



THE CORPORATION OF THE CITY OF VERNON

A G E N D A

REGULAR OPEN MEETING OF COUNCIL

COUNCIL CHAMBERS
CITY HALL
TUESDAY
NOVEMBER 13, 2018
At 1:30 p.m.

Mayor V. Cumming

Councillor S. Anderson
Councillor K. Gares
Councillor D. Nahal

Councillor K. Fehr
Councillor A. Mund
Councillor B. Quiring

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THE CORPORATION OF THE CITY OF VERNON

A G E N D A

REGULAR OPEN MEETING OF COUNCIL

CITY HALL COUNCIL CHAMBER

TUESDAY, NOVEMBER 13, 2018

AT 8:40 AM

“To deliver effective and efficient local government services that benefit our citizens, our businesses, our environment and our future”

1. CALL REGULAR MEETING TO ORDER AND MOVE TO COMMITTEE OF THE WHOLE

2. RESOLUTION TO CLOSE MEETING

A. BE IT RESOLVED that the meeting be closed to the public in accordance with Section 90 of the *Community Charter as follows:*

d) *the security of the property of the municipality;*

e) *the acquisition, disposition or expropriation of land or improvements, if the Council considers that disclosure could reasonably be expected to harm the interests of the municipality;*

3. ADJOURN TO OPEN COUNCIL AT 1:30 PM

A. THAT the Agenda for the November 13, 2018 Regular Open Meeting of Council be adopted as circulated.

4. ADOPTION OF MINUTES AND RECEIPT OF COMMITTEE OF THE WHOLE AND PUBLIC HEARING RECORD

A. THAT the minutes of the Regular Meeting of Council held October 9, 2018 be adopted; **(P. 15)**

AND FURTHER, that the minutes of the Committee of the Whole Meeting of Council held October 9, 2018, be received.

5. BUSINESS ARISING FROM THE MINUTES

6. GENERAL MATTERS

AGENDA

MINUTES

**PRESENTATION –
RCMP
QUARTERLY
REPORT (P. 28)**

- A. Supt. Shawna Baher, OIC, RCMP, providing the Third Quarter report for 2018.
- Report to Council July to September 2018 (P. 28)
 - North Okanagan RCMP Victims Assistance Quarterly Activity Report (P. 45)

THAT Council receives the RCMP 3rd Quarter Report (July to September 2018) and the North Okanagan RCMP Victims Assistance Quarterly Activity Report as provided by Supt. Shawna Baher, OIC, RCMP at the November 13, 2018 Regular Council Meeting.

**DEVELOPMENT
VARIANCE PERMIT
APPLICATION FOR
3904 29th STREET
(P. 50)**

- B. THAT Council support Development Variance Permit Application DVP00431 for the subject property located on Lot 5, Block 1, Plan 383MV, ODYD (3904 29th Street) to vary the following sections of Zoning Bylaw #5000 in order to develop a four-plex with 2 two-bedroom, 1 two-bedroom and den, and 1 three-bedroom units:
- a) to vary Section 9.12.5, Development Regulations, (b) Building Regulations, to reduce the required rear yard setback from 9m to 6.05m on the property;
 - b) to vary Section 9.12.5, Development Regulations, (b) Building Regulations, to reduce the required side yard setback from 4.5m to 1.2m on the north side of the property and from 4.5m to 2.41m on the south side of the property; and
 - c) to vary Section 6.6, Minimum Landscape Buffers, to reduce the minimum required landscape buffer, Level 2 on the side yards from 1.5m in width to 1.2m in width.

AND FURTHER, that Council's support of DVP00431 is subject to the following:

- a) That the site survey, elevations, renderings, and landscaping plan, as generally shown as Attachments 1 to 5, and to the satisfaction of Administration, are included in the report titled "Development Variance Permit Application for 3904 29th Street" and dated October 4, 2018 by the Planning Assistant and Manager, Current Planning be attached to and form part of DVP00431 as Schedule 'A'.

Public Input – DVP #00431

i. Public Input on Development Variance Permit #00431 to vary sections of Zoning Bylaw #5000 in order to develop a four-plex with 2 two-bedroom, 1 two-bedroom and den, and 1 three-bedroom units at 3904 29th Street.

Issuance of Permit #00431

ii. THAT the Corporate Officer be authorized to issue Development Variance Permit #00431 to vary sections of Zoning Bylaw #5000 in order to develop a four-plex with 2 two-bedroom, 1 two-bedroom and den, and 1 three-bedroom units at 3904 29th Street, once all conditions of Council are satisfied.

DEVELOPMENT VARIANCE PERMIT APPLICATION FOR 5350 SILVER STAR ROAD (P. 63)

C. THAT Council support Development Variance Permit Application #DVP00433 to vary the following sections of Zoning Bylaw #5000 in order to construct two duplexes on four bareland strata lots on a portion of Lot A DL 51 ODYD Plan 40774, exc. Strata Plan EPS4330 (5350 Silver Star Road):

a) For proposed Units 25 and 27:

- i. To vary Section 9.16.6. to reduce the front yard setback from: a minimum of 6.0m from a garage or carport to the back of curb or sidewalk for vehicular entry, to a minimum of 5.3m; and
- ii. To vary Section 9.16.6 to reduce the rear yard setback from a minimum of 7.5m to a minimum of 6.0m; and

b) For proposed Units 26 and 28:

- i. To vary Section 9.16.6. to reduce the front yard setback from a minimum of 6.0m from a garage or carport to the back of curb or sidewalk for vehicular entry, to a minimum of 5.2m; and
- ii. To vary Section 9.16.6 to reduce the rear yard setback from a minimum of 7.5m to a minimum of 7.0m;

AND FURTHER, that Council support of DVP00433 is subject to the following:

a) That the site plan and elevation plans, intended to illustrate the general form, character and massing of the proposed duplex units, and noted as Attachments 1 and 2 in the report titled "Development Variance Permit Application for 5350 Silver Star Road", dated October 29, 2018 by the Manager, Current Planning be attached to and form part of DVP00433 as Schedule 'A'.

