000	Security Camera Project Grant
KidSport	1,212	Contribution to KidSport
Literacy Society of the North Okanagan	3,000	Council Discretionary Grant
North Okanagan Cycling Society	5,000	Council Discretionary Grant
North Okanagan Gymnastics Society	4,000	Council Discretionary Grant
North Okanagan Optimist Society	3,300	Council Discretionary Grant
North Okanagan Therapeutic Riding Association	5,000	Council Discretionary Grant
O'Keefe Ranch Heritage Society	100,000	Operating Grant
Okanagan Collaborative Conservation Program	2,500	Partner Contribution
Okanagan Regional Library	25,802	Sunday Library Opening Grant
Okanagan Screen Arts Society	16,900	Council Discretionary Grant
Power House Theatrical Society	5,000	Council Discretionary Grant
Predator Ridge Community Firesmart	312	FireSmart Community Grant
Regional District of North Okanagan	25,000	Contribution for Commonage Road shoulder widening
Residential Property Tax Payers	906,688	COVID-19 Residential Property Tax Grants
Roze Des Ordons, Jenna	500	Heritage Retention Incentive Grant
Turning Points Collaborative Society	2,760	Community Clean up Grant
University of British Columbia	5,000	One Water Approach Grant
Vernon Community Dental Access Centre	711	Kindness Meter Grant
Vernon Community Music School Association	5,000	Heritage Restoration Grant
Vernon Community Radio Society	2,500	Council Discretionary Grant
Vernon Girls Trumpet Band	6,375	Council Discretionary Grant
Vernon Montessori Society	3,580	Council Discretionary Grant
Vernon Pickleball Association	212,584	Building Enclosure DCC's Grant
Vernon Rowing and Dragon Boat Club	1,000	Council Discretionary Grant
Vernon Senior Citizens Recreational Society	3,000	Council Discretionary Grant
Vernon Winter Carnival Society	16,500	Winter Carnival Grant
Westerra Strata KAS3343	193	FireSmart Community Grant
Total Grants	\$ 1,538,477	

PERMISSIVE TAX EXEMPTIONS

DBA Name	Folio	Civic Address	Total Exemption
Churches and Houses of Worship			
Alexis Park Church	05560.000	3906 35a St	\$ 1,824
All Saints Anglican	00093.000	3205 27 St	5,399
Christian Reformed Church of Vernon	05480.000	3605 12 St	1,466
Church of God of Prophecy	06464.000	4300 Bella Vista Rd	540
Emmanuel Fellowship Baptist	05287.003	3412 15 Ave	3,718
Faith Baptist Church	01975.000	3910 27a St	5,683
Faith Baptist Church	02007.000	3909 28 St	838
First Baptist Church	02997.000	1406 32 Ave	2,019
German Church of God	02264.007	4312 25 St	1,372
Jesus Christ of Latter Day Saints	03709.001	1506 35 St	1,621
Knox Presbyterian Church	00866.000	3701 32 Ave	1,894
Living Word Lutheran Church	07357.550	6525 Okanagan Landing Rd	1,685
N.O. Sikh Cultural Society	03714.025	3800 Commonage Cres	436
New Apostolic Church	02565.020	4203 Pleasant Valley Rd	913
Okanagan Assembly Centre for Jehovah	05287.002	1424 Mission Rd	9,862
Our Lady of Peace	04092.000	3016 37 St	1,108
Peace Lutheran Congregation	06029.001	1204 30 Ave	2,431
Salvation Army Community Church	00844.005	3303 32 Ave	5,411
Slavic Christians of Evangelical Faith	01913.110	2306 40 Ave	918
St James Roman Catholic Church	00517.000	2607 27 St	3,650
St Josaphats Ukrainian Catholic	02546.000	2210 40 Ave	1,347
Trinity United Church	04158.100	3300 Alexis Park Dr	7,099
Ukrainian Greek Othodox Church	01920.010	4105 27 St	2,532
Vernon Alliance Church	02245.005	4301 27 St	2,567
Vernon Alliance Church	02249.000	4305 27 St	1,214
Vernon Alliance Church	02253.000	2601 43 Ave	3,432
Vernon Christadelphian	06099.020	19-2200 40 St	1,664
Vernon Christian Fellowship	02402.000	4507 29 St	2,399
Vernon Christian Fellowship	04451.002	4506 29 St	2,245
Vernon Church of Christ	02534.007	4107 Pleasant Valley Rd	490
Vernon Family Church	03820.005	3508 25 Ave	5,885
Vernon Full Gospel Tabernacle	07401.340	5871 Okanagan Landing Rd	1,914
Vernon Gospel Chapel	02563.015	4106 Pleasant Valley Rd	1,542
Vernon Japanese Cultural Society	07433.200	4895 Bella Vista Rd	1,400
Vernon Muslim Assoc	03725.000	3414 17 Ave	1,002
Educational Institution			
PV Christian Academy	02590.001	1802A-1802 45 Ave	8,552
PV Christian Academy	02590.001	1802A-1802 45 Ave	2,389
St James School	00502.000	2700 28 Ave	10,917
Social Services			
Abbeyfield House	03907.001	3511 27 Ave	3,897
Archway Society for Domestic Peace	00570.001	2603 26 St	4,972
Archway Society for Domestic Peace	02464.000	3502 19 St	3,668

Permissive Tax Exemptions | Continued

DBA Name	Folio	Civic Address	Total Exemption
Social Services Continued			
Canadian Mental Health Assoc	00090.000	3305 27 St	\$ 1,542
Canadian Mental Health Assoc	01399.000	3003 28 Ave	1,396
Canadian Mental Health Assoc	01445.000	3100 28 Ave	20,530
Canadian Mental Health Assoc	03384.000	3405 Okanagan Ave	1,829
Canadian Mental Health Assoc	03821.006	3605 24 Ave	1,982
Canadian Mental Health Assoc	03826.001	3610 25 Ave	2,557
Canadian Mental Health Assoc	04230.001	4206 Alexis Park Dr	5,532
Canadian Mental Health Assoc	04487.034	2201 53 Ave	6,731
Community Dental Access Centre	00980.020	C-3107 31 Ave	908
Good Samaritan Canada	04484.005	4904 20 St	29,321
Good Samaritan Canada	04484.010	4900 20 St	17,181
Kindale Developmental Assoc- Seaton Centre	06133.020	1340 Polson Dr	6,566
Kindale Developmental Assoc	03831.101	1-4100 25 Ave	591
Kindale Developmental Assoc	03831.102	2-4100 25 Ave	1,124
Kindale Developmental Assoc	03831.106	6-4100 25 Ave	591
Kindale Developmental Assoc	05482.010	902 35 Ave	2,585
N.O. Community Life Society	02357.005	2400 46 Ave	10,241
N.O. Community Life Society	02534.071	1307 40 Ave	1,253
N.O. Community Life Society	02563.010	4102 Pleasant Valley Rd	1,767
N.O. Community Life Society	06049.004	3917 13 St	994
N.O. Community Life Society	07090.036	5813 Richfield Pl	1,859
N.O. Friendship Centre Society	01353.000	2902 29 Ave	4,678
N.O. Friendship Centre Society	01355.000	2904 29 Ave	4,093
N.O. Neurological Assoc	01205.000	2802 34 St	35,404
N.O. Neurological Assoc	01207.002	3405 28 Ave	18,967
N.O. Youth & Family Services	00963.000	3100 32 Ave	13,691
N.O. Youth & Family Services	01921.000	4107 27 St	1,525
N.O. Youth & Family Services	01922.000	4109 27 St	1,839
Okanagan Comm - Columbus Court	04048.018	3003 Gateby Pl	7,524
People Place	01552.105	3402 27 Ave	28,315
People Place	01552.110	3400 27 Ave	5,543
Salvation Army - North Thrift	04490.010	1-5400 24 St	17,182
Salvation Army D/Town Thrift	01382.000	3102 29 Ave	6,290
Schubert Centre Society	04048.040	3505 30 Ave	22,249
Turning Points Collaborative	01578.001	3301 24 Ave	5,408
Upper Room Mission	01538.000	3405 27 Ave	2,252
Upper Room Mission	01539.000	3403 27 Ave	9,298
V&D Community Land Trust Society	03859.000	3502 27 Ave	6,326
V&D Hospice Society	03856.001	3506 27 Ave	5,444
VDACL - 23 St Venture Training	02672.002	4607 23 St	6,825
VDACL - 26 St Group Home	00060.000	3307 26 St	2,162
VDACL - 3601 36a St Group Home	04159.021	3601 36a St	1,485
VDACL - 39 St Group Home	03959.000	2803 39 St	1,944
VDACL - 4240 Alexis Park Dr	03925.000	3601 27 Ave	4,662
VDACL - Hawthorn House	03787.012	4217 16 Ave	1,444
VDACL- Venture Training	04230.100	4240 Alexis Park Dr	10,523
VDACL - Willow House	06011.000	1812 22 St	1,491
Vernon Native Housing Project	03805.008	4305 19 Ave	6,707
Vernon Restholm	03917.000	2808 35 St	8,805

Permissive Tax Exemptions | Continued

DBA Name	Folio	Civic Address	Total Exemption
Cultural			
Powerhouse Theatrical Society	01826.010	2901 35 Ave	\$ 7,035
Vernon Music School	02869.000	1705 32 Ave	4,732
Vernon Music School - Coach	02868.000	1705 32 Ave	4,089
Educational			
Allan Brooks Nature Centre	05289.004	250 Allan Brooks Way	2,852
Allan Brooks Nature Centre	05289.004	250 Allan Brooks Way	2,437
Okanagan Science Centre	00635.000	2704 Hwy 6	9,484
Mixed and Unique			
Army Navy & Airforce Veterans	02366.003	2500 46 Ave	3,106
Curling Club	04135.010		32,867
Halina Club	04135.010	3310 37 Ave	6,260
Heronry Protection Covenant	04486.000	5104 20 St	766
Heronry Protection Covenant	04486.000	5104 20 St	819
Heronry - 53 Ave	04487.047	107-2200 53 Ave	100
Heronry - 53 Ave	04487.048	108-2200 53 Ave	100
Heronry - 53 Ave	04487.049	109-2200 53 Ave	100
N.O. Childcare & Montessori	03933.005	2711 38 St	1,655
Ok Boys & Girls Clubs – Teen Junction	01850.002	3104 37 Ave	3,423
Ok Landing Community Assoc	07871.000	7813 Okanagan Land Rd	9,149
Okanagan Boys & Girls	04135.011	3300 37 Ave	9,654
Paddlewheel Park Foreshore	07871.000	7815 Okanagan Landing Rd	1,407
St Johns Ambulance	02676.002	1905-1901 47 Ave	9,756
Sunnyvale Restholm Society	02255.007	4306 25 St	523
Sunnyvale Restholm Society	02255.009	4308 25 St	318
Sunnyvale Restholm Society	02255.015	4304 25 St	1,975
Vernon & Area Pro Life Society	01067.000	3102 31 Ave	2,857
Vernon Pensioners - McCollough	01196.001	3400 Coldstream Ave	3,218
Vernon Pensioners - McCollough	01196.001	3400 Coldstream Ave	2,010
New 2020			
Habitat for Humanity Okanagan	03831.105	5-4100 25 Ave	372
N.O. Valley Gleaners Society	02276.001	4405 29 St	1,634
Vernon Book Volunteers Society	06164.047	35-100 Kalamalka Lake Rd	547
			\$ 606,317

DBA Name	Folio	Civic Address	Total 2020 Exemption
Revitalization Tax Exemption			
Tax Exemption Granted: 2014-2024			
0821153 BC Ltd	01072.011	1 - 3126 31 Ave	1,659
0821153 BC Ltd	01072.012	2 - 3126 31 Ave	1,956
0821153 BC Ltd	01072.013	3 - 3126 31 Ave	408
0821153 BC Ltd	01072.014	4 - 3126 31 Ave	3,491
0821153 BC Ltd	01072.015	5 - 3126 31 Ave	3,366
0821153 BC Ltd	01072.016	6 - 3126 31 Ave	3,414
0821153 BC Ltd	01072.017	7 - 3126 31 Ave	3,357
Ortho Terra Holdings	002036.011	1 - 4010 27 St	3,165
Ortho Terra Holdings	02036.012	2 - 4010 27 St	1,218
Ortho Terra Holdings	02036.013	3 - 4010 27 St	3,165
Rex Corvelay Inc	01408.000	2801 32 St	95
			<u>25,294</u>
Tax Exemption Granted: 2015-2025			
0944125 BC Ltd	02207.000	4101 32 St	9,734
0976816 BC Ltd	02038.005	4012 27 St	2,014
Jeruth Holdings Ltd	01528.000	3412 28 Ave	872
			<u>12,620</u>
Tax Exemption Granted: 2016-2026			
Hewitt, Mathew & Robin	02028.012	4077 28 St	694
Screen, Chantal	02028.002	2720 41 Ave	857
Larsen, Sheryl & Richard	02096.010	101 - 4107 29 St	504
Larsen, Sheryl & Richard	02096.020	102 - 4107 29 St	504
Larsen, Sheryl & Richard	02096.030	201 - 4107 29 St	521
Larsen, Sheryl & Richard	02096.040	202 - 4107 29 St	521
			<u>3,600</u>
Tax Exemption Granted: 2017-2027			
Mcdonald, Jill	02028.007	4073 28 Street	821
Froste, Amber	02028.008	4069 28 Street	874
0934088 BC Ltd	01791.005	2710 39 Avenue	22,583
Denoa Holdings Ltd	01703.001	1 - 3705 27 Street	2,215
Denoa Holdings Ltd	01703.002	2 - 3705 27 Street	2,052
Smith, Tod & Gloria	02031.007	3924 28 Street	501
Smith, Tod & Gloria	02031.006	3926 28 Street	562
Smith, Tod & Gloria	02031.004	3928 28 Street	548
Smith, Tod & Gloria	02031.005	3930 28 Street	460
Burke, Chrstopher & Melinda	02028.016	4061 28 Street	984
Martin, Brian & Courts, Camillia	02028.014	4065 28 Street	1,058
			<u>32,659</u>
Tax Exemption Granted: 2018-2028			
1054401 BC Ltd	02211.000	3005 41 Avenue	2,013
			<u>2,013</u>
Tax Exemption Granted: 2019-2029			
Dedora, Taylor & Kimberly	02121.000	4010 31 Street	1,641
Sleeman Breweries Ltd	00482.000	2801 27A Street	70,417
Marten Holdings Ltd	01044.000	2933 30 Avenue	438
			<u>72,058</u>
Tax Exemptions Granted: 2020-2030			
Dedora, Taylor & Kimberly	00944.000	3215 31 Avenue	1,247
The Hamlets at Vernon Residence Inc	01368.010	3050 29 Avenue	69,965
The Hamlets at Vernon Residence Inc	01368.010	3050 29 Avenue	3,836
Zhou, Yu Yu	01706.000	3701 27 Street	5,073
			<u>80,122</u>
Total			<u>\$ 228,367</u>



THE CORPORATION OF THE CITY OF VERNON

INTERNAL MEMORANDUM

TO: W. Pearce, CAO **FILE:** ZON00343

PC: K. Flick, Director, Community Infrastructure and Development
K. Austin, Manager, Legislative Services
C. Broderick, Manager, Current Planning **DATE:** May 14, 2021

FROM: R. Nuriel, Economic Development Planner

SUBJECT: **TIMELINE EXTENSION REQUEST FOR 9188 TRONSON ROAD REZONING AMENDMENT BYLAW #5802, 2020**

An application for a rezoning (ZON00343) is currently in progress for the subject property at 9188 Tronson Rd (Attachment 1).

At its Regular Meeting of April 27, 2020, Council passed the following resolution:

THAT Council support the application to rezone Lot A, Plan KAP54692, District Lot 297, ODYD (9188 Tronson Road) from C6: Village Commercial to R2: Large Lot Residential and R5: Four-plex Housing Residential in order to subdivide into two lots to develop residential housing, subject to the following:

- a) provision of road dedication and road construction from Tronson Road to the proposed future subdivision of Lot 2 to meet the minimum frontage as per Zoning Bylaw #5000 and Subdivision and Development Servicing Bylaw #3843, or access by easement on the existing road as accepted by the City;*
- b) provision of a no-build covenant on Title until such time that the road access is completed to the satisfaction of the City;*
- c) provision of an easement in favour of the strata development to protect their storm main through the northern part of the lot;*
- d) removal of the restrictive covenant KH8894 from Title which limits further subdivision (2.00) and swimming pool construction (3.00); and*
- e) registration of a restrictive covenant on Title to restrict swimming pool construction (KH8894, 3.00) and would limit the number of units on the proposed Lot 2 to six under the proposed R5: Four-plex Housing Residential;*

AND FURTHER, that prior to final adoption of the zoning amendment bylaw, the Subdivision Preliminary Layout Review (PLR) be ready for issuance.

At its Regular Meeting of June 8, 2020, Council gave Third Reading to Bylaw #5802, "9188 Tronson Road Rezoning Amendment Bylaw Number 5802, 2020" – a bylaw to rezone the subject property from from C6: Village Commercial to R2: Large Lot Residential and R5: Four-plex Housing Residential.



An extension to the processing timeline is requested for the subject rezoning bylaw. Administration is currently working with the applicant on finalizing the subdivision process.


RECOMMENDATION:

THAT pursuant to the "*Bylaws – Inactive Policy*" Council approves a one year extension to the processing period for "9188 Tronson Road Rezoning Amendment Bylaw Number 5802, 2020" to June 8, 2022.

Respectfully submitted,

May 18 2021 8:21 AM

X  



Roy Nuriel
Economic Development Planner

Attachment 1 – Property Location Map

G:\3000-3699 LAND ADMINISTRATION\3360 ZONING AND REZONING\20 APPLICATIONS\ZON00343\2
PROC\Rpt\210514_rn_memo_ZON00343_Extension_Consideration.docx



INTERNAL M E M O R A N D U M

TO: Will Pearce, CAO **FILE:** 1280-01

PC: Keri-Ann Austin, Corporate Officer **DATE:** May 18, 2021
Aaron Stuart, Manager, Financial Planning

FROM: Richard Strobel, Manager, Fleet Services

SUBJECT: ***FUNDING FOR REPLACEMENT OF CITY VEHICLE, UNIT #202 ICBC WRITE-OFF***

On May 3, 2021, City vehicle Unit # 202, a small service van operated by facilities staff, was parked on 31st Street adjacent to City hall when it was rear ended by another vehicle. Significant front and rear end damage were sustained resulting in ICBC writing this vehicle off as a total loss. The Vehicle and Equipment Reserve currently has \$33,457 allocated for the replacement of this vehicle that was scheduled for 2030.

Administration have negotiated a settlement with ICBC for the amount of \$19,661.46.

Administration has confirmed that a suitable used vehicle is not available. The current vehicle shortage has resulted in pre-owned vehicle prices nearing the price of similar brand-new units (when Government discounts are applied). A new model compact van could be purchased at a cost of \$40,000 funded from the ICBC cash settlement from unit #202 and the Vehicle and Equipment Reserve. All electric and hybrid options will be requested and evaluated during the procurement process.

RECOMMENDATION:

THAT Council receive the memorandum titled "Funding for Replacement of City Vehicle, Unit #202 ICBC Write-Off" dated May 18, 2021 respectfully submitted by the Manager, Fleet Services;

AND FURTHER, that Council direct Administration to proceed with the purchase of a new small utility van at a cost of \$40,000 to be funded by the ICBC settlement of \$19,661.46 from unit #202 with the remainder to be funded from Vehicle and Equipment Reserve.

May 18 2021 12:56 PM

X  

DocuSign

Richard Strobel, Manager, Fleet Services.



THE CORPORATION OF THE CITY OF VERNON

INTERNAL MEMORANDUM

TO: W. Pearce, Chief Administrative Officer **FILE:** 6135-01
PC: K. Flick, Director, Community Infrastructure and Development **DATE:** May 12, 2021
FROM: Laurie Cordell, Manager, Long Range Planning and Sustainability
SUBJECT: ADDITIONAL PICNIC TABLES DOWNTOWN – FUNDING REQUEST

Administration continues to explore opportunities to enhance outdoor opportunities for the community during COVID-19 restrictions and beyond. With indoor seating closed and health advice indicating it is safer to be outdoors when connecting with others, there has been a large number of people that are visiting and eating outdoors. Many are bringing their own chairs or sitting on the grass. This has the added benefit of activating many of the outdoor spaces downtown, including in particular, Cenotaph Park and Spirit Square.

Administration is recommending the permanent addition of picnic tables in downtown outdoor spaces. Exact placement would be determined if Council chooses to support this request, likely locations include Harmony (Apple) Park, Cenotaph and City Hall. Each picnic table would be close to \$6,500 installed (approximately \$3,500 for the table and \$3,000 for the concrete pad and installation), and Administration would contract out installation to reduce impact to staffing resources. This request is for five tables and a total of \$32,500. These funds would be sourced from the 2020 Unexpended Uncommitted funds which have a balance of approximately \$402,765.

RECOMMENDATION:

THAT Council directs Administration to place picnic tables downtown as described in the memorandum titled "Additional Picnic Tables Downtown –Funding Request" dated May 12, 2021, and respectfully submitted by the Manager, Long Range Planning and Sustainability;

AND FURTHER, that Council authorizes the expenditure of up to \$32,500 for the purchase and installation of the picnic tables, funded by the 2020 Unexpended Uncommitted Balance reserve.

Respectfully submitted:

May 18 2021 9:18 AM




Laurie Cordell
Manager, Long Range Planning and Sustainability

THE CORPORATION OF THE CITY OF VERNON

BYLAW NUMBER 5785

A bylaw to amend the City of Vernon
Zoning Bylaw Number 5000

WHEREAS the Council of The Corporation of the City of Vernon has determined to amend the City of Vernon Zoning Bylaw Number 5000;

AND WHEREAS all persons who might be affected by this amendment bylaw have, before the passage thereof, been afforded an opportunity to be heard on the matters herein before the said Council, in accordance with the provisions of Section 464 of the *Local Government Act*, and all amendments thereto;

NOW THEREFORE the Council of The Corporation of the City of Vernon, in open meeting assembled, enacts as follows:

1. This bylaw may be cited as the **"7497 and 7501 Brooks Lane Rezoning Amendment Bylaw Number 5785, 2019"**.
2. Pursuant to the Official Zoning Map, Schedule "A" attached to and forming part of Bylaw Number 5000, is hereby amended as follows:

That the following legally described lands be rezoned from **"R1: Estate Lot Residential"** to **"C10A: Tourist Commercial and Residential"** and **"P1: Parks and Open Space"**.

Legal Description:

**LOT 1, PLAN EPP31641, DL 5372, SEC 19, TWP 9, ODYD
(7501 Brooks Lane)
LOT 2, PLAN EPP31641, DL5373, SEC 19, TWP 9, ODYD
(7497 Brooks Lane)**

and by changing the Zoning Map accordingly, all in accordance with the bolded area as shown on Schedule "A" attached to and forming part of this bylaw.

BYLAW NUMBER 5785

3. Zoning Bylaw Number 5000 is hereby ratified and confirmed in every other respect.

READ A FIRST TIME this 16th day of September, 2019

READ A SECOND TIME this 16th day of September, 2019

PUBLIC HEARING held this 28th day of October, 2019

READ A THIRD TIME this 28th day of October, 2019

ADOPTED this day of , 2021.

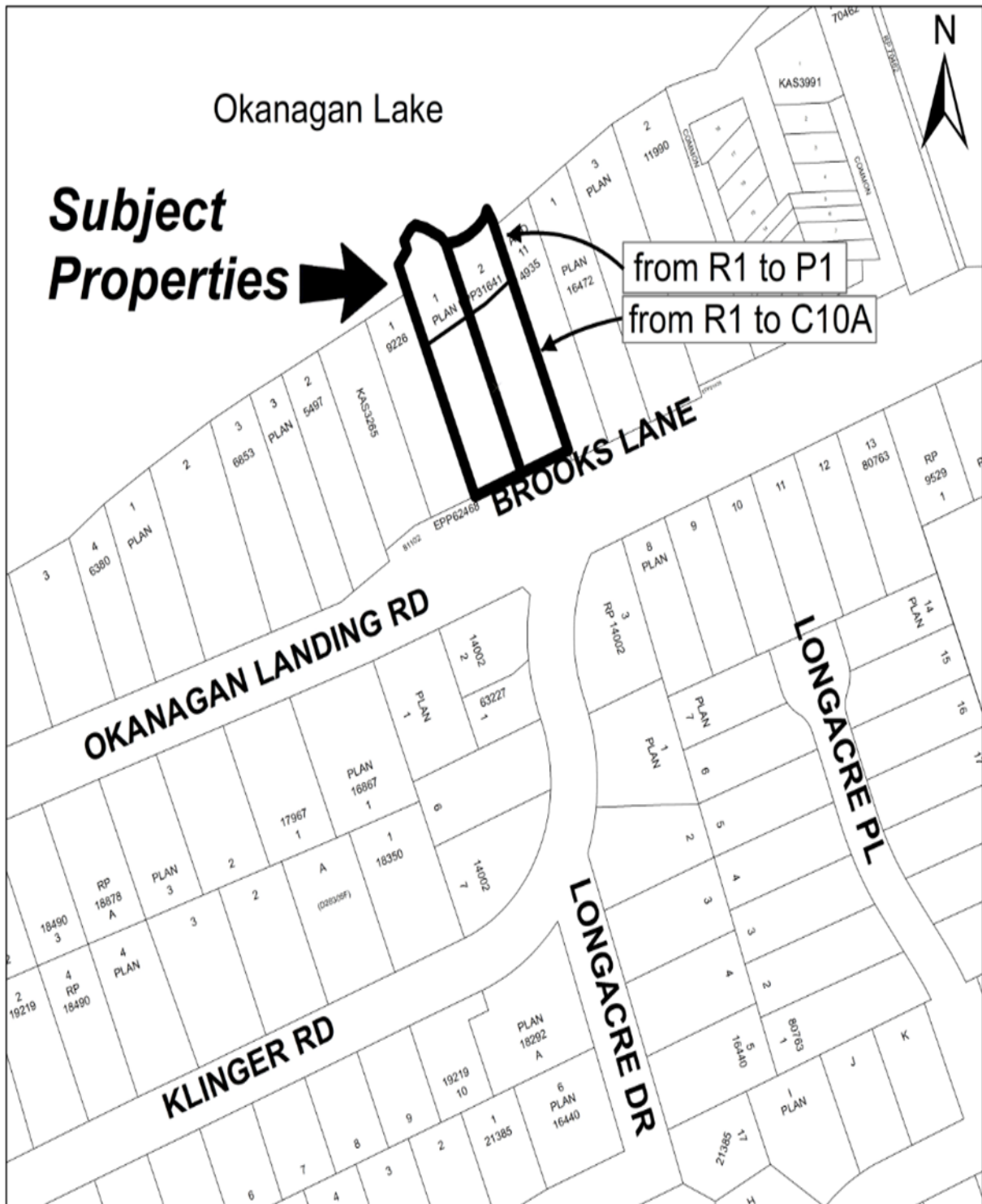
Mayor:

Corporate Officer:

SCHEDULE 'A'

Attached to and Forming Part of Bylaw 5785

"7497 and 7501 Brooks Lane Rezoning Amendment Bylaw Number 5785, 2019"





THE CORPORATION OF THE CITY OF VERNON

INTERNAL M E M O R A N D U M

TO: W. Pearce, CAO **FILE:** ZON00341

PC: K. Flick, Director, Community Infrastructure and Development
K. Austin, Manager, Legislative Services **DATE:** May 11, 2021

FROM: R. Nuriel, Economic Development Planner

SUBJECT: **7497 AND 7501 BROOKS LANE REZONING AMENDMENT BYLAW #5785, 2019**

At its Regular Meeting of September 28, 2020, Council passed the following resolution, and granted a one year extension for ZON00341:

THAT pursuant to the "Bylaws – Inactive Policy" Council approves a one year extension to the processing period for "7497 and 7501 Brooks Lane Rezoning Amendment Bylaw #5785, 2019" to October 28, 2021.

At its Regular Meeting of October 28, 2019, Council gave Third Reading to Bylaw #5785, "7497 and 7501 Brooks Lane Rezoning Amendment Bylaw #5785, 2019" – a bylaw to rezone the subject property from R1: Estate Lot Residential to C10A: Tourist Commercial and Residential and P1: Parks and Open Space.

At its Regular Meeting of September 16, 2019, Council passed the following resolution for ZON00341, and granted First and Second Readings:

THAT Council support the application to rezone the subject property located at 7497 and 7501 Brooks Lane from R1 (Estate Lot Residential) to C10A (Tourist Commercial and Residential) and P1 (Parks and Open Space) as outlined in the report titled "Rezoning Application for 7497 and 7501 Brooks Lane" dated September 4, 2019 by the Economic Development Planner, subject to the following conditions:

- a) Consolidation of Lot 1, Plan EPP31641, DL 5372, Sec 19, Twp 9, ODYD, and Lot 2, Plan EPP31641, DL 5373, Sec 19, Twp 9, ODYD into a single title;*
- b) Registration of a Restrictive Covenant to restrict the building height to a maximum of five storeys for residential construction with a one-storey parkade partially built below grade;*
- c) Registration of a 6.0 m statutory right of way on the consolidated lot, upland of the higher of either the 343 m high water level, or the high water mark as established by the Ecosystems Branch of the Ministry of Forests, Lands, Natural Resource Operations and Rural*

Development along the foreshore, in addition to a 2.0 m statutory right of way along the eastern boundary of Lot 1, DL 5373, to allow for public pedestrian access along the foreshore, and from the foreshore to Okanagan Landing Road; and

- d) *Removal of the existing garage/boathouse prior to construction of the 6.0 m statutory right of way on the consolidated lot if it conflicts with the location of the statutory right of way for pedestrian access along the foreshore;*

AND FURTHER, that prior to final adoption of the zoning amendment bylaw, the Development Permit be ready for issuance and that any required variance to Zoning Bylaw #5000, as amended, be evaluated by Council and approved if appropriate.

Prior to Rezoning Bylaw #5785 approval, the applicant was required to complete three conditions imposed by Council. The first condition (Condition "a") related to lot consolidation, the second condition (Condition "b") related to the building height Restrictive Covenant and the third condition (Condition "c") related to the statutory right of way for public pedestrian access. All were completed and registered on the property title on May 7, 2021 (Attachments 1-3).

The removal of the existing garage/boathouse from the registered 6.0m statutory right of way along the foreshore (Condition "d") will be completed in the future, prior to the construction of the pedestrian walkway for this section.



As requested by Council, the final Development Permit drawings are provided in Attachment 4 for information. Should Council adopt Rezoning Bylaw #5785, Administration would issue Development Permit DP000850.

RECOMMENDATION:

THAT Council consider adoption of "7497 and 7501 Brooks Lane Rezoning Amendment Bylaw #5785, 2019".

Respectfully submitted:

May 18 2021 11:36 AM

X  


Roy Nuriel
Economic Development Planner

ATTACHMENTS:

Attachment 1 – Lot Consolidation Plan

Attachment 2 – Restrictive Covenant for Building Height

Attachment 3 – Statutory Right of Way for Public Pedestrian Access

Attachment 4 – Development Permit Drawings

G:\3000-3699 LAND ADMINISTRATION\3360 ZONING AND REZONING\20 Applications\ZON00341\2
PROC\Rpt\210511_rn_memo_ZON341_4thRdg_Adoption.doc

APPLICATION TO DEPOSIT PLAN May-07-2021 09:54:40.001
 AT LAND TITLE OFFICE
 PROVINCE OF BRITISH COLUMBIA

CA8986180

PAGE 1 OF 5 PAGES

Your electronic signature is a representation that
 (a) you are a subscriber under section 168.6 of the *Land Title Act*, RSBC 1996 c.250, and that you are authorized to electronically sign this application by an e-filing direction made under section 168.22(2) of the act, and
 (b) if this application requires an execution copy, that you are a designate authorized to certify this application under section 168.4 of the *Land Title Act*, RSBC 1996, c.250, that you certify this application under section 168.42(4) of the act, and that an execution copy, or a true copy of that execution copy, is in your possession.

David Leslie
 Schaefer
 ANVEUS

Digitally signed by David
 Leslie Schaefer ANVEUS
 Date: 2021.05.07
 09:21:36 -07'00'

1. APPLICATION: (Name, address, phone number of applicant, applicant's solicitor or agent)

David L. Schaefer

2901 32 Street Unit 102

Telephone: 778-943-0922
 LTO Client Number: 872821822
 File Number: 0146-001

Vernon

BC V1T5M2

Document Fees: \$169.74

Deduct LTSA Fees? Yes ☒

2. PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND:
 [PID] [LEGAL DESCRIPTION]

SEE SCHEDULE

3. APPLICATION FOR DEPOSIT OF:

PLAN TYPE	PLAN NUMBER	CONTROL NUMBER	NUMBER OF NEW LOTS CREATED
Reference or Explanatory	EPP109192	161-404-1413	1

4. OWNER(S): (updated owner(s) name(s), occupation(s), postal address and postal code)

1125015 B.C. LTD

3904 31 STREET

VERNON

V1B5J6

BRITISH COLUMBIA
 CANADA

Incorporation No
 BC1125015

5. ADDITIONAL INFORMATION:

ADDITIONAL PARCEL IDENTIFICATION

2. PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND

[PID]	[LEGAL DESCRIPTION – must fit in a single text line]
029-189-918	LOT 1 DL 5372 SEC 19 TWN 9 ODYD EPP31641
029-189-926	LOT 2 DL 5372 SEC 19 TWN 9 ODYD EPP31641

SCHEDULE OF OWNERS AND WITNESSES

PAGE 3 OF 5 PAGES

PLAN NUMBER: EPP109192

CONTROL NUMBER: 161-404-1413

Witness to All Signatures

[signature]

David L. Schaefer
Barrister & Solicitor
2901 32 Street Unit 102
Vernon, BC V1T 5M2

1125015 B.C Ltd.

1125015 B.C. Ltd.
[fill in corporate registered owner]

BC1125015
[fill in Incorporation Number]

[signature] Authorized signatory

Daniel Currie
[fill in the name of signatory]

Witness to All Signatures

[signature]

Tian Shuo Liu Exp. June 30, 2022
A Commissioner for Taking Affidavits
For the Province of British Columbia
2515 - 1075 West Georgia Street
Vancouver BC V6E 3C9
Phone (604) 288-3653

(I/We, Martin Matusiak and Ben Dodman of Coast Capital Savings Federal Credit Union(formerly Coast Capital Savings Credit Union), the holders of the following registered charges, consent to the deposit of Plan EPP10192.