Public Input – DVP #00433

i. Public Input on Development Variance Permit #00433 to vary sections of Zoning Bylaw #5000 in order to construct two duplexes on four bareland strata lots at 5350 Silver Star Road.

Issuance of Permit #00433

- ii. THAT the Corporate Officer be authorized to issue Development Variance Permit #00433 to vary sections of Zoning Bylaw #5000 in order to construct two duplexes on four bareland strata lots at 5350 Silver Star Road, once all conditions of Council are satisfied.

DEVELOPMENT VARIANCE PERMIT APPLICATION FOR 5400 OKANAGAN AVENUE (P. 75)

- D. THAT Council support a modified Development Variance Permit Application #DVP00435 to vary the following sections of Zoning Bylaw #5000 in order to construct a 36 unit townhouse development on Part of the NW ¼ of Sec. 28 shown on Plan B3911, Twp. 9 ODYD exc. Plans KAP50675 and KAP58681 (5400 Okanagan Avenue):

- a) to vary Section 4.16.1. to allow the construction of a building, structure or swimming pool on slopes of 30% or greater, and
- b) to vary Section 6.5.11. to increase the maximum height of a retaining wall from 1.2 m to a maximum of 3.6 m.

AND FURTHER, that Council confirm its previous approval of Development Variance Permit application DVP00382 to vary Zoning Bylaw #5000 Section 9.11.6 to reduce the minimum dwelling unit width from 6.5 m to 4.8 m;

AND FURTHER, that Council support of DVP00435 is subject to the following:

- a) That the revised site and elevation plans show retaining walls up to a maximum of 3.6m, intended to illustrate the general form, character and massing of the proposed residence, be submitted to the satisfaction of Administration and be attached to and form part of DVP00435 as Schedule 'A'.

Public Input – DVP #00435

- i. Public Input on Development Variance Permit #00435 to vary sections of Zoning Bylaw #5000 in order to construct a 36 unit townhouse development at 5400 Okanagan Avenue.

Issuance of Permit #00435

- ii. THAT the Corporate Officer be authorized to issue Development Variance Permit #00435 to vary sections of Zoning Bylaw #5000 in order to construct a 36 unit townhouse development at 5400 Okanagan Avenue, once all conditions of Council are satisfied.

DEVELOPMENT VARIANCE PERMIT APPLICATION FOR 1905 AND 2001 – 15TH AVENUE (P. 86)

- E. THAT Council support Development Variance Permit Application #DVP00441 to vary the following sections of Zoning Bylaw #5000 in order to construct a 48 unit townhouse development project on Lots 3 and 4, Sec 26, Twp 9, ODYD, Plan KAP58251 (1905 and 2001 – 15th Avenue):

- a) to vary Section 9.6.6 to increase the height of a vertical wall element, without recessing the upper portion of the building wall, from a maximum of 6.5 m to 9.4 m (Buildings 10 and 12); and
- b) to vary Section 9.6.6 to reduce the minimum unit width from 6.5 m to 6.1 m.

AND FURTHER, that Council support of DVP00441 is subject to the following:

- a) That the site plan and elevation plans, intended to illustrate the general form, character and massing of the proposed townhouse development project, and noted as Attachments 1, 2 and 3 in the report titled “Development Variance Permit Application for 1905 and 2001 – 15th Avenue” and dated October 29, 2018 by the Manager, Current Planning be attached to and form part of DVP00441 as Schedule ‘A’.

**Public Input – DVP
#00441**

- i. Public Input on Development Variance Permit #00441 to vary sections of Zoning Bylaw #5000 in order to construct a 48 unit townhouse development project at 1905 and 2001 – 15th Avenue.

**Issuance of Permit
#00441**

- ii. THAT the Corporate Officer be authorized to issue Development Variance Permit #00441 to vary sections of Zoning Bylaw #5000 in order to construct a 48 unit townhouse development project at 1905 and 2001 – 15th Avenue, once all conditions of Council are satisfied.

**DEVELOPMENT
VARIANCE PERMIT
APPLICATION FOR
6533 ORCHARD HILL
ROAD (P. 95)**

- F. THAT Council support the Development Variance Permit application (DVP00443) for the subject property located on Lot 28, Plan 25142, Section 31, ODYD (6533 Orchard Hill Road) to vary the following section of Zoning Bylaw #5000 in order to construct a second-floor addition above an existing garage for a secondary suite:

- a) to vary Section 9.2.5, Development Regulations, to reduce the required side yard setback from 2.5m to 1.76m on the property located at 6533 Orchard Hill Road.

AND FURTHER, that Council’s support of DVP00443 is subject to the following:

- a) That the site survey and elevations as generally shown as Attachments 1 to 3, and to the satisfaction of Administration, and as included in the report titled “Development Variance Permit Application for 6533 Orchard Hill Road” and dated October 4, 2018 by the Planning Assistant and Manager, Current Planning, be attached to and form part of DVP00443 as Schedule ‘A’.

**Public Input – DVP
#00443**

i. Public Input on Development Variance Permit #00443 to vary a section of Zoning Bylaw #5000 in order to construct a second-floor addition above an existing garage for a secondary suite at 6533 Orchard Hill Road.

**Issuance of Permit
#00443**

ii. THAT the Corporate Officer be authorized to issue Development Variance Permit #00443 to vary a section of Zoning Bylaw #5000 in order to construct a second-floor addition above an existing garage for a secondary suite at 6533 Orchard Hill Road, once all conditions of Council are satisfied.

7. COUNCIL INQUIRIES

8. ADMINISTRATION UPDATES

**ADMINISTRATION
UPDATES (P. 107)**

A. THAT Council receive the Administration Updates dated November 13, 2018.

9. UNFINISHED BUSINESS

**2019 COUNCIL
MEETING DATES –
RECONFIRMED**

A. THAT Council **reconfirms** the amended 2019 Council Meeting schedule as adopted at the November 5, 2019 Inaugural Meeting, as follows:

2019 Council Meeting Dates	
January 7 January 21	July 8 July 29
February 11 February 25	August 19
March 11 March 25	September 3 September 16
April 8 Tues. April 23	Tues. October 15 October 28 th
May 13 May 27	Tues. November 12 November 25
June 10 June 24	December 16

10. MATTERS REFERRED: COMMITTEE OF THE WHOLE AND IN-CAMERA

11. NEW BUSINESS

A. Correspondence:**OFFICIAL ELECTION RESULTS – 2018 LOCAL GOVERNMENT ELECTION (P. 112)****MEL ARNOLD, M.P., NORTH OKANAGAN SHUSWAP – CONGRATULATIONS (P. 115)****APPOINTMENT OF ACTING MAYORS – 2019**

- (i) THAT Council receives the Official Election Results – 2018 Local Government Elections, as provided in the memo dated October 22, 2018, from Susan Blakely, Chief Elections Officer.
- (ii) THAT Council receives the letter dated October 31, 2018 from Mel Arnold, M.P., North Okanagan-Shuswap, offering congratulations on being elected to Mayor Cumming and City of Vernon Council.
- (iii) THAT Council Appoints the following Acting Mayors for 2019:

2019	Acting Mayor
January	Councillor Gares
February	Councillor Mund
March	Councillor Anderson
April	Councillor Nahal
May	Councillor Fehr
June	Councillor Nahal
July	Councillor Quiring
August	Councillor Mund
September	Councillor Fehr
October	Councillor Quiring
November	Councillor Anderson
December	Councillor Gares

**COUNCIL
APPOINTMENTS TO
COMMITTEES – 2019**

- (iv) THAT Council approves the following appointments to Council Committees in 2019:

<u>2019 Appointments</u>	
<u>Committee/Commission</u>	<u>Staff / Council Representative</u>
Advisory Planning Committee	
Council Representative:	Councillor Mund
Alternate:	Mayor Cumming
Affordable Housing Advisory Committee	
Council Representatives:	Councillor Fehr
Alternate:	Councillor Gares
Audit Committee	
Council Representatives:	Mayor Cumming, Councillor Mund, Councillor Gares
Alternate:	All Other Members of Council
Biosolids Advisory Committee	
Council Representatives:	Councillor Anderson Councillor Nahal
Alternates:	Mayor Cumming
Economic Development	
Council Representatives:	Mayor Cumming
Alternate:	Councillor Quiring
Emergency Measures Policy/Planning	
Council Representative:	Mayor Cumming
Finance (Tax Role Review Panel)	
Council Representative:	Mayor Cumming, Councillor Mund, Councillor Gares
Alternates:	All Other Members of Council
Tourism Advisory Committee	
Council Representative:	Councillor Nahal
Alternate:	Mayor Cumming
Transportation Advisory Committee	
Council Representative:	Councillor Anderson
Alternate:	Councillor Mund

<u>Other Council Appointments:</u>	
Arts Council of North Okanagan	Councillor Quiring Alt: Councillor Gares
Canada Day Committee	Councillor Anderson
CEDI Working Group	Councillor Mund Alt: Mayor Cumming
Chamber of Commerce Liaison	Councillor Gares Alt: Councillor Quiring
Climate Action Task Force	Councillor Quiring Alt: Mayor Cumming
Downtown Vernon Association	Councillor Quiring
Drought Response Team	Mayor Cumming Alt: Councillor Mund
Fire Training Centre – Policy Board	Mayor Cumming
Funtastic Sports Society Liaison	Councillor Mund
Kelowna Airport Advisory Committee	Councillor Mund
Library – North Okanagan Regional Library	Councillor Nahal Alt: Councillor Gares
Liquid Waste Management Plan Public Advisory Committee	Councillor Anderson Alt: Mayor Cumming
Municipal Insurance Association	Councillor Anderson Alt: Councillor Quiring
North Okanagan Early Childhood Development Coalition – Children’s Charter Committee	Councillor Fehr
North Okanagan Regional Advisory Committee (Okanagan College)	Councillor Fehr Alt: Councillor Gares
O’Keefe Ranch and Historical Society	Councillor Anderson
OKIB/First Nations Liaison	Mayor Cumming

Regional Growth Management Committee	Councillor Gares Alt: Councillor Mund
Regional Agricultural Advisory Committee	Councillor Nahal
Ribbons of Green Trail Committee	Mayor Cumming
Vernon Winter Carnival Liaison	Councillor Gares

2018 PLANNING AND BUILDING THIRD QUARTER STATISTICS SUMMARY (P. 116)

- (v) THAT Council receive the memorandum titled “2018 Planning and Building Third Quarter Statistics Summary” dated October 30, 2018 from the Manager, Economic Development and Tourism and Current Planning Assistant, for information.