CA6180965
Coast Capital Savings Credit Union
Incorporation No. FI-146

Martin Matusiak
Senior Manager, Commercial Real Estate

Ben Dodman
Manager, Commercial Real Estate

SCHEDULE OF OWNERS AND WITNESSES

PAGE 4 OF 5 PAGES

PLAN NUMBER: EPP109192

CONTROL NUMBER: 161-404-1413

Witness to All Signatures

Witness to All Signatures

[signature]

Tian Shuo Liu Exp. June 30, 2022
A Commissioner for Taking Affidavits
For the Province of British Columbia
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Vancouver BC V6E 3C9
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CA6180965
Coast Capital Savings Credit Union
Incorporation No. FI-146

Martin Matusiak
Senior Manager, Commercial Real Estate

Ben Dodman
Manager, Commercial Real Estate

PLAN NUMBER: EPP109192

CONTROL NUMBER: 161-404-1413

Approval - Approving Officer, LTA s. 88

Plan EPP109192 is Approved under the Land Title Act on April 1, 2021.

[signature] Approving Officer

Craig Broderick
Approving Officer
City of Vernon

**SURVEY PLAN CERTIFICATION
PROVINCE OF BRITISH COLUMBIA**

PAGE 1 OF 2 PAGES

Your electronic signature is a representation that you are a British Columbia land surveyor and a subscriber under section 168.6 of the *Land Title Act*, RSBC 1996 c.250. By electronically signing this document, you are also electronically signing the attached plan under section 168.3 of the act.

**Jason Shortt
6K9SPJ**

Digitally signed by Jason Shortt
6K9SPJ
DN: c=CA, cn=Jason Shortt 6K9SPJ,
o=BC Land Surveyor, ou=Verify ID at
www.juricert.com/LKUP.cfm?
id=6K9SPJ
Date: 2021.02.22 16:50:13 -08'00'

1. BC LAND SURVEYOR: (Name, address, phone number)

**Jason Russell Shortt
2801 32nd Street**

Vernon

BC V1T 5L8

☐ Surveyor General Certification [For Surveyor General Use Only]

2. PLAN IDENTIFICATION:

Control Number: **161-404-1413**

Plan Number: **EPP109192**

This original plan number assignment was done under Commission #: **770**

3. CERTIFICATION:

☒ Form 9 ☐ Explanatory Plan ☐ Form 9A

I am a British Columbia land surveyor and certify that I was present at and personally superintended this survey and that the survey and plan are correct.

The field survey was completed on: **2021 February 16** (YYYY/Month/DD) The checklist was filed under ECR#: **247138**
The plan was completed and checked on: **2021 February 21** (YYYY/Month/DD)

☒ None ☐ Strata Form S

☒ None ☐ Strata Form U1 ☐ Strata Form U1/U2

Arterial Highway ☐

Remainder Parcel (Airspace) ☐

4. ALTERATION: ☐

REFERENCE PLAN OF CONSOLIDATION OF:

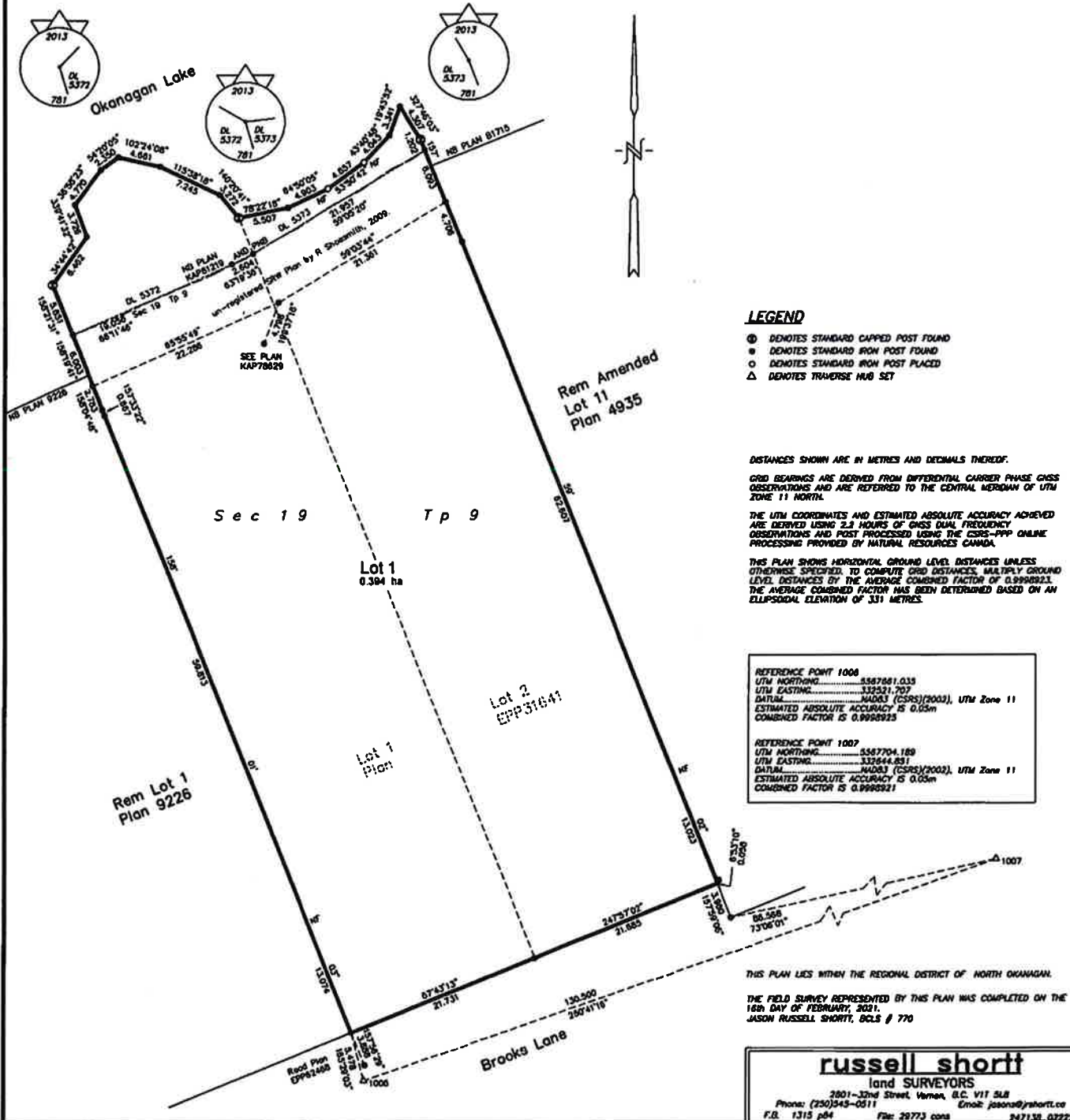
- 1) LOT 1, SEC 19, TP 9 AND DL 5372, ODYD, PLAN EPP31641
- 2) LOT 2, SEC 19, TP 9 AND DL 5373, ODYD, PLAN EPP31641.

PLAN EPP109192

Pursuant to Section 100(1)(b) of the Land Title Act

BCGS 82L.024
SCALE 1:300

All distances are horizontal ground level, in metres and decimals thereof
THE INTENDED PLOT SIZE OF THIS PLAN IS 432mm IN WIDTH BY 580mm IN HEIGHT (C size) WHEN PLOTTED AT A SCALE OF 1:300



LAND TITLE ACT
FORM C (Section 233) CHARGE
GENERAL INSTRUMENT - PART 1 Province of British Columbia

May-07-2021 13:12:20.004

CA8987934

1620413209 PAGE 1 OF 5 PAGES

Your electronic signature is a representation that you are a designate authorized to certify this document under section 168.4 of the *Land Title Act*, RSBC 1996 c.250, that you certify this document under section 168.41(4) of the act, and that an execution copy, or a true copy of that execution copy, is in your possession.

David Leslie
Schaefer
ANVEUS

Digitally signed by David
 Leslie Schaefer ANVEUS
 Date: 2021.05.07
 12:14:03 -07'00'

1. APPLICATION: (Name, address, phone number of applicant, applicant's solicitor or agent)

David L. Schaefer

Barrister & Solicitor

2901 32 Street Unit 102

Vernon

BC V1T 5M2

Telephone: 778-943-0922

LTO Client Number: 872821822

File Number: 0146-001

Document Fees: \$75.22

Deduct LTSA Fees? Yes ☒

2. PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND:

[PID] [LEGAL DESCRIPTION]

NO PID NMBR LOT 1 SECTION 19 TOWNSHIP 9 DISTRICT LOT 5372 AND DISTRICT LOT 5375 PLAN EPP109192

STC? YES

Related Plan Number: **EPP31641**

3. NATURE OF INTEREST

CHARGE NO.

ADDITIONAL INFORMATION

SEE SCHEDULE

4. TERMS: Part 2 of this instrument consists of (select one only)

(a) ☐ Filed Standard Charge Terms D.F. No.(b) ☒ Express Charge Terms Annexed as Part 2

A selection of (a) includes any additional or modified terms referred to in Item 7 or in a schedule annexed to this instrument.

5. TRANSFEROR(S):

1125015 B.C. LTD., INC. NO. BC125015

6. TRANSFEREE(S): (including postal address(es) and postal code(s))

THE CORPORATION OF THE CITY OF, VERNON

3400 - 30 STREET

VERNON

BRITISH COLUMBIA

V1T 5E6

CANADA

7. ADDITIONAL OR MODIFIED TERMS:

N/A

8. EXECUTION(S): This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

Officer Signature(s)

DAVID L. SCHAEFER

Barrister & Solicitor

#102, 2901 - 32 Street

Vernon, BC

V1T 5M2

Execution Date		
Y	M	D
21	03	06

Transferor(s) Signature(s)

1125015 B.C. Ltd.

by its authorized signatory:

Daniel Roderick Currie

OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

**LAND TITLE ACT
FORM D**

EXECUTIONS CONTINUED

PAGE 2 of 5 PAGES

Officer Signature(s)

Execution Date

Transferor / Borrower / Party Signature(s)

Janice Nicol

Commissioner for Taking Affidavits in British Columbia

The City of Vernon

3400 30th Street Tel:(250)545-1361

Vernon BC V1T 5E6

Y	M	D
21	03	30

THE CORPORATION OF THE CITY
OF VERNON, by its authorized
signatory(ies):

Keri Ann Austin, Corporate Officer

Craig Broderick Approving Officer City
of Vernon, File No. Zon341

Daniel Cockburn

Commissioner for Taking Affidavits in British Columbia

Exp May 31, 2021

#2515 - 1075 West Georgia St.

Vancouver, B.C. V6E 3C9

Phone:(604)-288-3656

21	04	07
----	----	----

COAST CAPITAL SAVINGS FEDERAL
CREDIT UNION, (formerly Coast
Capital Savings Credit Union) by its
authorized signatory(ies)

Martin Matusiak, Senior Manager
Commercial Real Estate

Ben Dodman, Manager
Commercial Real Estate

OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

LAND TITLE ACT
FORM E

SCHEDULE

NATURE OF INTEREST	CHARGE NO.	ADDITIONAL INFORMATION
Covenant		

NATURE OF INTEREST	CHARGE NO.	ADDITIONAL INFORMATION

NATURE OF INTEREST	CHARGE NO.	ADDITIONAL INFORMATION

NATURE OF INTEREST	CHARGE NO.	ADDITIONAL INFORMATION

NATURE OF INTEREST	CHARGE NO.	ADDITIONAL INFORMATION

NATURE OF INTEREST	CHARGE NO.	ADDITIONAL INFORMATION

TERMS OF INSTRUMENT - PART 2

This Covenant granted the ____ day of March 2021

BETWEEN:

1125015 B.C. LTD., INC. NO. BC1125015
2901 32 Street Unit 102
Vernon, BC V1T 5M2

(herein called the "Covenantor")

AND:

THE CORPORATION OF THE CITY OF VERNON, a
Municipal Corporation, having its offices at 3400 – 30th
Street, Vernon, British Columbia, V1T 5E6

(herein called the "City")

WHEREAS the Covenantor is the owner in fee-simple of those certain parcels or tracts of land and premises, situate, lying and being in the City of Vernon, Province of British Columbia, and more particularly known and described as follows:

PID:

Lot 1, Section 19, Township 9, ODYD, Plan EPP109192

(herein called the "Lands");

AND WHEREAS Section 219 of the Land Title Act R.S.B.C. 1996, c. 250 provides that the Covenantor may grant a covenant to the City of a negative or positive nature respecting the use of the Lands;

NOW THEREFORE in consideration of the promises contained herein and the sum of Ten Dollars (\$10.00), now paid by the City to the Covenantor, the receipt and sufficiency whereof is hereby acknowledged, the Covenantor covenants and agrees as FOLLOWS:

- 1) The Covenantor covenants and agrees with the City that, without the prior written consent of the City, no building or structure, or any part thereof, shall be constructed, maintained, reconstructed, extended or located on the lands unless it shall be limited to a maximum of five stories for residential construction with a one-story parkade partially built below grade.**
- 2) This Covenant is granted voluntarily by the Covenantor to the City pursuant to Section 219 of the Land Title Act of the Province of British Columbia and shall run with the Lands.**

3) The Covenantor hereby releases, indemnifies and saves the City, its elected officials, officers, employees and agents harmless from and against any and all actions, causes of action, losses, damages, costs, claims, debts and demands whatsoever by any person, arising out of or in any way due to the granting or existence or enforcement of this Covenant.

4) Nothing in this Covenant affects the City's rights and powers in the exercise of its statutory functions under its statutes, bylaws, resolutions, orders and regulations, all of which may be fully exercised in relation to the Lands as if this Covenant had not been granted.

5) The Covenantor shall, forthwith after execution hereof by it, do or cause to be done all acts or things reasonably necessary to give proper effect to the intentions of this Covenant and to ensure that this Covenant may be registered against the title to the Lands in the Land Title Office.

6) Notwithstanding anything contained herein, neither the Covenantor nor any future owner of the Lands shall be liable under any of the covenants or agreements contained herein where such liability arises by reason of an act or omission occurring after the Covenantor or such future owner ceases to have any further interest in the Lands.

7) The Covenantor reserves the right to grant and register over the Lands including the Covenant Area, easements, other statutory rights-of-way granted pursuant to Section 218 of the Land Title Act and covenants granted pursuant to Section 219 of the Land Title Act. PROVIDED THAT such easements, statutory right of way or covenants are not detrimental to the City's Covenant herein.

8) Whenever the singular or masculine is used herein, the same shall be construed as meaning the plural, feminine or body corporate or politic where the context or the parties so require; this Covenant runs with the Lands; every reference to each party hereto shall be deemed to include the officers, employees, elected officials, agents, servants, successors and assigns of that party; this Covenant and each and every provision hereof shall enure to the benefit of and be binding upon the parties hereto and their respective successors and assigns, as the case may be, NOTWITHSTANDING any rule of law or equity to the contrary; and if any section, subsection, clause or phrase of this Covenant is for any reason held to be invalid by the decision of a Court of competent jurisdiction the invalid portion shall be severed and the decision that it is invalid shall not affect the validity of the remainder.

IN WITNESS WHEREOF the parties hereby acknowledge that this Agreement has been duly executed and delivered by executing the Forms C and D attached hereto.

CONSENT & PRIORITY

COAST CAPITAL SAVINGS CREDIT UNION, hereby consents to the within Covenant and grants priority over its Mortgage registered under number CA6180965 and its Assignment of Rents registered under number CA6180966

LAND TITLE ACT
FORM C (Section 233) CHARGE
GENERAL INSTRUMENT - PART 1 Province of British Columbia

May-07-2021 13:12:20.003

CA8987933

PAGE 1 OF 11 PAGES

Your electronic signature is a representation that you are a designate authorized to certify this document under section 168.4 of the *Land Title Act*, RSBC 1996 c.250, that you certify this document under section 168.41(4) of the act, and that an execution copy, or a true copy of that execution copy, is in your possession.

David Leslie
 Schaefer
 ANVEUS

Digitally signed by David
 Leslie Schaefer ANVEUS
 Date: 2021.05.07
 13:01:54 -07'00'

1. APPLICATION: (Name, address, phone number of applicant, applicant's solicitor or agent)

David L. Schaefer

Barrister & Solicitor

2901 32 Street Unit 102

Vernon

BC V1T 5M2

Telephone: 778-943-0922

LTO Client Number: 872821822

File Number: 0146-001

Document Fees: \$75.22

Deduct LTSA Fees? Yes ☒

2. PARCEL IDENTIFIER AND LEGAL DESCRIPTION OF LAND:
 [PID] [LEGAL DESCRIPTION]

NO PID NMBR LOT 1 SECTION 19 TOWNSHIP 9 DISTRICT LOT 5372 AND DISTRICT LOT 5375 PLAN EPP109192

STC? YES

Related Plan Number: **EPP31641**

3. NATURE OF INTEREST CHARGE NO. ADDITIONAL INFORMATION
SEE SCHEDULE

4. TERMS: Part 2 of this instrument consists of (select one only)

(a) ☐ Filed Standard Charge Terms D.F. No.(b) ☒ Express Charge Terms Annexed as Part 2

A selection of (a) includes any additional or modified terms referred to in Item 7 or in a schedule annexed to this instrument.

5. TRANSFEROR(S):

1125015 B.C. LTD., INC. NO. BC125015

6. TRANSFEREE(S): (including postal address(es) and postal code(s))

THE CORPORATION OF THE CITY OF, VERNON

3400 - 30 STREET

VERNON

BRITISH COLUMBIA

V1T 5E6

CANADA

7. ADDITIONAL OR MODIFIED TERMS:
 N/A

8. EXECUTION(S): This instrument creates, assigns, modifies, enlarges, discharges or governs the priority of the interest(s) described in Item 3 and the Transferor(s) and every other signatory agree to be bound by this instrument, and acknowledge(s) receipt of a true copy of the filed standard charge terms, if any.