ASSET MANAGEMENT PLAN FOR VERNON WATER RECLAMATION CENTRE AND SPRAY IRRIGATION (P. 120)

- (vi) THAT Council support the development of an Asset Management Plan & Condition Assessment for the Vernon Water Reclamation Centre, Spray Irrigation Program & Outfall and direct staff to provide overall grant management for this project.

PARKING AGREEMENT – OKANAGAN REGIONAL LIBRARY (ORL) PARKING LOT (P. 122)

- (vii) THAT Council direct Administration to renew the prior parking agreement with the Okanagan Regional Library for the period January 2, 2014 to December 31, 2023 with the same terms and conditions as the original agreement as presented in the memorandum titled “Parking Agreement – Okanagan Regional Library (ORL) Parking Lot” dated October 31, 2018 from the Manager, Protective Services.

B. Reports:

UNION OF BC MUNICIPALITIES (UBCM) 2018 COMMUNITY EMERGENCY PREPAREDNESS FUND (CEPF) EMERGENCY SOCIAL SERVICES (ESS) GRANT FUNDING APPLICATION (P. 130)

- (i) THAT Council authorize the \$ 25,000 UBCM 2018 CEPF ESS grant funding application as attached to the report titled *Union of BC Municipalities (UBCM) 2018 Community Emergency Preparedness Fund (CEPF) Emergency Social Services (ESS) grant funding application*, dated October 30, 2018 and respectfully submitted by the EP/ESS Coordinator;

AND FURTHER, that Council support for the proposed activities;

AND FURTHER, that Council authorize Administration to assume overall grant management.

12. LEGISLATIVE MATTERS

Bylaws:

ADOPTION

- 5715

- (i) THAT Bylaw #5715, “**Zoning Text (Secondary Suites / Semi-Detached Housing) Amendment Bylaw Number 5715, 2018**” – a bylaw to amend Zoning Bylaw #5000, **be adopted. (P. 138)**

- 5659

- (ii) THAT Bylaw #5659, “**4215 – 32nd Street Land Use Contract Number 2640, 1977, (N11481) Discharge Bylaw Number 5659, 2017**” – a bylaw to authorize the discharge of Land Use Contract Bylaw Number 2640, 1977, **be adopted;**

AND FURTHER, that the Corporate Officer be authorized to **issue Development Variance Permit 00381** as the required conditions have been met.
(P. 143)

Memo dated October 29, 2018 from C. Liefke, Planning Assistant, Current Planning, re: Land Use Contract Discharge and Development Variance Application for 4215 – 32nd Street. **(P. 146)**

FIRST & SECOND READINGS AND PUBLIC HEARING DATE

- 5730

- (iii) THAT Bylaw #5730, “**Zoning Text (Additional Setbacks from City Roads) Amendment Bylaw Number 5730, 2018**” – a bylaw to amend Zoning Bylaw #5000, **be read a first and second time;**

AND FURTHER, that the Public Hearing for Bylaw #5730 be scheduled for **Monday, November 26, 2018, at 5:30 pm**, in Council Chambers. **(P. 148)**

- 5731

- (iv) THAT Bylaw #5731, “**Zoning Text (Cannabis) Amendment Bylaw Number 5731, 2018**” – a bylaw to amend Zoning Bylaw #5000, **be read a first and second time;**

AND FURTHER, that the Public Hearing for Bylaw #5730 be scheduled for **Monday, November 26, 2018, at 5:30 pm**, in Council Chambers. **(P. 152)**

- Memo dated October 31, 2018 from Kim Flick, Director, Community Infrastructure & Development re: Cannabis Bylaw Amendments **(P. 158)**

13. COUNCIL INFORMATION UPDATES

A. Mayor and Councillors Reports.

14. INFORMATION ITEMS

A. Letter dated August 31, 2018 from Sherry Price, Acting President, Caetani Cultural Centre Board of Directors, re: Thank You for Support (P. 174)

B. Minutes from the following Committees of Council:
 (i) Advisory Planning, September 25, 2018 (P. 176)
 (ii) Tourism Commission, September 26, 2018 (P. 181)

RECESS**15. RECESS MEETING****NOTES:**

A. Public Hearing scheduled for at 5:30 pm at City Hall:

1. **“Zoning Text (RTR – Resort Residential) Amendment Bylaw Number 5723, 2018”**
2. **“5757 Okanagan Landing Road Rezoning Amendment Bylaw Number 5722, 2018”**
3. **“2907 26th Street Rezoning Amendment Bylaw Number 5721, 2018”, together with Public Input for DVP00439**
4. **“3903 – 30TH Street Official Community Plan Amendment Bylaw Number 5596, 2018”**

AND

“3903 – 30th Street Rezoning Amendment Bylaw Number 5597, 2018” together with Public Input for DVP00440

RECALL**16. RECALL TO ORDER****THIRD READING**

- **5723**
 - **5722**
 - **5721**
- A. THAT Bylaw #5723, **“Zoning Text (RTR – Resort Residential) Amendment Bylaw Number 5723, 2018”** – a bylaw to amend Zoning Bylaw #5000, **be read a third time. (P. 186)**
- B. THAT Bylaw #5722, **“5757 Okanagan Landing Road Rezoning Amendment bylaw Number 5722, 2018”** – a bylaw to rezone the subject property from “A3 – Rural Small Holdings” to R1 – Rural Small Holdings” and “R5 – Four-plex Housing Residential”, **be read a third time. (P. 191)**
- C. THAT Bylaw #5721, **“2907 26th Street Rezoning Amendment Bylaw Number 5721, 2018”** – a bylaw to rezone the subject property from “R3 – Medium Lot Residential” to “R3H – Medium Lot Residential”, **be read a third time. (P. 194)**

- **5596**
 - D. THAT Bylaw #5596, “**3903 – 30TH Street Official Community Plan Amendment Bylaw Number 5596, 2018**” - a bylaw to redesignate the subject property from “Mixed Use – Medium Density Commercial and Residential” to “Residential – Medium Density”, **be read a third time. (P. 197)**

- **5597**
 - E. THAT Bylaw #5597, “**3903 – 30th Street Rezoning Amendment Bylaw Number 5597, 2018**” – a bylaw to rezone the subject property from R2 – Large Lot Residential” to “RM1 – Row Housing Residential”, **be read a third time. (P. 200)**

17. CLOSE OF MEETING

**MINUTES OF A REGULAR OPEN MEETING OF COUNCIL
HELD TUESDAY, OCTOBER 9, 2018**

PRESENT: Mayor A. Mund

Councillors: J. Cunningham, S. Anderson,
B. Quiring, D. Nahal, C. Lord

Staff: W. Pearce, CAO
P. Bridal, DCAO, Director, Corporate Services
S. Blakely, Mgr. Legislative Services
D. Ross, Director, Recreation Services
D. Law, Director, Finance
N. Nilsen, Communications Officer & Grants Coordinator
K. Flick, Director, Community Infrastructure & Development
S. Mitchell, Manager, Arenas
L. Walker, Officer Coordinator, Recreation
W. Mahalicz, Recreation Facilities Coordinator
S. Koenig, Director, Operations
B. Bandy, Real Estate Manager*

*attended as required

Mayor Mund called the Regular Open meeting to order at 8:50 am and requested a motion to move to Committee of the Whole.

Mayor Mund reconvened the Regular Open meeting and requested a motion to move to In Camera.

**RESOLUTION TO
CLOSE MEETING**

Moved by Councillor Cunningham, seconded by Councillor Lord:

BE IT RESOLVED that the meeting be closed to the public in accordance with Section 90 of the *Community Charter as follows:*

- d) *the security of the property of the municipality;*
- e) *the acquisition, disposition or expropriation of land or improvements, if the Council considers that disclosure could reasonably be expected to harm the interests of the municipality;*
- k) *negotiations and related discussions respecting the proposed provision of a municipal service that are at their preliminary stages and that, in the view of the Council, could reasonably be expected to harm the interests of the municipality if they were held in public*

CARRIED.

Mayor Mund called the Regular Open meeting back to order at 1:31 pm.

PRESENT: Mayor A. Mund

Councillors: J. Cunningham, S. Anderson,
D. Nahal, C. Lord, B. Quiring

W. Pearce, Chief Administrative Officer
Staff: P. Bridal, DCAO/Director, Corporate Services
S. Blakely, Manager, Legislative Services
D. Law, Director, Finance
K. Flick, Director, Community Infrastructure & Development
S. Koenig, Director, Operations*
C. Broderick, Manager, Current Planning*
E. Stranks, Manager, Engineering Development Services*
N. Nilsen, Communications Officer & Grants Coordinator
E. Croy, Transportation Planner*
D. Ross, Director, Recreation Services*
Supt. S. Baher, OIC, RCMP*
M. Dowhaniuk, Manager, Infrastructure & Development*
K. Poole, Manager, Economic Development & Tourism*
A. Watson, Manager, Transportation*
S. Abbott, Parks Planner*

*Attended, as required

Others: Media and Members of the Public

ADOPTION OF THE AGENDA:

APPROVAL OF ITEMS LISTED ON THE AGENDA

Moved by Councillor Lord, seconded by Councillor Nahal:

THAT the agenda for the October 9, 2018, Regular Open meeting of the Council of The Corporation of The City of Vernon be adopted.

CARRIED.

ADOPTION OF MINUTES:

COUNCIL MEETINGS

Moved by Councillor Quiring, seconded by Councillor Cunningham:

THAT the minutes of the Regular Meeting of Council held September 24, 2018, be adopted;

AND FURTHER, that the minutes of the Public Hearing held on September 24, 2018, be adopted;

AND FURTHER, that the minutes of the Committee of the Whole Meeting of Council held September 24, 2018, be received.

CARRIED.