Officer Signature(s)

DAVID L. SCHAEFER

Barrister & Solicitor

#102, 2901 - 32 Street

Vernon, BC

V1T 5M2

Execution Date		
Y	M	D
21	03	06

Transferor(s) Signature(s)

1125015 B.C. Ltd.

by its authorized signatory:

Daniel Roderick Currie

OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

**LAND TITLE ACT
FORM D**

EXECUTIONS CONTINUED

PAGE 2 of 11 PAGES

Officer Signature(s)

Execution Date

Transferor / Borrower / Party Signature(s)

Janice Nicol

Commissioner for Taking Affidavits in British Columbia

The City of Vernon
3400 30th Street Tel:(250)545-1361
Vernon BC V1T 5E6

Y	M	D
21	03	30

THE CORPORATION OF THE CITY
OF VERNON, by its authorized
signatory(ies):

Keri Ann Austin, Corporate Officer

Craig Broderick Approving Officer City
of Vernon, File No. Zon341

Daniel Cockburn

Commissioner for Taking Affidavits in British Columbia

Exp May 31, 2021
#2515 - 1075 West Georgia St.
Vancouver, B.C. V6E 3C9
Phone:(604)-288-3656

21	04	07
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COAST CAPITAL SAVINGS FEDERAL
CREDIT UNION, (formerly Coast
Capital Savings Credit Union) by its
authorized signatory(ies)

Martin Matusiak, Senior Manager
Commercial Real Estate

Ben Dodman, Manager
Commercial Real Estate

OFFICER CERTIFICATION:

Your signature constitutes a representation that you are a solicitor, notary public or other person authorized by the *Evidence Act*, R.S.B.C. 1996, c.124, to take affidavits for use in British Columbia and certifies the matters set out in Part 5 of the *Land Title Act* as they pertain to the execution of this instrument.

LAND TITLE ACT
FORM E

SCHEDULE

NATURE OF INTEREST	CHARGE NO.	ADDITIONAL INFORMATION
Statutory Right of Way		over part shown in Bold on Plan EPP109193

NATURE OF INTEREST	CHARGE NO.	ADDITIONAL INFORMATION
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NATURE OF INTEREST	CHARGE NO.	ADDITIONAL INFORMATION
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NATURE OF INTEREST	CHARGE NO.	ADDITIONAL INFORMATION
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NATURE OF INTEREST	CHARGE NO.	ADDITIONAL INFORMATION
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NATURE OF INTEREST	CHARGE NO.	ADDITIONAL INFORMATION
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TERMS OF INSTRUMENT - PART 2

STATUTORY RIGHT-OF-WAY (PUBLIC WALKWAY)

THIS INDENTURE dated for reference the ____ day of March, 2021

BETWEEN:

1125015 B.C. LTD., INC.NO. BC1125015
2901 32 Street Unit 102
Vernon, BC V1T 5M2

(hereinafter called the "Grantor")

OF THE FIRST PART

AND;

THE CORPORATION OF THE CITY OF VERNON, a
Municipal Corporation having its offices at 3400 – 30th Street
Vernon, British Columbia, V1T 5E6

(hereinafter called the "Grantee")

OF THE SECOND PART

A. WHEREAS the Grantor is the registered owner of, or is entitled to become the registered owner of, an estate in fee simple of ALL AND SINGULAR those certain parcels or tracts of land and premises situate, lying and being in the City of Vernon, in the Province of British Columbia, and being more particularly known and described as:

PID: 029-189-918

Lot 1 and Section 19 District Lot 5372 and District Lot 5373 Township 9 Osoyoos Division Yale District Plan EPP109192

(hereinafter called the "Lands");

B. AND WHEREAS the Grantor has agreed to grant the Grantee a statutory right of way over a part of the Lands pursuant to Section 218 of the Land Title Act, R.S.B.C. 1996, Chapter 250 and amendments thereto;

C. AND WHEREAS it is necessary for the operation and maintenance of the Grantee's undertaking, hereinafter described, to install and maintain a public lakeshore trail or walkway and associated works and amenities (hereinafter called the "Walkway");

D. The Grantor has agreed to permit the construction by the Grantee of the Walkway on a portion of the Lands of the Grantor and to grant for that purpose the right- of-way hereinafter described;

NOW THEREFORE THIS INDENTURE WITNESSETH that in consideration of the sum of Ten (\$10.00) Dollars of lawful money of Canada, now paid by the Grantee to the Grantor (the receipt and sufficiency of which is hereby acknowledged by the Grantor), and in consideration of the covenants and conditions hereinafter contained to be observed and performed by the Grantee and for other valuable consideration:

1.00 THE GRANTOR DOTH HEREBY:

1.01 Grant, convey, confirm and transfer, in perpetuity, unto the Grantee the full, free and uninterrupted right, licence, liberty, privilege, permission and right-of-way to lay down, install, construct, entrench, operate, maintain, inspect, alter, remove, replace, cleanse and otherwise establish the Walkway upon, over and across those parts of the Lands of the Grantor as shown outlined in black on the Reference Plan of a Statutory Right of Way Plan prepared from a survey conducted by Jason Shortt, BCLS and certified correct on the 22nd day of February, 2021 (the "Right-of-Way Area"), a reduced copy of which is attached hereto as Schedule "A";

1.02 Grant, convey, confirm and transfer in perpetuity unto the Grantee for itself and members of the public authorized by the Grantee from time to time, to enter onto and use the Right-of-Way Area as a walkway from time to time and at all times in accordance with such rules of usage as may be established by the Grantee or the Greater Vernon Parks, Recreation & Culture Division of the North Okanagan Regional District from time to time but subject always to the restrictions of usage contained in Section 3.09 hereof and as may be otherwise contained herein.

1.03 Covenant and agree to and with the Grantee that for the purposes aforesaid and upon, over and across the Right-of-Way Area the Grantee, subject as in this Agreement provided for, shall for itself and its servants, agents, workmen, contractors and all other licensees of the Grantee, together with equipment and materials, be entitled at all times to enter, use, pass and repass, labour, construct, erect, install, dig, carry away soil or other surface or subsurface materials, clear of all trees, growth or obstructions now or hereafter in existence, as may be necessary, useful or convenient in connection with the operations of the Grantee in relation to the Walkway;

2.00 THE GRANTOR HEREBY COVENANTS TO AND AGREES WITH THE GRANTEE, as follows:

2.01 That the Grantor will not, nor permit any other person to, erect, place, install or maintain any building, structure, mobile home, concrete or asphalt driveway or patio, pipe, wire or other conduit on, over or under any portion of the Right-of-Way Area so that it in any way interferes with or damages or prevents access to, or is likely to cause harm to the Walkway authorized hereby to be installed in or upon the Right-of-Way Area. Provided, however, that the Grantor (for itself and for the owners of lots created by one or more subdivisions or development of the Lands of the Grantor from time to time), its agents, contractors, licensees, servants, workmen, subcontractors, officials, invitees, permittees and all other persons acting for and on behalf of the Grantor shall be entitled to: (i) cross over and under the Right-of-Way Area and to lay down, install, construct, entrench, operate, maintain, inspect, alter, remove, replace, cleanse and otherwise establish the Grantor's own private walkway (as long as such private walkway does not impede the future design, construction and use of the Walkway in order for the Grantor, its agents, contractors, licensees, servants, workmen, subcontractors, officials, invitees, permittees and all other persons acting for and on behalf of the Grantor to install, construct, entrench, operate, maintain, inspect, alter, remove, replace, access, cleanse and otherwise establish the Grantor's wharf and dock works; and (ii) fence the perimeter of the Right-of-Way Area and, in particular, the common boundary between the Right-of-Way Area and the adjacent lands owned by any third parties provided that the Grantor installs unlocked gates in such fence at each point where the Walkway system developed and maintained by the Grantee or any third party on the adjacent lands intersects with the Right-of-Way Area. Save as aforesaid, the Grantor, for itself and for the owners of lots created by one or more subdivisions of the Lands of the Grantor from time to time, reserves the right to use the Right-of-Way Area and the Walkway in common with the Grantee and members of the public permitted to use the Right-of-Way Area and the Walkway by the Grantee from time to time and to use the Right-of-Way Area for such other purposes as the Grantor sees fit. Provided, however, that temporary disturbance of the Right-of-Way Area and the Walkway and temporary interruption of or interference with the use of the Right-of-Way Area and the Walkway for the purposes set for in Article 1.00 hereof: (i) for the purpose of constructing, laying own and installing utility and communications systems of every kind and description, together with all ancillary appliances and equipment under the Right-of-Way Area as the Grantor may require or may deem expedient and altering, enlarging, extending, removing, repairing, renewing, maintaining, inspecting and replacing the same as may be deemed necessary or expedient; and (ii) for the purpose of building, constructing, erecting, removing or enlarging any building, erection, structure or other improvement now or hereafter placed in, upon, over or under the Lands of the Grantor other than the Right-of-Way Area as the Grantor may require or may deem expedient, and extending, repairing, renewing, cleansing, inspecting and replacing the same as may be deemed necessary or expedient; and (iii) for the purpose of constructing, maintaining, repairing, renewing or enlarging such landscaped areas and facilities in, upon, over or through the Right-of-Way Area as the Grantor may require, by or on behalf of the Grantor shall not be considered a contravention by the Grantor of its covenants and obligations under this Paragraph 2.01;

2.02 That the Grantor will not do, nor knowingly permit to be done, any act or thing which will interfere with or injure the said Walkway and, in particular, will not carry out any blasting on or adjacent to the Right-of-Way Area without the consent in writing of the Grantee, provided that such consent shall not be unreasonably withheld;

2.03 Except as expressly provided for in this Agreement, that the Grantor will not substantially diminish the soil cover over the Walkway installed in the Right-of-Way Area and, in particular, without in any way limiting the generality of the foregoing, will not construct open drains or ditches along or across any Walkway constructed in the Right-of-Way Area;

2.04 That the Grantor will from time to time and at all times upon every reasonable request, and at the cost of the Grantee do and execute or cause to be made, done or executed all such further and other lawful acts, deeds, things, devices, conveyances and assurances in law whatsoever for the better assuring unto the Grantee of the rights hereby granted.

3.00 THE GRANTEE HEREBY COVENANTS TO AND AGREES WITH THE GRANTOR, as follows:

3.01 That the Grantee will not bury any debris or rubbish of any kind in excavations or backfill and will remove shoring and likely temporary structures as backfilling proceeds;

3.02 That the Grantee will thoroughly clean all lands to which it has had access hereunder of all rubbish and construction debris created or placed thereon by the Grantee and will leave such lands in a neat and clean condition;

3.03 That the Grantee will, as soon as weather and soil conditions permit, and so often as it may exercise its right of entry hereunder to the Lands of the Grantor, replace the surface soil as nearly as may be reasonably possible to the same condition as it was prior to such entry, in order to restore the natural drainage of the Lands of the Grantor;

3.04 That the Grantee will, as far as reasonably possible, carry out all work in a proper and workmanlike manner so as to do as little injury to the Lands of the Grantor as possible;

3.05 That the Grantee will make good at its own expense all damage or disturbance which may be caused to the surface soil of the Lands of the Grantor outside the Right-of-Way Area in the exercise of its rights hereunder;

3.06 That the Grantee will, as far as reasonably possible, restore any fences, permitted works of the Grantor, lawns, flower beds, trees or other surface growth at its cost as nearly as may be reasonably possible to the same condition as they were in prior to any entry by the Grantee upon the Lands of the Grantor outside of the Right-of-Way Area;

3.07 That the Grantee shall indemnify and save harmless the Grantor from any loss, costs, claims or demands and all expenses incident thereto arising as a result of:

(a) personal injury, death or damage (including property damage) suffered or incurred by any person in the course of that person's usage of the Right-of-Way Area;

(b) any breach, violation or non-performance by the Grantee of any covenant, condition or agreement on that part of the Grantee to be observed or performed in this Agreement unless caused by the negligence of the Grantor; and

(c) personal injury, death or damage (including property damage) suffered or incurred by any person as a result of the laying down, installing, constructing, entrenching, operating,

maintaining, inspecting, altering, removing, replacing, burying, cleansing and otherwise establishing the Walkway from time to time upon and over the Right-of-Way Area by the Grantee or its servants, agents or workmen; and the amount of all such claims, losses, damages, costs and liabilities shall be paid by the Grantee to the Grantor at the time the Grantor is legally obligated to pay monies to a person suffering losses contemplated by this Paragraph or upon the Grantor providing proof of loss suffered by it, as the case may be;

3.08 That there shall be no above ground wires or poles, except for signage purposes, situate on the Right-of-Way Area;

3.09 That the Grantee will upon construction of the Walkway and except with respect to the maintenance, repair and replacement of the same from time to time, shall restrict usage of the Right-of-Way Area for recreational walkway purposes. Without limiting the generality of the foregoing, no motorized bicycles or vehicles, skateboards or horses shall be permitted within the Right-of-Way Area. Nothing herein contained, however, shall prevent the use of wheelchairs or other means of transport for use by physically or mentally handicapped persons within the Right-of-Way Area;

3.10 To prevent the growth of weeds and to keep and maintain the Right-of-Way Area in a clean and tidy condition consistent with the natural terrain of the Lands of the Grantor prior to the construction of the Walkway subject only to any disruption of the Right-of-Way Area caused by the Grantor from time to time;

3.11 To at all times maintain the Right-of-Way Area and the Walkway in a manner such that they do not detract from the aesthetic appeal of the Lands of the Grantor generally;

3.12 That the Grantee is aware of the Grantor's residential development on the Lands of the Grantor and, as a result, the Grantee will use reasonable efforts to ensure that the Grantor's residential development on the Lands of the Grantor shall not in any manner be endangered, impeded or interfered with and that the residential development shall not in any manner be damaged by the Grantee's reasonable use of the Right-of-Way Area or by any operations or activities carried on by the Grantee pursuant to the rights and privileges granted hereunder;

3.13 Not to commit or suffer any willful or voluntary waste, spoil or destruction on the Right-of-Way Area or adjoining Lands of the Grantor or do or suffer to be done thereon anything that may interfere with the Grantor's use and enjoyment of the Lands of the Grantor or that maybe or become a nuisance or annoyance to the owners or occupiers of adjoining land;

3.14 To take all reasonable steps necessary to ensure that any persons using the Walkway remain on the Walkway and not enter any other portion of the Lands of the Grantor;

3.15 To effect and keep in force during the continuance of this Agreement, insurance protecting the Grantor and the Grantee (without any rights of cross claim or subrogation against the Grantor) against claims for personal injury, death, property damage or third party or public liability claims arising from any accident or occurrence on or about the Right-of-Way Area to an amount not less than \$5,000,000 provided that the Grantor may, in its sole discretion, waive the requirements of this Paragraph on the delivery to the Grantor of evidence that the Grantee is self insured;

3.16 To pay all premiums and monies necessary to maintain all policies of insurance required to be maintained by the Grantee as the same become due;

3.17 To deliver to the Grantor from time to time, upon demand, certificates of insurance certifying that the Grantee has the above specified insurance;

3.18 To pay all accounts and expenses as they become due for labour performed on, or materials supplied to, the Right-of-Way Area in connection with the Grantee's obligations under this Agreement;

3.19 To promptly, at its own expense, discharge from the Lands of the Grantor any claims of lien or other charge or encumbrance not authorized by the Grantor which arise directly or indirectly from any activity, request, direction or with the privity or consent or for the direct benefit of the Grantee, its servants or agents;

3.20 To permit the Grantor, its servants, agents and authorized representatives at all times to enter on and inspect the Right-of-Way Area;

3.21 Not to cut, destroy or remove timber or trees from the Right-of-Way Area unless deemed a hazard to the public; and

3.22 Not to erect, place, or maintain any signs of any nature whatsoever on the Right-of-Way Area without the prior written consent of the Grantor unless temporary signage is required for public safety.

4.00 THE PARTIES HERETO EACH HEREBY COVENANT TO AND AGREE WITH THE OTHER, as follows:

4.01 The Grantor reserves the right to grant and register over the Lands of the Grantor including the Right-of-Way Area, easements, other statutory rights-of-way granted pursuant to Section 218 of the Land Title Act and covenants granted pursuant to Section 219 of the Land Title Act. PROVIDED THAT such easements, statutory right of way or covenants are not detrimental to the Grantee's and the public's proper use and enjoyment of the Right-of-Way Area, will not in any way interfere with or damage or prevent access, or cause harm, to the Walkway and will not impose any cost upon the Grantee, all as may be determined by the Grantee, in its absolute discretion. The Grantor agrees to consult with the Grantee prior to any proposed grant of easement, statutory right of way or covenant in order to ensure that the use and enjoyment of the Grantee and the public in the Right-of-Way Area will not be unduly disrupted by such grant.

4.02 Notwithstanding any rule of law or equity to the contrary, the materials for the Walkway brought on to, set, constructed, laid, erected in, upon or under the Right-of-Way Area by the Grantee shall at all times remain the property of the Grantee, notwithstanding that the same may be annexed or affixed to the freehold and shall at any time and from time to time be removable in whole or in part by the Grantee.

4.03 In the event that the Grantee abandons the Walkway or any other part thereof the Grantee may, if it so elects, leave the whole or any part thereof in place.

4.04 That no part of the title in fee simple to the soil shall pass to or be vested in the Grantee under or by virtue of these presents and the Grantor may fully use and enjoy all of the Lands of the Grantor subject only to the rights and restrictions herein contained.

4.05 That the covenants herein contained shall be covenants running with the Lands of the Grantor and that none of the covenants herein contained shall be personal or binding upon the parties hereto, save and except during the Grantor's seisin or ownership of any interest in the Lands of the Grantor, and with respect only to that portion of the Lands of the Grantor of which the Grantor shall be seized or in which they shall have an interest, but that the Lands of the Grantor, nevertheless, be and remain at all times charged therewith.

4.06 If at the date hereof the Grantor is not the sole registered owner of the Lands of the Grantor, this Agreement shall nevertheless bind the Grantor to the full extent of their interest therein, and if they shall acquire a greater or the entire interest in fee simple this Agreement shall likewise extend to such after-acquired interests.

4.07 Where the expression "Grantor" includes more than one person, all covenants herein on the part of the Grantor shall be construed as being several as well as joint.

4.08 This Agreement shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, administrators, executors, successors and assigns, as the case may be; and wherever the singular or masculine is used, it shall be construed as if the plural or feminine or neuter, as the case may be, had been used where the parties or the context hereto so requires and the rest of the sentence shall be construed as if the grammatical and terminological changes thereby rendered necessary had been made.

4.09 No remedy conferred under or reserved to the Grantor is exclusive of any other remedy herein or provided by law, but such remedy shall be cumulative and shall be in addition to any other remedy herein or hereafter existing at law, in equity or by statute.

4.10 No term, condition, covenant or other provision herein shall be considered to have been waived by the Grantor unless such waiver is expressed in writing by the Grantor. Any such waiver of any term, condition, covenant or other provision herein shall not be construed as or constitute a waiver of any further or other breach of the same or any other term, condition, covenant or other provision and the consent or approval of the Grantor to any act by the Grantee requiring the consent or approval of the Grantor shall not be considered to waive or render unnecessary such consents or approvals to any subsequent similar act by the Grantee.

5.00 PRIORITY AND CONSENT AGREEMENT

5.01 COAST CAPITAL SAVINGS CREDIT UNION, hereby consents to the within Statutory Right of Way and grants priority over its Mortgage registered under number CA6180965 and its Assignment of Rents registered under number CA6180966.

**REFERENCE PLAN OF STATUTORY
RIGHT-OF-WAY OVER PART OF LOT 1,
SEC 19, TP 9, DL 5372 AND DL 5373,
ODYD, PLAN EPP109192.**

Pursuant to Section 113 of the Land Title Act

BCGS 82L.024

SCALE 1: 300



All distances are horizontal ground level, in metres and decimals thereof

THE INTENDED PLOT SIZE OF THIS PLAN IS 432mm IN WIDTH by 560mm IN HEIGHT (C size) WHEN PLOTTED AT A SCALE OF 1:300

PLAN EPP109193

LEGEND

- DENOTES STANDARD IRON POST FOUND
- DENOTES STANDARD IRON POST PLACED
- △ DENOTES TRAVERSE HUB SET

DISTANCES SHOWN ARE IN METRES AND DECIMALS THEREOF.

GRID BEARINGS ARE DERIVED FROM DIFFERENTIAL CARRIER PHASE GNSS OBSERVATIONS AND ARE REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 11 NORTH

THE UTM COORDINATES AND ESTIMATED ABSOLUTE ACCURACY ACHIEVED ARE DERIVED USING 2.2 HOURS OF GNSS DUAL FREQUENCY OBSERVATIONS AND POST PROCESSED USING THE CSRS-PPP ONLINE PROCESSING PROVIDED BY NATURAL RESOURCES CANADA.

THIS PLAN SHOWS HORIZONTAL GROUND LEVEL DISTANCES UNLESS OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY GROUND LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF 0.99998923. THE AVERAGE COMBINED FACTOR HAS BEEN DETERMINED BASED ON AN ELLIPSOIDAL ELEVATION OF 331 METRES.

REFERENCE POINT 1006	
UTM NORTHING	5587661.035
UTM EASTING	332531.707
DATUM	NAD83 (CSRS/2002), UTM Zone 11
ESTIMATED ABSOLUTE ACCURACY	IS 0.05m
COMBINED FACTOR	IS 0.99998923
REFERENCE POINT 1007	
UTM NORTHING	5587704.189
UTM EASTING	332644.851
DATUM	NAD83 (CSRS/2002), UTM Zone 11
ESTIMATED ABSOLUTE ACCURACY	IS 0.05m
COMBINED FACTOR	IS 0.99998921

BOOK OF REFERENCE

DESC.	AREA
Area A	261.4 sq.m.
Area B	160.4 sq.m.
TOTAL AREA REQ'D	421.8 sq.m.

THIS PLAN LIES WITHIN THE REGIONAL DISTRICT OF NORTH OKANAGAN.

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED ON THE 18th DAY OF FEBRUARY, 2021.
JASON RUSSELL SHORTT, BCLS # 770

russell shortt

land SURVEYORS

2801-32nd Street, Vernon, B.C. V1T 5L8
Phone: (250) 543-0311 Email: jason@rshortt.co
F.B. 1315 p04 File: 20773 are 247139_032221

7497 & 7501 BROOKS LANE, VERNON, BC



SCHEDULE CHANGES		
41.0	PROJECT INFORMATION	2020-2-01
41.0	SITE PLAN	2020-2-01
41.1	FLOOR PLANS	2020-2-01
41.2	FLOOR PLANS	2020-2-01
41.3	FLOOR PLANS	2020-2-01
42.1	ELEVATIONS	2020-2-01
42.1	BUILDING SECTIONS	2020-2-01
42.1	PERSPETIVES	2020-2-01

Attachment 4

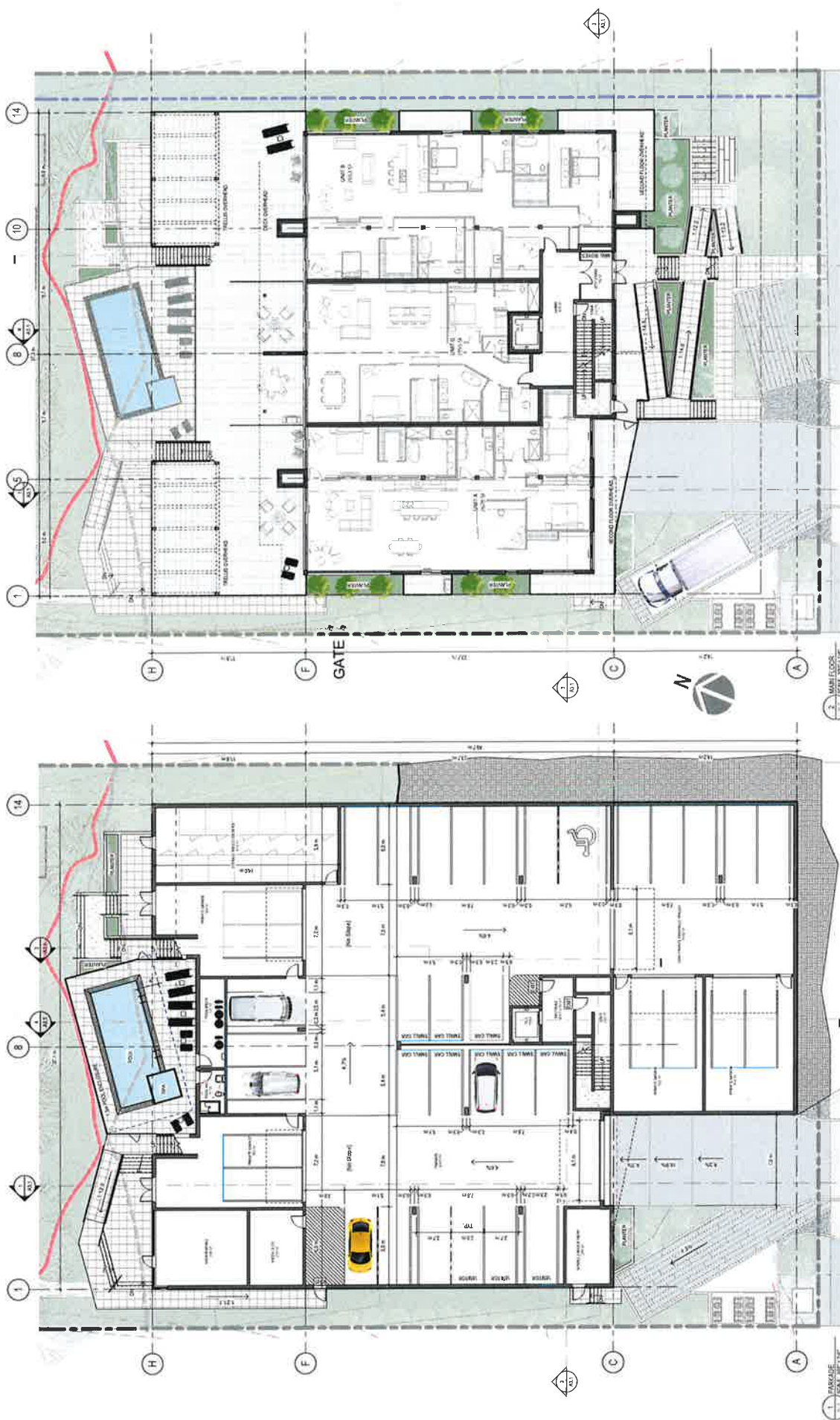
PROJECT INFORMATION

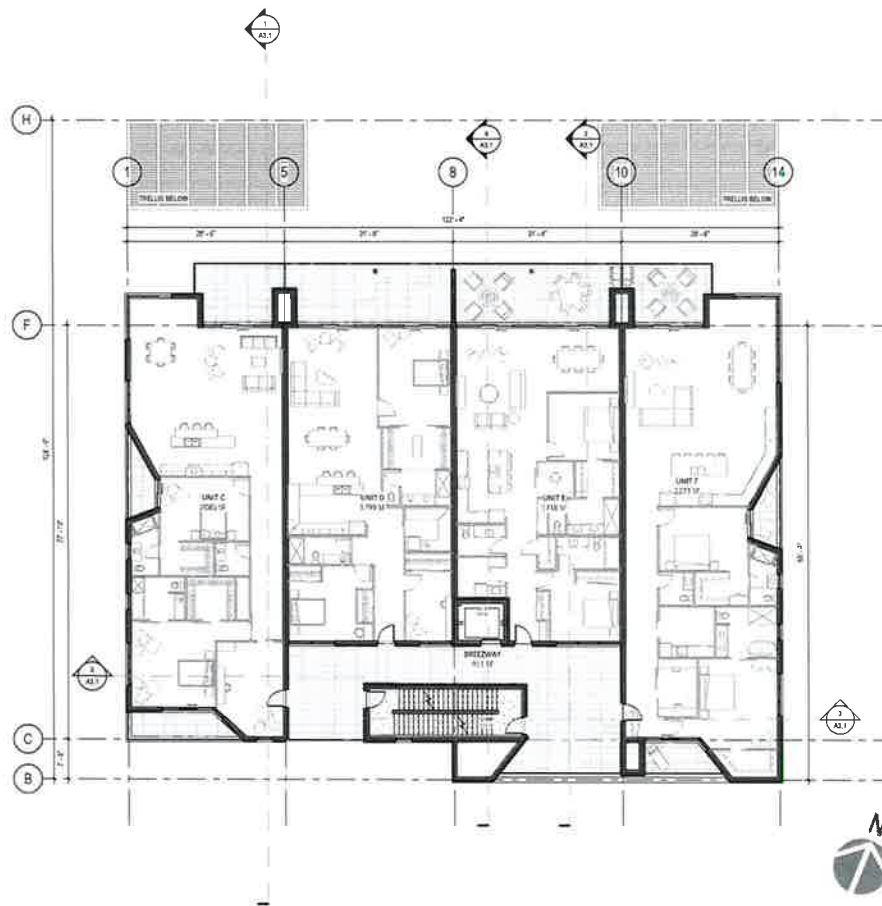
BROOKS LANDING
7497 & 7501 BROOKS LANE, VERNON, BC

DRAWING. A0.0

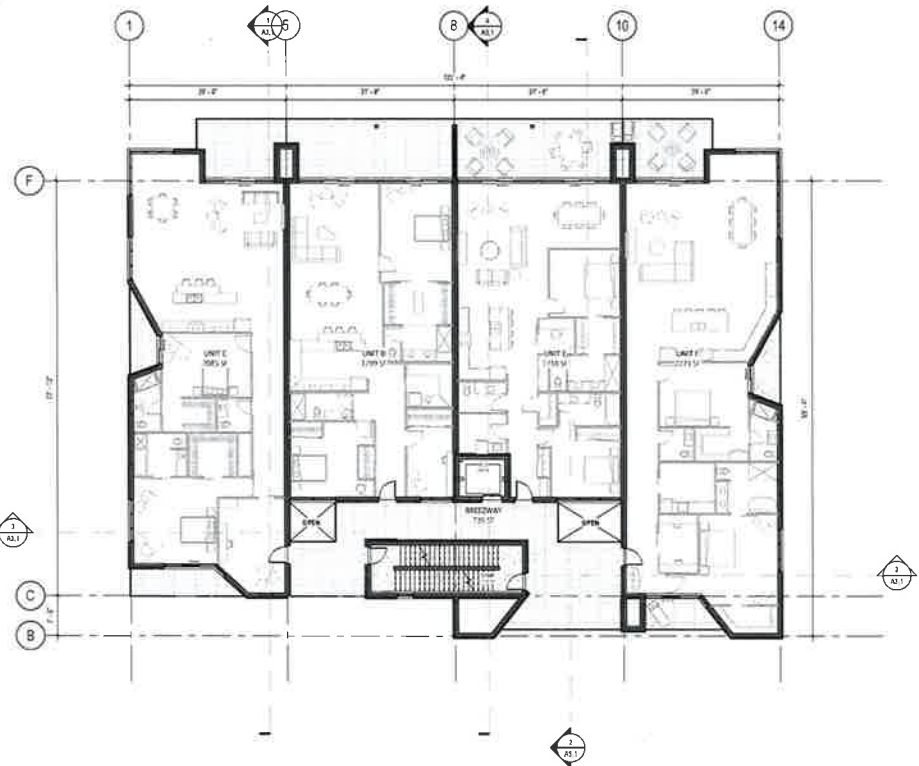
PROJECT: 17154
SCALE: 1" = 400'-0"

APPROVED DP SET FOR AHJ RECORDS 2020-12-01





1 SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"



2 THIRD & FOURTH FLOOR PLANS
SCALE: 3/32" = 1'-0"

MQN
ARCHITECTS

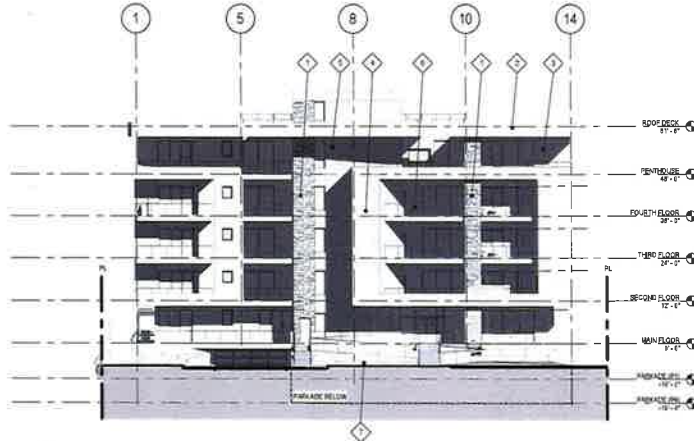
FLOOR PLANS

BROOKS LANDING
7497 & 7501 BROOKS LANE, VERNON, BC

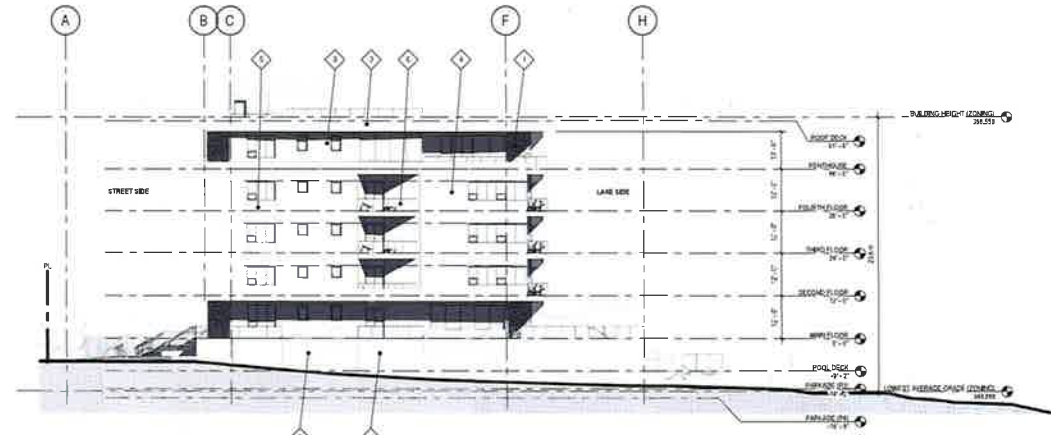
DRAWING A1.2

APPROVED DP SET FOR AHJ RECORDS 2020-12-01

PROJECT: 17154
SCALE: 3/32" = 1'-0"