BUSINESS ARISING FROM THE MINUTES:

GENERAL MATTERS:

**DEVELOPMENT
VARIANCE PERMIT
APPLICATION FOR
DVP00424 – 3803 23RD
STREET**

Moved by Councillor Lord, seconded by Councillor Nahal:

THAT Council support Development Variance Permit Application DVP00424 to vary the following section of Zoning Bylaw #5000 in order to permit the subdivision of Lot A, Sec 2, Twp 8, ODYD, Plan KAP44133 (3803 – 23rd Street) along the party wall of an existing duplex to create two fee simple lots:

- a) To vary Section 9.10.6. to allow a reduction in the minimum rear yard setback from:
 - i. 6.0m to 0.0m for proposed Lot 1; and
 - ii. 6.0m to 4.0m for proposed Lot 2.

AND FURTHER, that Council support of DVP00424 is subject to the following:

- a) That the site plan showing the existing building location, party wall and proposed Lots 1 and 2, attached to the report titled “Development Variance Permit Application for 3803 – 23rd Street” dated September 27, 2018 by the Manager, Current Planning as Attachment 1, be attached to and form part of DVP00424 as Schedule ‘A’.

***Public Input – DVP
#00424***

The Corporate Officer advised that no written submissions had been received.

Mayor Mund called a first time for representation from the public in attendance who believe their interest in property is affected by Development Variance Permit 00424 to vary section 9.10.6 of Zoning Bylaw #5000 to allow a reduction in the minimum rear yard setback at 3803 23rd Street.

1. Jason Short, for the Applicant

- Supports approval
- Available for any questions

Mayor Mund called a second and third time for representation from the public. There being none Mayor Mund closed the Public Input session for DVP00424.

THE QUESTION WAS CALLED ON THE MAIN MOTION AND DECLARED CARRIED.

**Issuance of Permit
#00424**

Moved by Councillor Cunningham, seconded by Councillor Lord:

THAT the Corporate Officer be authorized to issue Development Variance Permit #00424 to vary section 9.10.6 of Zoning Bylaw #5000 to allow a reduction in the minimum rear yard setback at 3803 23rd Street, once all conditions of Council are satisfied.

CARRIED.

COUNCIL INQUIRIES

**GOOD NEIGHBOUR
BYLAW #4980 -
BOULEVARDS**

Council advised that an email inquiry was received related to the Good Neighbour Bylaw #4980, as to what can be left on COV boulevard (ie. waste materials). The inquiry will be forwarded to Admin for response to next Council meeting through an Admin Update.

ADMINISTRATION UPDATES

**ADMINISTRATION
UPDATES
(0550-05)**

Moved by Councillor Nahal, seconded by Councillor Lord:

THAT Council receives the Administration Updates dated October 9, 2018.

CARRIED.

UNFINISHED BUSINESS

**ACTIVATE SAFETY
TASK FORCE
RECOMMENDATION
FOLLOW UP: RCMP
(6460-20)**

Moved by Councillor Lord, seconded by Councillor Nahal:

THAT Council receives the letter dated September 19, 2018 from Supt. Shawna Baher, OIC, Vernon North Okanagan Detachment regarding Activate Safety Task Force Recommendations.

CARRIED.

Councillor Quiring declared a conflict in the following matter as his firm may be participating in some of the proposed projects. Councillor Quiring left the meeting at 1:39 pm.

**KAL TIRE PLACE
ARENA EXPANSION
PROGRESS –
SEPTEMBER
(7840-06)**

Moved by Councillor Cunningham, seconded by Councillor Lord:

THAT Council receive the memorandum titled Kal Tire Place Arena Expansion Progress – September, dated September 28, 2018 from Doug Ross, Director, Recreation Services for information purposes.

CARRIED.

Councillor Quiring returned to the meeting at 1:39 pm

MATTERS REFERRED FROM COMMITTEE OF THE WHOLE – OCTOBER 9, 2018

Moved by Councillor Lord, seconded by Councillor Nahal:

THAT Council **ratifies and confirms** the following resolutions adopted at the **October 9, 2018**, Committee of the Whole meeting of Council:

**PRESENTATION -
DRAFT GREATER
VERNON
RECREATION
MASTER PLAN
(7700-10)**

‘THAT Council endorse the Amended Final Greater Vernon Recreation Master Plan, as at the October 9, 2018 Committee of the Whole Meeting;

AND FURTHER, that Council direct Administration to advise the District of Coldstream and the Electoral Area Directors of Council’s direction regarding the final Greater Vernon Recreation Master Plan;

AND FURTHER, should the final Greater Vernon Recreation Master Plan be endorsed by the District of Coldstream Council, Electoral Area B & C Directors and Vernon Council, that Council direct Administration to report back to Council and supply an action plan for the implementation of the short term, high priority recommendations included in the plan by January 28, 2019.

CARRIED.

MATTERS REFERRED FROM THE IN-CAMERA MEETING – SEPTEMBER 4, 2018:

THAT Council brings forward, as public information, the following motions **declassified** from confidential to non-confidential at the **September 4, 2018**, In Camera meeting:

**HIGHWAY 97 NORTH
END MEDIAN –
LANDSCAPING
(5400-25)**

‘THAT Council direct Administration to advise the Ministry of Transportation and Infrastructure of the City’s intention to remove the trees and shrubs on the median north of Stickle Road and that the maintenance of the median will be turned back to the Ministry once complete;

AND FURTHER, that Council direct Administration to remove the remaining median landscaping located on Highway 97 north of Stickle Road at a cost of \$50,000 with the source of funds being the 2017 year end uncommitted, unexpended balance as outlined in the report titled “Highway 97 North End Median – Landscaping” dated August 22, 2018 from the General Manager, Public Works;

AND FURTHER, that Council direct Administration to send a letter to the owner of Swan Lake Nursery advising of the City’s intention to remove the landscaping and the rationale behind the decision; 19

AND FURTHER, that Council declassifies the resolution upon notification to Swan Lake Nursery, and Regional District of North Okanagan, Electoral Area B.'