1 SOUTH STREET ELEVATION
SCALE 1/8" = 1'-0"

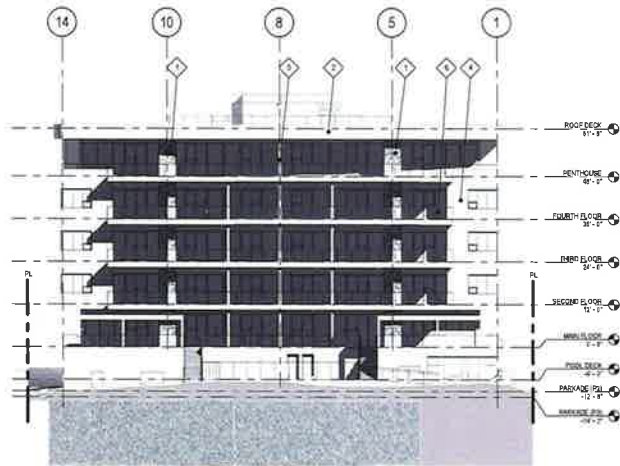


2 EAST ELEVATION
SCALE 1/8" = 1'-0"

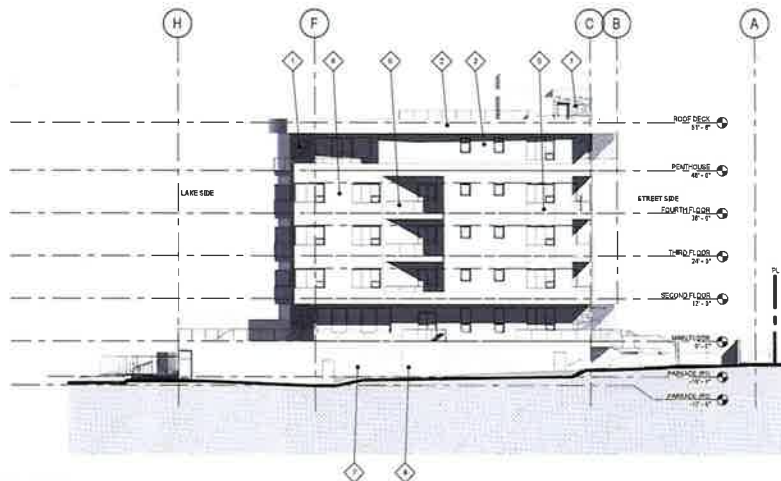
EXTERIOR MATERIAL PALLET



REFER TO ALL Y MEMPHIS DRAWINGS FOR COLOURED ELEVATIONS



3 NORTH LAKE ELEVATION
SCALE 1/8" = 1'-0"



4 WEST ELEVATION
SCALE 1/8" = 1'-0"

MQN
ARCHITECTS

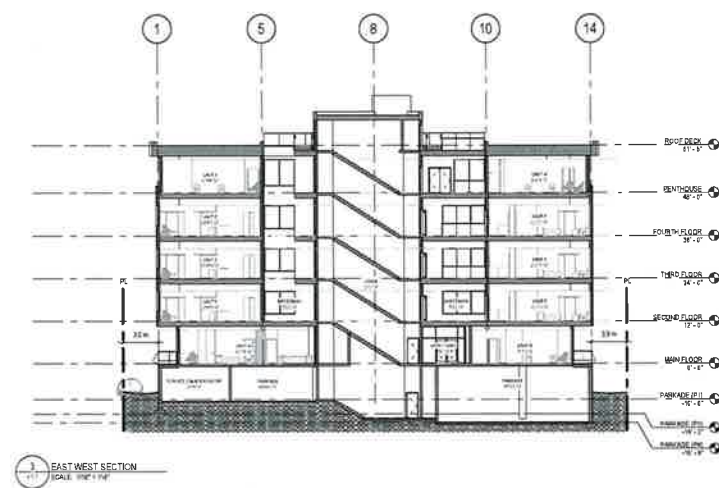
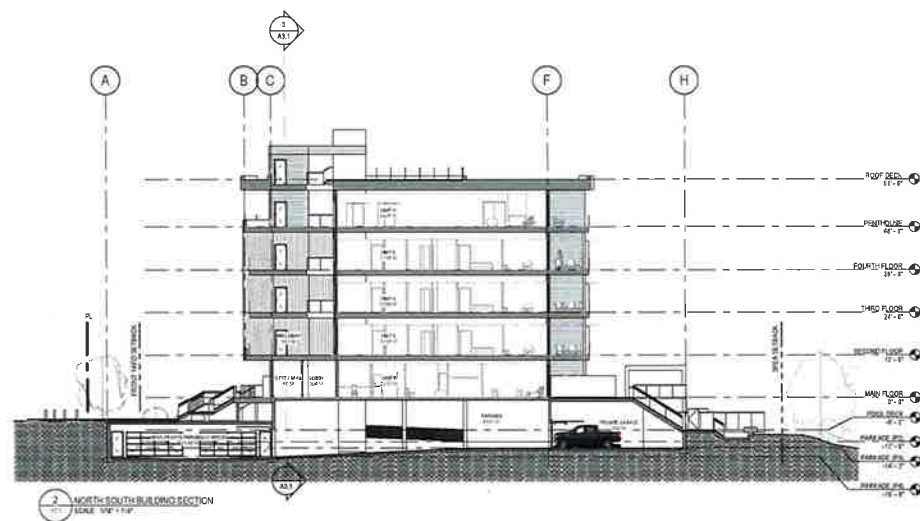
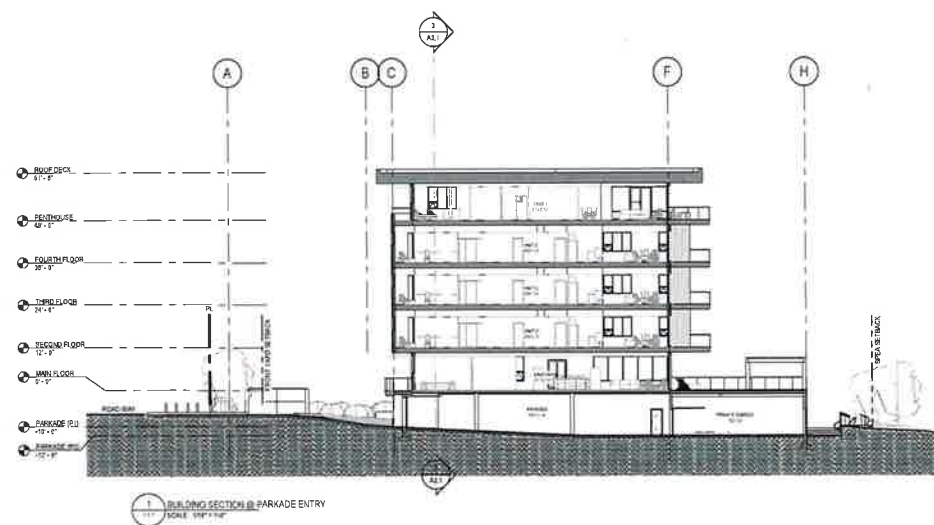
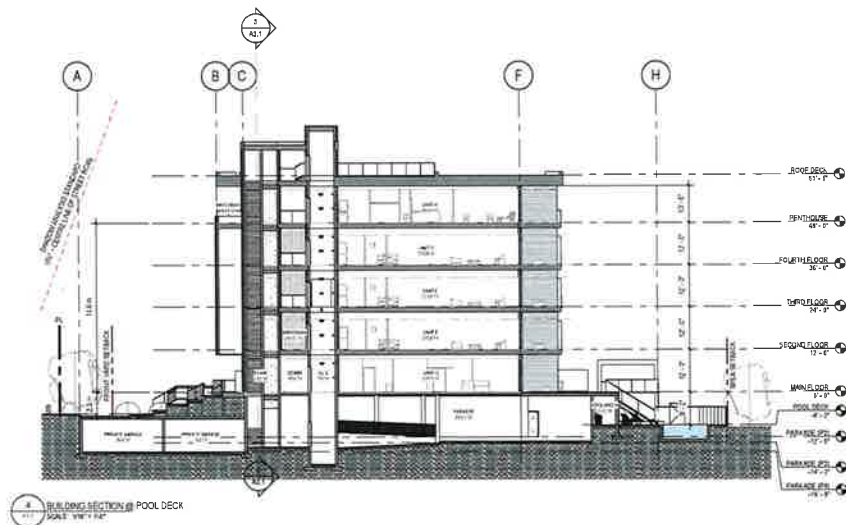
ELEVATIONS

BROOKS LANDING
7497 & 7501 BROOKS LANE, VERNON, BC

DRAWING: A2.1

APPROVED DP SET FOR AHJ RECORDS 2020-12-01

PROJECT SCALE: 17154
As indicated





1 SOUTH EAST PERSPECTIVE (STREET SIDE)
SCALE: NTS

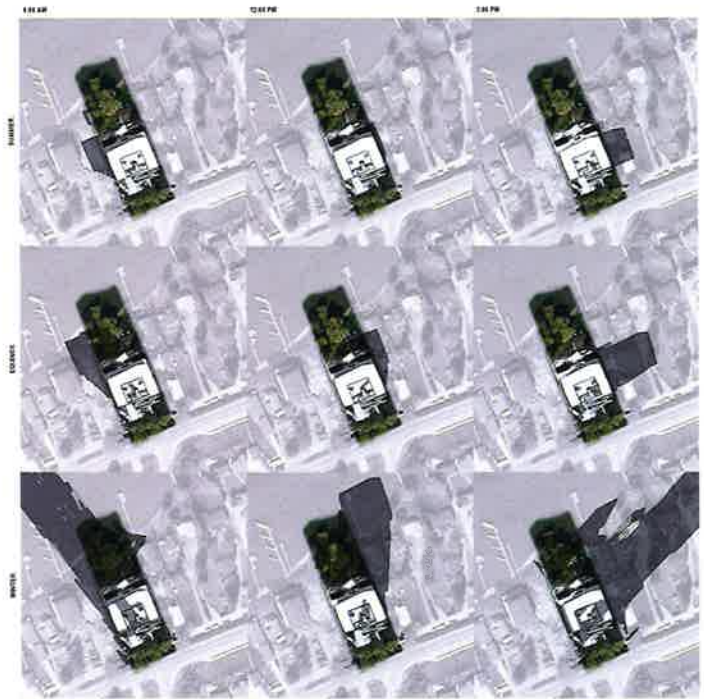


3 NORTH WEST PERSPECTIVE (LAKE SIDE)
SCALE: NTS



2 SOUTH WEST PERSPECTIVE
SCALE: NTS

- SIMULATED STONE VENEER
- STUCCO - COLOUR 1 (OFF WHITE)
- STUCCO - COLOUR 2 (DARK)
- FINE CEMENT RENDER (SILVER BROWN)
- COLORED GLAZING
- SIMULATED WOOD SIDING
- TRELLIS
- LANDSCAPE PLANTER
- CONCRETE (TEXTURE VERTICAL BOARDFORM)
- CONCRETE (TEXTURE SMOOTH)



4 SHADOW STUDY
SCALE: NTS

MQN
ARCHITECTS

PERSPECTIVES

BROOKS LANDING
7497 & 7501 BROOKS LANE, VERNON, BC

DRAWING **A9.1**

APPROVED DP SET FOR AHJ RECORDS 2020-12-01
PROJECT SCALE: 17154 NTS



DRAWING NOTES

TURFGRASS SOO:

The contractor shall supply and place turfgrass sod to those areas shown on the drawing. Turfgrass sod product and method of installation shall conform to B.C. Landscape Standard latest Edition.

GROUND COVER ROCK:

The contractor shall supply and place groundcover rock to those areas shown on the drawings. Product shall be 25mm diameter to a depth of 150mm.

All ground cover rock areas come with HUS Ground Cover woven fabric beneath them.

OGGROW MULCH:

The contractor shall supply and place OgoGrow mulch to those areas shown on the drawing to a depth of 75mm.

No weed barrier fabric beneath OgoGrow mulch.

GRANULAR PATHWAY:

The contractor shall supply and place granular pathways to those areas shown on the drawing.

Granular pathways come with HUS Ground Cover woven weed barrier fabric beneath them.

GROWING MEDIUM:

All planting medium shall be new or amended topsoil capable of promoting healthy plant growth for those plants specified on the plant list.

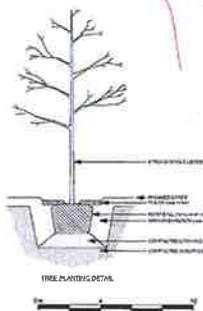
LANDSCAPE EDGING:

The contractor shall supply and place HUS 15cm Flat Strip plastic landscape edging to separate ground cover rock and granular pathway.

IRRIGATION: The contractor shall supply and place irrigation system. All work and products shall meet or exceed the Irrigation Association of B.C. standards and specifications.

All trees, shrub beds and groundcover areas are to be irrigated with an automatically timed drip irrigation system.

All sodded areas are to be irrigated with an automatically timed spray irrigation system.



PLANT LIST	COMMON NAME	BOTANICAL NAME	SIZE	SPACE
A	Autumn Blaze Maple	Acer freemanii 'Jeffersred'	50m CAL.	
B	Royal Prince Oak	Quercus prinus 'Long'	50m CAL.	
C	Chisholm Norway Spruce	Picea abies 'Chisholm'	2.5m Ht.	
D	Spotted Wine Weigela	Weigela florida 'Thyracarpus'	#02 CONT.	1.2m
E	Minuet Lilac	Syringa microphylla 'Minuet'	#02 CONT.	1.5m
F	Dwarf Winged Burning Bush	Eurosmia alata 'Compass'	#02 CONT.	1.5m
G	Rosey Glass Barkberry	Berberis thunbergii 'Vasey Glow'	#02 CONT.	1.0m
H	Dwarf Mugo Pine	Pinus mugo 'Humel'	#02 CONT.	1.2m
I	Midnight English Lavender	Lawsonia alba 'Midnight'	#01 CONT.	0.6m
J	Santa de Oro Daylily	Helianthus scaberrimus 'Santa de Oro'	#01 CONT.	0.5m
K	Black-eyed Susan Rusticella	Rudbeckia hirta 'Goldsturm'	#01 CONT.	0.6m
L	May Night Salvia	Salvia nemorosa 'May Night'	#01 CONT.	0.6m
M	Karl Foerster Reed Grass	Calamagrostis acutirostris 'Karl Foerster'	#01 CONT.	0.7m
N	Hawaii Fountain Grass	Peristachia alopecuroides 'Hawaii'	#01 CONT.	0.6m
O	Eljah Blue Fescue	Festuca glauca 'Eljah Blue'	#01 CONT.	0.3m
P	Trembling Aspen	Populus tremuloides	#05 CONT.	
Q	Toba Hawthorn	Crataegus a. monticola 'Toba'	#05 CONT.	
R	Interior Douglas Fir	Pseudotsuga menziesii	#02 CONT.	
S	Waterloo Mockorange	Philadelphus lewisii 'Waterloo'	#02 CONT.	1.5m
T	Oregon Grape Holly	Maronia korymbosa	#02 CONT.	1.2m
U	Rail Oler Dogwood	Cornus alba 'Dogwood'	#02 CONT.	2.0m
V	Woods Rose	Rosa woodii	#02 CONT.	1.2m



SWAN LAKE NURSERYLAND

7920 HIGHLAND RD.
VERNON, BC
V1B 3W6

TEL (250) 542 7614
FAX (250) 542 7822
admin@myswanlake.com

SITE NORTH



GENERAL NOTES:

Client and user of all plant materials and landscape plans are advised that the plant materials and landscape plans are provided as a guide only. The contractor is responsible for the final selection and installation of the plant materials and landscape plans. The contractor is also responsible for the final selection and installation of the landscape materials and landscape plans. The contractor is also responsible for the final selection and installation of the landscape materials and landscape plans.

DATE: ISSUED FOR:

11 SEPT 2020 Client File No.

DATE: REVISION:

PROJECT TITLE:

BROOKS LANDING
7487 & 7561 BROOKS LANE
VERNON, BC

SHEET TITLE:

LANDSCAPE PLAN

CONTRACTOR'S RESPONSIBILITY: The contractor is responsible for the final selection and installation of the plant materials and landscape plans. The contractor is also responsible for the final selection and installation of the landscape materials and landscape plans. The contractor is also responsible for the final selection and installation of the landscape materials and landscape plans.

Job No.:

11 SEPTEMBER 2020

Scale:

1:100

Drawn:

DR

Checked:

DR

SHEET NUMBER:

L1.0

THE CORPORATION OF THE CITY OF VERNON

BYLAW NUMBER 5861

A bylaw to amend Fees and Charges
Bylaw 3909

WHEREAS the Council of the City of Vernon has determined to amend the “City of Vernon Fees and Charges Bylaw Number 3909, 1993” to amend fees and charges for Residential Garbage Collection.

NOW THEREFORE the Council of the Corporation of the City of Vernon, in open meeting assembled, enacts as follows:

1. This bylaw may be cited as “**Fees and Charges (Residential Garbage Collection) Amendment Bylaw Number 5861, 2021**”.
2. That Schedule “A” – Fee Schedule of Fees and Charges Bylaw Number 3909, 1993 be amended as follows;
 - a. **AMEND** Section 15. – REFUSE COLLECTION AND RECYCLING, as shown in **Red** on attached **Schedule ‘1’**;
3. If any section, subsection, paragraph, clause or phrase, of this Bylaw is for any reason held to be invalid by the decision of a court of competent jurisdiction, such decision does not affect the validity of the remaining portions of this bylaw.
4. This bylaw shall **come into effect as of September 1, 2021**.
5. The Fees and Charges Bylaw Number 3909 is hereby ratified and confirmed in every other respect.

PAGE 2

BYLAW NUMBER 5861

READ A FIRST TIME this day of , 2021.

READ A SECOND TIME this day of , 2021.

READ A THIRD TIME this day of , 2021.

ADOPTED this day of , 2021.

Mayor

Corporate Officer

SCHEDULE '1'
Attached to and forming Part of Bylaw #5861
“Fees and Charges (Residential Garbage Collection) Amendment Bylaw Number
5861, 2021”

15. REFUSE COLLECTION AND RECYCLING	FEES (Quarterly) As At September 1, 2021
Residential Garbage Collection	\$36.88 \$42.00
Residential Garbage Collection - Extended Service	\$42.84 \$47.95
Residential Garbage Collection - Tags for Additional Bags	\$1.50 per tag
Commercial and Industrial Blue Bag (excluding Blue Jay, Predator Ridge, Foothills, Turtle Mountain and Okanagan Landing past the Yacht Club)	\$41.56
Commercial Garbage Collection (one pick-up per week)	\$112.31
Commercial Garbage (each additional pick-up)	\$248.79
Commercial Garbage (excess volume)	\$51.23
Yard Recycling	\$4.30

Rationale:

City council members in British Columbia are elected under the *Community Charter* to act to represent the citizens of that city. City council is given the authority under the *Community Charter* the “to determine the public interest of their communities, within a legislative framework that supports balance and certainty in relation to the differing interests of their communities,” (Chapt 26, Part 1, Section 2, Subsection 2, Item b). This is made explicit in the Charter: “[The] governing body of a municipality is its council,” (Chapt 26, Part 2, Section 6, Subsection 2) for the purpose of “fostering the economic, social and environmental well-being of its community (Chapt 26, Part 2, Section 7, Item d). The Charter further urges “municipalities and the Provincial government” [to] “acknowledge and respect the jurisdiction of each” and “foster cooperative approaches to matters of mutual interest” (Chapt 26, Part 1, Section 2, Subsection 2, Item a). Land use planning matters fall under the traditional powers of municipalities. BC Housing has no formal or informal policy of meaningful consultation with municipal councils on matters of shelter placement or locations.

City Councils in BC are elected under the *Municipal Act* and *Community Charter* to administer cities, towns, and regions to represent “balance and certainty in relation to differing interests” of the community. The *Community Charter* explicitly recognizes the pluralist society we live in, wherein various social interests co-exist, and in some cases collide. It further recognizes and establishes the mechanism of municipal governance to balance as fairly as possible those interests. Within this framework, it is inevitable that municipalities will occasionally have to decide between competing interests from time to time. The use of paramountcy by the provincial government to override the best efforts of an elected municipal council in support of one competing interest over another – especially when the council has made a unanimous motion - flies in the face of the spirit and intent of both the Charter and the Act. If municipalities are going to govern effectively, they must retain the jurisdictional ability to do so.

Rationale:

Firearms legislation has always been a matter of exclusive federal jurisdiction;

Legal, licensed firearms owners residing in Vernon have already been thoroughly and continuously vetted through CPIC (Canadian Police Information Centre), RCMP, Canadian Firearms Program and are governed by related firearms laws and regulations;

Illegal owners of illicit firearms (criminals) are unaffected by the federal Government's proposed municipal handgun ban;

Giving municipalities the authority to ban fails to target the overwhelming source of crime guns or address smuggling;

A municipal ban would create a patchwork of bylaws in neighbouring jurisdictions that would be impossible to enforce and waste already limited resources.

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THE CORPORATION OF THE CITY OF VERNON

MINUTES OF THE FINANCE COMMITTEE HELD THURSDAY, NOVEMBER 19, 2020

PRESENT: VOTING
Councillor Gares, Chair
Councillor Mund
Mayor Cumming

STAFF: Debra Law, Director, Financial Services
Terry Martens, Manager, Financial Operations
Natasha Kositsin, Secretary 1, Corporate Services

ORDER

The meeting was called to order at 1:32 p.m.

ADOPTION OF AGENDA

Moved by Mayor Cumming, seconded by Councillor Mund;

THAT the agenda for the Wednesday, November 19, 2020 meeting of the Finance Committee be amended to add:

Under Item 3 (a) – Review of section 4 of the Council Discretionary Grant Policy that was amended on June 8, 2020

AND FURTHER, that the agenda be adopted as amended.

CARRIED.

ADOPTION OF MINUTES

Moved by Councillor Mund, seconded by Mayor Cumming;

THAT the minutes of the Finance Committee meeting held August 31, 2020 be adopted.

CARRIED.

NEW BUSINESS

**REVIEW OF
AMENDED COUNCIL
DISCRETIONARY
GRANT**

Director, Financial Services reviewed the amended Council Discretionary Policy to reflect the addition of section 4.0 Recipient Reporting:

4.0 Recipient Reporting

4.1 The Finance Committee will correspond with organizations that have received a discretionary grant within twelve months of receipt to ensure that the awarded grant funds will be spent.

4.2 Organizations that have received a discretionary grant must submit a report to the City within two years of receipt disclosing details on how the grant funds were spent. If none of the grant was spent, the grant must be returned to the City within two years of receipt.

4.3 If the above requirement is not followed by an organization receiving a discretionary grant, subsequent applications from that organization will not be approved.

The requirement of the new reporting will be included in the award letters beginning with the November 2020 grants.

**COUNCIL
DISCRETIONARY
GRANT
APPLICATIONS –
NOVEMBER 2 INTAKE**

The Manager, Financial Operations stated that there was \$34,000 in funds to disburse on Discretionary Grants due to a \$10,000 return from a grant that was approved in April to Sovereign Lake Nordic Centre for an event that was cancelled due to the COVID-19 pandemic.

**ALLAN BROOKS
NATURE CENTRE**

Moved by Mayor Cumming, seconded by Councillor Mund:

THAT the Finance Committee recommends that Council deny a Council Discretionary Grant to Allan Brooks Nature Centre in the amount of \$ 25,000 as the City has limited funds for disbursement.

CARRIED.

**ARCHWAY SOCIETY
FOR DOMESTIC
PEACE**

Moved by Councillor Mund, seconded by Mayor Cumming:

THAT the Finance Committee recommends that Council deny a Council Discretionary Grant to Archway Society for Domestic Peace in the amount of \$3,000 as an application has already been submitted in 2020.

CARRIED.

**CANADIAN MENTAL
HEALTH
ASSOCIATION**

Moved by Mayor Cumming, seconded by Councillor Mund:

THAT the Finance Committee recommends that Council deny a Council Discretionary Grant to Canadian Mental Health Association in the amount of \$10,000 as the City has limited funds for disbursement.

CARRIED.

**COMMUNITY
RECREATION
INITIATIVE SOCIETY
(CRIS)**

Moved by Councillor Mund, seconded by Mayor Cumming:

THAT the Finance Committee recommends that Council deny a Council Discretionary Grant to Community Recreation Initiative Society in the amount of \$5,000 as an application has already been submitted in 2020.

CARRIED.

**INTERNATIONAL
TREE PROJECT**

Moved by Mayor Cumming, seconded by Councillor Mund:

THAT the Finance Committee recommends that Council deny a Council Discretionary Grant to International Tree Project in the amount of \$23,337 as the City has limited funds for disbursement.

CARRIED.

**LITERACY SOCIETY
OF THE NORTH
OKANAGAN**

Moved by Councillor Mund, seconded by Mayor Cumming:

THAT the Finance Committee recommends that Council approve, on a one time basis, a Council Discretionary Grant to Literacy Society of the North Okanagan in the amount of \$3,000 to assist in a new youth tutoring service.

CARRIED.

**NORTH OKANAGAN
THERAPEUTIC
RIDING ASSOCIATION**

Moved by Mayor Cumming, seconded by Councillor Mund:

THAT the Finance Committee recommends that Council approve, on a one time basis, a Council Discretionary Grant to North Okanagan Therapeutic Riding Association in the amount of \$5,000 for ongoing programs.

CARRIED.

**OKANAGAN SCREEN
ARTS SOCIETY**

Moved by Councillor Mund, seconded by Mayor Cumming:

THAT the Finance Committee recommends that Council approve, on a one time basis, a Council Discretionary Grant to Okanagan Screen Arts Society in the amount of \$16,900 to assist in operational costs to the Vernon Towne Theatre.

CARRIED.

**SCHUBERT CENTRE
SOCIETY**

Moved by Mayor Cumming, seconded by Councillor Mund:

THAT the Finance Committee recommends that Council deny a Council Discretionary Grant to Schubert Centre Society in the amount of \$10,000 as an application has already been submitted in 2020.

CARRIED.

**VERNON COMMUNITY
RADIO SOCIETY**

Moved by Councillor Mund, seconded by Mayor Cumming:

THAT the Finance Committee recommends that Council approve, on a one time basis, a Council Discretionary Grant to Vernon Community Radio Society in the amount of \$2,500 to assist in operational costs.

CARRIED.

**VERNON
MONTESSORI
SOCIETY**

Moved by Councillor Mund, seconded by Mayor Cumming:

THAT the Finance Committee recommends that Council approve, on a one time basis, a Council Discretionary Grant to Vernon Montessori Society in the amount of \$3,580 to assist in the purchase of learning materials.

CARRIED.

**VERNON PADDLING
CENTRE SOCIETY**

Moved by Mayor Cumming, seconded by Councillor Mund:

THAT the Finance Committee recommends that Council deny a Council Discretionary Grant to Vernon Paddling Society in the amount of \$14,000 as the City has limited funds for disbursement.

CARRIED.

**VERNON SENIOR
CITIZENS
RECREATIONAL
SOCIETY (HALINA
CENTRE)**

Moved by Councillor Mund, seconded by Mayor Cumming:

THAT the Finance Committee recommends that Council approve, on a one time basis, a Council Discretionary Grant to Vernon Senior Citizens Recreational Society in the amount of \$3,000 to assist in signage and window/door wrap.

CARRIED.

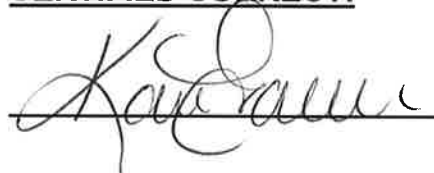
**DATE AND TIME OF
NEXT MEETING**

The next Finance Committee meeting is to be announced.

ADJOURNMENT

The Finance Committee meeting adjourned at 2:15 p.m.

CERTIFIED CORRECT:

 Chair



THE CORPORATION OF THE CITY OF VERNON

MINUTES OF THE ADVISORY PLANNING COMMITTEE MEETING HELD VIA ZOOM TUESDAY, MARCH 23, 2021

PRESENT: VOTING

Mark Longworth, Chair
Phyllis Kereliuk
Monique Hubbs-Michiel
Jamie Paterson
Doug Neden
Lisa Briggs
Joshua Lunn
Larry Lundgren

NON-VOTING

Mayor Cumming (Alternate Appointed Member)

ABSENT: Councillor Mund (Appointed Member)
Harpreet Nahal
Don Schuster
Bill Tarr

STAFF: Craig Broderick, Manager, Current Planning/Staff Liaison
Daniel Sturgeon, Long Range Planner
Jade Adams-Longworth, Records/Committee Clerk

ORDER

The Chair called the meeting to order at 4:03 p.m.

**ADOPTION OF
AGENDA**

Moved by Doug Neden, seconded by Larry Lundgren:

THAT the Advisory Planning Committee agenda for March 23, 2021 be adopted.

CARRIED.

**ADOPTION OF
MINUTES**

Moved by Phyllis Kereliuk, seconded by Monique Hubbs-Michiel:

THAT the minutes for the Advisory Planning Committee meeting of March 9, 2021 be adopted.

CARRIED.

NEW BUSINESS:**OFFICIAL
COMMUNITY PLAN
AMENDMENT AND
ZONING AMENDMENT
IN THE FOOTHILLS
NEIGHBOURHOOD
(6820 FOOTHILLS
DRIVE)**

The Manager, Current Planning reviewed the Official Community Plan Amendment and Zoning Amendment in the Foothills Neighbourhood for 6820 Foothills Drive. The Committee noted the following:

- Part of the site is a future reservoir site, moving forward will be contingent on RDNO and the Water Authority agreeing based on the location.
- Clarification on the movement of the road – originally the road was set to go down the middle with housing lots on both sides, now is the road is as far east as possible allowing houses on the left side only.
- No underlying infrastructure currently on the land.

Moved by Monique Hubbs-Michiel, seconded by Jamie Paterson:

THAT Council support the proposed Official Community Plan amendment and concurrent rezoning of a portion of Lot 1, Plan EPP102994, Sec 13, Twp 8, ODYD (6820 Foothills Drive) as outlined in the report titled "Official Community Plan Amendment and Zoning Amendment in the Foothills Neighbourhood" dated March 17, 2021 and respectfully submitted by the Manager, Current Planning;

AND FURTHER, that Council's support of the rezoning application is subject to the following: That the application will not proceed to public hearing without receipt of confirmation from the RDNO – Greater Vernon Water Services confirming the land required to be zoned P4 (Utilities) to accommodate existing and future reservoir needs

CARRIED.

INFORMATION ITEMS:

The Manager, Current Planning reviewed the following APC related applications discussed at the March 22, 2021 Council meeting:

- **DVP00507** – Council went with Alternative 1 for the Advertisement Signs (2411 Hwy 6, 5580 Anderson Way, and 5351 25th Avenue).

- **Secondary Suites Bylaw Amendment** – Zoning Bylaw deferred and Council postponed consideration of Bylaw #5851 until the April 12, 2021.
- **Upcoming DVP's** – Variances for the reservoir site scheduled for the Council Meeting on April 12, 2021.

NEXT MEETING

The next meeting of the Advisory Planning Committee is tentatively scheduled for Tuesday, April 13, 2021.

ADJOURNMENT

The meeting of the Advisory Planning Committee adjourned at 4:13 p.m.

CERTIFIED CORRECT:A handwritten signature in blue ink, appearing to read "Mark Longworth", is written over a horizontal line.

Chair



THE CORPORATION OF THE CITY OF VERNON

MINUTES OF THE CLIMATE ACTION ADVISORY COMMITTEE MEETING VIA ZOOM HELD WEDNESDAY, MARCH 24, 2021

PRESENT: VOTING

Mary Stockdale (Co-Chair), Educators and Educational Institutions
Brian Guy (Co-Chair), Business & Commercial Services
Bill Darnell, Community Stewardship
Jeremy Fyke, Science and Technology
Jenn Comazzetto, School District #22*
Ed Wilson, Community at Large
Stan Eaman, Health and Social Services
Mayor Victor Cumming (Alternate Member)

NON-VOTING

Barry Dorval, Youth Supporting Member

**attended intermittently due to technical difficulties*

ABSENT: Colleen Marchand, OKIB
Dione Chambers, Community at Large
Quinn Soon, Youth
Councillor Brian Quiring, Councillor (Appointed Member)

STAFF: Laurie Cordell, Manager, Long Range Planning & Sustainability
Jade Adams-Longworth, Records/Committee Clerk
Janice Nicol, Deputy Corporate Officer

ORDER The meeting was called to order at 4:06 p.m.

**ADOPTION OF
AGENDA** Moved by Stan Eaman, seconded by Ed Wilson:

THAT the agenda of the Climate Action Advisory Committee meeting for Wednesday, March 24, 2021 be adopted as amended:

- **ADD ITEM 5.b) New Business: FCM Webinar**

CARRIED.

ADOPTION OF MINUTES

Moved by Bill Darnell, seconded by Stan Eaman:

THAT the amended minutes for the Climate Action Advisory Committee meeting of February 10, 2021 be adopted.

CARRIED.

Jenn Comazzetto entered the meeting at 4:13 p.m.

CO-CHAIR REPORT

The Co-Chairs Mary Stockdale and Brian Guy updated the Climate Action Advisory Committee. The following comments were provided.

- The draft Climate Action Plan and public engagement were well planned. Excellent material was developed and very accessible.
- Pleased with the public input despite the constraints due to COVID – the feedback was detailed and thorough
- Thank you to Laurie and other City staff, the plan has been a major focus and a culmination of two and a half years of hard work.
- met new members to discuss new ideas and roles.
- Funding application to UBCO for community engagement was unsuccessful, as was the PICS Intern Grant.
- Keep pursuing grants and funding, and watch for new sources and create a process for bidding for funding.
- Funding focus is on a green recovery from COVID and robust community engagement.
- Met with the Mayor to discuss and understand the City's relationship with OKIB and Splat'sin Bands - at this time the committee will not be doing land acknowledgments at its meetings.

UNFINISHED BUSINESS:**REVIEW OF CAP ENGAGEMENT OUTCOMES**

The Manager of Long Range Planning and Sustainability provided an overview of the Climate Action Plan's engagement outcomes as outlined in the committee memo dated March 24, 2021.

Jenn Comazzetto left the meeting at 4:23 p.m.

REVIEW OF THE RECOMMENDED PLAN CHANGES

The Manager of Long Range Planning and the committee members discussed changes to the plan as a result of the feedback.

- Wording changes and edits have been integrated into the plan. Of note:

- ‘No net greenhouse gas emissions’ – this will require a definition.
- Guiding principles have been moved to the front of the document.

Jenn Comazzetto entered the meeting at 4:28 p.m.

- Changes are proposed to the Economic Development Vision to be more active wording and reflect the desired future state and there are new actions proposed under Goal #2.
- In addition there were changes added to the section on funding.

Jenn Comazzetto left the meeting at 4:35 p.m.