MATTERS REFERRED FROM THE IN-CAMERA MEETING – OCTOBER 9, 2018:

THAT Council brings forward, as public information, the following motions **declassified** from confidential to non-confidential at the **September 9, 2018**, In Camera meeting:

**REFUND OF
SIDEWALK GIFTING
AND WORKS
CONTRIBUTION
AGREEMENT FUNDS
(1660-20)**

'THAT Council support refunding specific sidewalk gifting and works contribution agreement funds related to changes to City road standards for offsite road works, resulting from adoption of amendments to Schedule A and B of Subdivision and Development Servicing Bylaw #3843;

AND FURTHER, that Council direct Administration to return funds for works no longer required and contact those with Agreements dated January 2017 or later, where the Agreement holders are the current owners of those lands identified in the Agreement, advising them of their legal rights and requesting their authorization to alter the agreement in order to return all or part of the funds as determined by Administration;

AND FURTHER, that Council direct Administration to apply to the Court for direction under Section 86 of the Trustee Act to obtain options and advice on how to deal with funds related to Agreements dated prior to January 2017 and where agreement holders have changed, no longer exist or where no authorization to alter the Agreement for refund is received by the City;

*AND FURTHER, that Council **rescind** the Sidewalk Construction Policy.'*

**RENEWAL LEASE
AIRPORT – 6400
TRONSON ROAD
(8400-02-10)**

'THAT Council direct Administration to renew the airport commercial lease with Randy Gee Holdings Inc., for the 2,851.22 m² of land located at 6400 Tronson Road, Vernon Regional Airport, for the term January 1, 2019 thru December 31, 2028, with basic rent of \$12,343.93 plus GST for year one of the renewal lease.'

**PURCHASE
STATUTORY RIGHT
OF WAY FOR
STORM
INFRASTRUCTURE
– 4210 24TH
AVENUE
(5410-10-24 AVE)**

'THAT Council directs Administration to purchase approximately 3,380 square feet of land from the owner of 4210 24th Avenue, PID: 002-911-574, Legal: Lot 1, Plan 32665, District Lot 71 and 74, ODYD, at a price of \$5.71 per square foot, in order to register a statutory right of way for storm infrastructure;

AND FURTHER, that Council directs Administration to draw the funds required for the purchase of the statutory right of way including land cost estimated at \$19,300, survey estimated at \$4,000 and legal estimated at \$1,000 from the Infrastructure Reserve Fund.'

NEW BUSINESS

CORRESPONDENCE:

**CBW DEVELOPMENT
CORP. – 2016 AND
2017 FINANCIAL
STATEMENTS
(1610-01)**

Moved by Councillor Cunningham, seconded by Councillor Nahal:

THAT Council approve the financial statements of CBW Development Corp. for the periods ended December 31, 2016 and December 31, 2017 as presented.

CARRIED.

**GRANTS UPDATE
JANUARY TO
SEPTEMBER 2018
(1855-21)**

Moved by Councillor Cunningham, seconded by Councillor Lord:

THAT Council receives the memorandum dated October 9, 2018, from the Manager, Communications & Grants, regarding the Grant Update: January 1 to September 30, 2018.

CARRIED.

**BC CIVIL LIBERTIES
ASSOCIATION –
BYLAW TO
REGULATE
SHOPPING CARTS
(6460-20)**

Moved by Councillor Quiring, seconded by Councillor Cunningham:

THAT Council receives the letter dated September 24, 2018 from Meghan McDermott, Staff Counsel, BC Civil Liberties Association regarding the Bylaw to Regular Shopping Carts.

CARRIED.

REPORTS:

**ZONING BYLAW
#5000, SCHEDULE B –
ADDITIONAL
SETBACKS FROM
CITY ROADS
(6450)**

Moved by Councillor Cunningham, seconded by Councillor Lord:

THAT Council support the proposed amendments to Zoning Bylaw #5000, Schedule B – Additional Setbacks from City Roads by deleting the existing Schedule B and replacing it in its entirety with the revised Schedule B, included as Attachment 1 in the report titled “Zoning Bylaw #5000, Schedule B – Additional Setbacks from City Roads”, dated October 2, 2018 and respectfully submitted by the Manager, Engineering Development Services.

CARRIED.

**2018 LAKE ACCESS
PLAN
(8700-02-01)**

Moved by Councillor Quiring, seconded by Councillor Lord:

THAT Council endorse the 2018 Lake Access Plan as attached to the report titled "2018 Lake Access Plan" dated October 1, 2018 from the Parks Planner.

CARRIED.

**2018 – ROLLING 4
YEAR CAPITAL PLAN
(5700-04-01)**

Moved by Councillor Cunningham, seconded by Councillor Lord:

THAT Council endorse the 2018 Rolling 4 Year Capital Plan, appearing as Attachment 1 to the report titled 2018 – Rolling 4 Year Capital Plan, dated September 27, 2018 as submitted by the Manager, Infrastructure Management.

CARRIED.