- The committee felt that there is a need for more discussion on the cost of inaction and the benefit of taking action. Some of the steps that the City has already undertaken could provide examples of this.
 - Retrofitting old heating and cooling systems (creation of net-savings with reduction of costs).
 - Mitigation of seasonal flooding.
- Overall continue to find alternative, cost effective ways to move forward and be more efficient into the future, which over the long term will drive down operational costs.
- Changes to the Agricultural section – the Committee felt like it was important to have actions to support food security.
 - The City is only able to support regional work in this regard and put more emphasis on encouraging home owners.
 - Need functional redundancy for a resilient food system, suggestion of high-level wording to cover this.
- Under the group lists:
 - Change to North Okanagan Labour Council (instead of Union)
 - Add Tolko and PRT
 - Lunch and Learn at Associated Environmental Consultants
- Committee would like to hold off on passing a resolution until the engagement is officially closed and the additional changes discussed at the meeting can be incorporated – to that end an additional meeting was scheduled for March 29, 2021.

NEW BUSINESS:**ENERGY STEP
CODE
ACCELERATION**

Mr. Ed Wilson, Community at Large Representative provided the committee with a brief update on concerns with the pace of adoption of the Energy Step Code, and the importance of accelerating the pace of adoption. The following points were noted from the discussion following his update:

- The committee is aware a lot of building is underway, and would like to ensure that the future buildings are as climate friendly and low emission as possible.
- Would like to explore how to get builders on board.
- The committee would like more background context, in relation to the trends and the forecast for the future buildings and how the Climate Action Plan's goals are being considered in this.
- The reach and the capacity for what we can do needs to be investigated and considered.
- He will follow up and send materials to Administration to review and report back on at the April meeting.

FCM WEBINAR

Mr. Bill Darnell, Community Stewardship Representative provided the committee with a brief update on a FCM Webinar he had attended. The following points were noted from the discussion following his update:

- Big budget funding can come from Community Efficiency Funding – they fund feasibility and design studies.
- The committee would like to focus on some more pilot project and grants.
- There are no deadlines, the funding opportunities are ongoing
- He will send information to Administration to share with the Committee.

INFORMATION ITEMS:**NEXT MEETING**

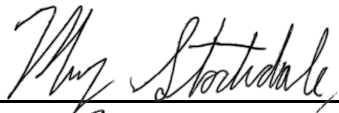
The next meeting for the Climate Action Advisory Committee is set for Monday, March 29, 2021 at 4:00 PM.


ADJOURNMENT

Moved by Stan Eaman, seconded by Bill Darnell:

THAT the meeting of the Climate Action Advisory Committee be adjourned at 6:00 p.m.

CERTIFIED CORRECT:


____ Co-Chair


____ Co-Chair



THE CORPORATION OF THE CITY OF VERNON

MINUTES OF THE SPECIAL CLIMATE ACTION ADVISORY COMMITTEE MEETING VIA ZOOM HELD MONDAY, MARCH 29, 2021

PRESENT: VOTING

Mary Stockdale, Educators and Educational Institutions, Co-Chair
Brian Guy, Business & Commercial Services, Co-Chair
Bill Darnell, Community Stewardship
Jeremy Fyke, Science and Technology
Jenn Comazzetto, School District #22
Ed Wilson, Community at Large
Stan Eaman, Health and Social Services
Quinn Soon, Youth
Mayor Victor Cumming (Alternate Member)

NON-VOTING

Barry Dorval, Youth Supporting Member

ABSENT: Councilor Brian Quiring, Councillor (Appointed Member)
Colleen Marchand, OKIB
Dione Chambers, Community at Large

STAFF: Laurie Cordell, Manager, Long Range Planning & Sustainability
Jade Adams-Longworth, Records/Committee Clerk

ORDER The meeting was called to order at 4:02 p.m.

Jen Comazzetto entered the meeting at 4:03 p.m.

**ADOPTION OF
AGENDA**

Moved by Bill Darnell, seconded by Stan Eaman:

THAT the agenda of the Special Climate Action Advisory Committee meeting for Monday, March 29, 2021 be adopted.

CARRIED.

UNFINISHED BUSINESS:**REVIEW OF CAP
MOTION FOR
COUNCIL
ENDORSEMENT**

Memo dated March 25, 2021 presented by Administration:

Moved by Jenn Comazzetto, seconded by Stan Eaman.

THAT the Climate Action Advisory Committee support the Climate Action Plan with the proposed amendments as outlined in the Memorandum titled "Climate Action Plan Engagement Results and Recommended Amendments" dated March 25, 2021 respectfully submitted by the Manager, Long Range Planning and Sustainability;

AND FURTHER, that the Climate Action Advisory Committee recommends that Council endorse the plan as presented.

CARRIED.


INFORMATION ITEMS:**NEXT MEETING**

The next meeting for the Climate Action Advisory Committee is set for Wednesday, April 24, 2021 at 4:00 PM.

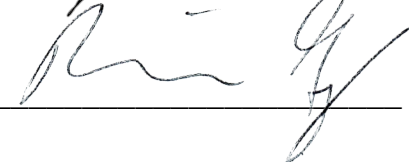
ADJOURNMENT

The Special meeting of the Climate Action Advisory Committee adjourned at 4:19 p.m.

CERTIFIED CORRECT:



Co-Chair



Co-Chair



May 10, 2021

Bob Zimmer, Member of Parliament
9916 100 Avenue
Fort St. John, BC V1J 1Y5

Dear Mr. Zimmer, MP

Re: Letter of support for national three-digit suicide prevention hotline - 988

On behalf of Council, we are pleased to provide this letter of support for the creation of a national three-digit suicide and crisis hotline – 988.

The Council of the District of Mackenzie, at their Regular Meeting held on Monday, April 26, 2021 hereby resolved the following:

31933. MOVED by Councillor Hipkiss
Support for WHEREAS the Federal government has passed a motion to adopt 988, a National
988 Crisis three-digit suicide and crisis hotline;
Line

AND WHEREAS the ongoing COVID-19 pandemic has increased the demand for
suicide prevention services by 200 per cent;

AND WHEREAS existing suicide prevention hotlines require the user to remember a
10-digit number and go through directories or be placed on hold;

AND WHEREAS in 2022 the United States will have in place a national 988 crisis
hotline;

AND WHEREAS the District of Mackenzie recognizes that it is a significant and
important initiative to ensure critical barriers are removed to those in a crisis and
seeking help;

NOW THEREFORE BE IT RESOLVED THAT the District of Mackenzie endorses this
988-crisis line initiative;

and that Staff be directed to send a letter indicating such support to the local MP,
MPP, Federal Minister of Health, the CRTC and local area municipalities to indicate
our support.

CARRIED

We see great value in this project and we look forward to the implementation of this initiative.

Sincerely,



Joan Atkinson

Mayor

cc: Dan Davies
Member of the Legislative Assembly
dan.davies.mia@leg.bc.ca

The Hon. Steven Guilbeault
Minister of Canadian Heritage
Minister Responsible for the CRTC
steven.guilbeault@parl.gc.ca

The Hon. Patty Hajdu
Federal Minister of Health
hcminister.ministresc@canada.ca

Local Area Municipalities

2021/05/11

Honourable John Horgan
Premier of British Columbia
Via Email: premier@gov.bc.ca

Dear Premier Horgan:

RE: Support for Authority and Training for Hospital Security Staff

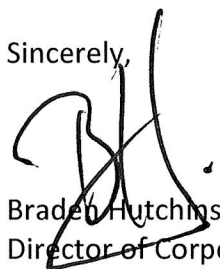
At the Special Meeting of Council on May 10th, 2021, Langford Council passed a resolution in support of the letter to you from Mayor David Screech, Town of View Royal dated April 1, 2021 requesting that hospital security staff be given the authority and necessary training to take custody of patients apprehended under the *Mental Health Act* on arrival at the hospital.

Diverting police resources from the streets to hospital waiting rooms is not a cost-effective solution to the mental health crisis we are currently experiencing across the province.

Allowing hospital security staff to assume this role from police officers would not only provide a less costly approach for taxpayers, but would also ease the burden on police resources, enabling them to provide timely services where they are needed in the community.

We fully support the request of Mayor Screech and ask that the Province provide assistance to implement a long-term solution for this situation.

Sincerely,



Braden Hutchings
Director of Corporate Services

cc. Hon. David Eby, AG.Minister@gov.bc.ca
Hon. Adrian Dix, Minister of Health, HLTH.Minister@gov.bc.ca
Hon. Sheila Malcolmson, Minister Mental Health & Addictions MH.Minister@gov.bc.ca
Mayor David Screech, Town of View Royal, mayorscreech@viewroyal.ca
All UBCM Municipalities

THE CORPORATION OF THE CITY OF VERNON

BYLAW NUMBER 5851

A bylaw to amend the City of Vernon
Zoning Bylaw Number 5000

WHEREAS the Council of The Corporation of the City of Vernon has determined to amend the City of Vernon Zoning Bylaw #5000 to add text amendments to include development regulations for secondary suites;

AND WHEREAS all persons who might be affected by this amendment bylaw have, before the passage thereof, been afforded an opportunity to be heard on the matters herein before the said Council, in accordance with the provisions of Section 464 of the Local Government Act, and all amendments thereto;

NOW THEREFORE the Council of The Corporation of the City of Vernon, in open meeting assembled, enacts as follows:

1. This bylaw may be cited as the **"Zoning Text (Secondary Suites) Amendment Bylaw Number 5851, 2021"**
2. The City of Vernon Zoning Bylaw Number 5000 be, and is hereby amended, as follows:
 - (i) **AMENDING Section 1 – Introduction (Including Table of Contents), Section 5.5 Secondary Suites** as shown in **RED** on attached **Schedule ‘A’**;
 - (ii) **AMENDING Section 2 – Interpretation (Including Definitions), 2.3.3 Definitions for SECONDARY SUITE and SECONDARY SUITE, IN-LAW** as shown in **RED** on attached **Schedule ‘B’**;
 - (iii) **AMENDING Section 4 – Development Regulations, 4.5.5 and 4.5.6** as shown in **RED** on attached **Schedule ‘C’**.
 - (iv) **AMENDING Section 5.5 – Secondary Suites – 5.5 by DELETING Subsection 5.5.1, 5.5.2, 5.5.4, 5.5.5, 5.5.6, and 5.5.11 and REPLACING with**

new **Subsections 5.5.1, 5.5.2, 5.5.4, 5.5.5, 5.5.6, and 5.5.11** as shown in **RED** on attached **Schedule 'D'**;

- (v) **AMENDING Section 5.5 – Secondary Suites by ADDING NEW wording to Section 5.5** as shown in **RED** on attached **Schedule 'E'**;

3. Zoning Bylaw Number 5000 is hereby ratified and confirmed in every other respect.

READ A FIRST TIME this 26th day of April, 2021.

READ A SECOND TIME this 26th day of April, 2021.

PUBLIC HEARING held this 25th day of May, 2021.

Approved pursuant to section 52(3)(a) of the *Transportation Act* this _____ day of _____, 20____

for Minister of Transportation & Infrastructure
Bylaw 5788/6460-01/2021-02313

READ A THIRD TIME this _____ day of _____, 2021.

ADOPTED this _____ day of _____, 2021.

Mayor

Corporate Officer

SCHEDULE 'A'

Attached to and Forming Part of Bylaw 5851
“Zoning Text (Secondary Suites) Amendment Bylaw Number 5851, 2021”

SECTION 5 : SPECIFIC USE REGULATIONS	SPECIFIC
5.1 Application.....	5 - 1
5.2 Home Based Business, Minor.....	5 - 2
5.3 Home Based Business, Major.....	5 - 3
5.4 Home Based Business, Rural.....	5 - 4
5.5 Secondary Suites – Conditions of Use	5 - 5
5.6 Bed and Breakfast Homes.....	5 - 6
5.7 Rooming Houses.....	5 - 7
5.8 Boarding Rooms.....	5 - 8
5.9 Cellar Living Accommodation.....	5 - 9
5.10 Bareland Strata Developments.....	5 - 10
5.11 Vehicular Oriented Uses.....	5 - 11
5.12 Car Washes.....	5 - 12
5.13 Care Centres.....	5 - 13
5.14 Domesticated Animals (Excluding Livestock).....	5 - 14
5.15 Employee Housing.....	5 - 15
5.16 Temporary Use Permit.....	5 - 16
5.17 Beekeeping.....	5 - 17
5.18 Temporary Shelter Services.....	5 - 18

Zoning Bylaw #5000 Section 2.3 General Definitions

SECONDARY SUITE means a self-contained secondary **dwelling** unit located within a **single detached housing** or in a **secondary building**. A **secondary suite** has its own separate cooking, sleeping and bathing facilities. ~~It has direct access to outside without passing through any part of the primary unit. The property owner must reside in either the primary dwelling unit or the secondary suite. This use includes in-law secondary suites. This use does not include duplex housing, semi-detached housing, apartment housing, boarding rooms nor rooming houses.~~ (Bylaw 5467)

~~**SECONDARY SUITE, IN LAW** means a **secondary suite** which is occupied by an individual or individuals who do not provide rent to the property **owner** and are all related to the property **owner** by blood, marriage or adoption. The **owner** is to provide an annual declaration to the City confirming the occupier(s) do not pay rent and all occupier(s) are related to the property **owner** by blood, marriage or adoption.~~ (Bylaw 5467)

SCHEDULE 'C'

Attached to and Forming Part of Bylaw 5851
“Zoning Text (Secondary Suites) Amendment Bylaw Number 5851, 2021”

4.5 Secondary Development

- 4.5.5 A **secondary building** or **structure** shall not be used as a **dwelling** unless it is a permitted **secondary suite** in which case the Conditions of Use pertaining to Secondary Suites in Section 5.5 shall apply.
- 4.5.6 A **secondary building** or **structure** shall not exceed 4.5m or one **storey** in **height**, whichever is the lesser, unless specified otherwise in the **development** regulations of a particular **zone** or unless it is a **Secondary Suite** in which case Section 5.5 shall apply.

SCHEDULE 'D'

Attached to and Forming Part of Bylaw 5851
“Zoning Text (Secondary Suites) Amendment Bylaw Number 5851, 2021”

5.5 Secondary Suites – Conditions of Use

- 5.5.1 **Secondary suites**, where permitted, are to be located only in **single detached housing** or a **secondary building** on a **lot** containing **single detached housing**. **Secondary suites** are not permitted in or on the same lot as **multiple housing**, **semi-detached housing**, **duplexes**, **bed and breakfast** homes, **rooming houses** or **boarding rooms**.
- 5.5.2 No more than one **secondary suite** shall be permitted per **single detached housing** unit. It may be permitted either within **single detached housing** or within a **secondary building**.
- 5.5.4 A **secondary suite** must have a minimum of 15m² of separated and private **open space** in addition to any **open space** provided for the principle dwelling.
- 5.5.5 The **net floor area** of any **secondary suite** shall not exceed the lesser of 90m² or 45% of the **net floor area** of the **building** containing **single detached housing**.

Where a **secondary suite** is located in a **secondary building** the following shall apply:

Lot Size	450m ² - 557m ²		> 557m ²	
Lot Orientation	No Lane	Lane or Flanking Street	No Lane	Lane or Flanking street
Maximum footprint	The lesser of 80m ² or 75% of the net floor area the building containing single detached housing .		The lesser 90m ² or 75% of the net floor area of the building containing single detached housing .	
Maximum floor area	The net floor area of the upper storey can be no more than 75% of the net floor area of the first storey .		The net floor area of the upper storey can be no more than 75% of the net floor area of the first storey . The net floor area of a second storey of a suite can be 100% of the net floor area of the first	

SCHEDULE 'D'**Attached to and Forming Part of Bylaw 5851****“Zoning Text (Secondary Suites) Amendment Bylaw Number 5851, 2021”**

		storey if the net floor area of the first storey is less than 45m².
	The net floor area must be the lesser of 90m² or 60% of the net floor area of the building containing single detached housing.	
For the purposes of calculating net floor area for secondary suites contained in secondary buildings, notwithstanding the definition of net floor area, attached garages, carports, and basements shall be included in floor area calculations.		

- 5.5.6 A **secondary building** or structure containing a **secondary suite** shall not exceed the following **height** and **storey** limitations:

Lot Size	450m2 - 557m2		> 557m2	
Lot Orientation	No Lane	Lane or Flanking street	No Lane	Lane or Flanking street
Storeys	1.5 maximum			2.0 maximum
Maximum Height	The lesser of the principal building height and no higher than 4.8 metres to the midpoint of a sloped roof or the highest point of a non-sloping roof.			The lesser of the principle building height and no higher than 6.0m to the midpoint of a sloped roof or the highest point of non-sloping roof.
For the purpose of calculating height of a secondary suite located in a secondary building , notwithstanding the definition of height, a non-sloping roof will be considered any roof with <u>either</u> a single pitch or a pitch of 4:12 or less.				
No secondary building containing a secondary suite shall have a height more than the principle building, as measured from the building grade of each respective building.				

- 5.5.11 A **secondary suite** must have direct access to outside from a dedicated exterior entrance. When a **secondary suite** is located within a principle dwelling, access may be taken from a shared vestibule, which meets the provisions of the BC Building Code.

5.5 Secondary Suites – Conditions of Use

5.5.12 The following additional conditions of use shall apply to **secondary suites** which are located in **secondary buildings**:

- i. Roof decks are prohibited.
- ii. A **deck** above the **first storey** must face a **laneway** or **flanking street**. A **deck** above the **first storey** is not permitted in **secondary buildings** with **secondary suites** on **lots** without a **laneway** or **flanking street**.
- iii. A minimum 3.0m spacing with no **structures** is required between a **secondary building** containing a **secondary suite** and any other **building** containing a **dwelling unit** on the lot.
- iv. A **secondary suite** in a **secondary building** must have an at grade enclosed entrance. Exterior stairs accessing a **secondary suite** in a **secondary building** are not permitted. Stairs with a combined rise of 0.6 metres or less are excluded.