**REZONING
APPLICATION FOR
7250 HITCHCOCK
ROAD
(ZON00296)**

Moved by Councillor Anderson, seconded by Councillor Quiring:

THAT Council support the application to rezone the S ½ of the S ½ of the SW ¼ of Sec 19 Twp 5 ODYD (7250 Hitchcock Road) within the Foothills Neighbourhood from NU (NORD) to HR1 (Hillside Residential Single and Two Family), HR2 (Hillside Residential Multi-Family), and P1 (Parks and Open Space) in order to allow the subdivision of single and two family lots, a multi-family lot, the dedication of undisturbed open space and a remnant parcel subject to the following conditions:

- a) Registration of a Section 219 "No Disturb" Covenant on the remnant parcel that would restrict future subdivision or development until the approval of a pre-plan, consistent with the Foothills Neighbourhood Plan, that would identify the location of a future road network that respects sensitive areas including seasonal water bodies or drainage courses, ensures access to lands beyond, and provides for future parks and trail connections;
- b) Preparation of a phased servicing plan that identifies onsite and offsite servicing upgrades necessary to support the development of the subject lands, including the first phase of development and the remnant parcel;
- c) The design of on-site and off-site works and services necessary to service the first phase of development and the remnant parcel; and
- d) Payment of water latecomer charges for use of reservoir capacity in the Sun Peaks Reservoir.

AND FURTHER, that prior to adoption of a zoning amendment bylaw:

- a) The applicant provide geotechnical information regarding slope and soil conditions along the edge of the ravine located along the east property line, including recommendations regarding the location of a no disturb covenant, a trail for public access, and safe building setbacks in this area; and
- b) Security in the amount of 125% of estimated costs be provided for the construction of a fence to delineate the recommended no disturb area and trail location along the east property line.

CARRIED.

LEGISLATIVE MATTERS:

ADOPTION

- 5726

Moved by Councillor Cunningham, seconded by Councillor Nahal:

THAT Bylaw #5726, "**Officers Bylaw Number 5726, 2018**" – a bylaw to provide for the establishment of officer positions, **be adopted.**

CARRIED.

- 5727

Moved by Councillor Quiring, seconded by Councillor Lord:

THAT Bylaw #5727, "**Delegation of Authority Bylaw Number 5727, 2018**" – a bylaw to provide for the delegation of powers, duties and functions **be adopted.**

CARRIED.

- 5720

Moved by Councillor Cunningham, seconded by Councillor Nahal:

THAT Bylaw #5720, "**30th Street North of Highway 6 and 29th Avenue East of 30th Street Municipal Fee Bylaw Number 5720, 2018**" – a bylaw to impose charges for undergrounding overhead utilities **be adopted.**

CARRIED.

FIRST & SECOND READINGS AND PUBLIC HEARING DATE

- 5728

Moved by Councillor Quiring, seconded by Councillor Lord:

THAT Bylaw #5728, "**7250 Hitchcock Road Rezoning Amendment Bylaw Number 5728, 2018**" a bylaw to rezone the subject property from 'NU (NORD)' to 'HR1 (Hillside Residential Single and Two Family)', 'HR2 (Hillside Residential Multi-Family)', and 'P1 (Parks and Open Space)', **be read a first and second time;**

AND FURTHER, that the Public Hearing for Bylaw #5728 be scheduled for **Monday, November 26, 2018**, at **5:30 pm**, in Council Chambers.

CARRIED.

COUNCIL INFORMATION UPDATES:

COUNCILLOR DALVIR NAHAL

Councillor Nahal provided a verbal report on the following matters:

**MEETING/EVENT
ATTENDANCE**

- Thank you to Staff for efforts over past four years
- Thank you to Council and the Community for this experience
- Proud of accomplishments

COUNCILLOR BRIAN QUIRING

Councillor Quiring provided a verbal report on the following matters:

**MEETING/EVENT
ATTENDANCE**

- End of seven years on Council
- Thanks to Staff and Administration
- Proud of accomplishments, particularly efforts toward affordable housing
- Thanks to Mayor & Council

COUNCILLOR SCOTT ANDERSON

**MEETING/EVENT
ATTENDANCE**

- Reiterated previous comments
- Quoted Councillor Bob Spiers: *'Nothing to Report'*

MAYOR AKBAL MUND

Mayor Mund provided a verbal report on the following matters:

**MEETING/EVENT
ATTENDANCE**

Attended:

- Emergency Policy & Planning Meeting
- Nexus 30th Anniversary Event
- Rail Trail Grand Opening – well attended
- Emergency Services Show Case in Polson Park – well attended
- United Way Breakfast Fundraiser
- Airport Advisory Committee in Kelowna
- Encouraged Voting for Cultural Facility
- Candidates – watch what you say please – facts must be correct – suggested Social Media is not the place to obtain facts
- Thank you to Council, Staff and Administration

COUNCILLOR CATHERINE LORD

Councillor Lord provided a verbal report on the following matters:

**MEETING/EVENT
ATTENDANCE**

- Last Council meeting
- Emailed staff to say thank you
- Thanks to two Councils worked with, Media and Staff
- Thanks to Residents for electing twice
- Made tremendous strides in 7 years – not an easy job
- Hard to make decisions that are right for Community amidst opposition
- Proud of Infrastructure Funding Plan and Goals that have been reached
- Past few years - Master Water Plan, Local Parks back to the COV, Public Consultation efforts noted
- Twinning of Kal Tire Place noted
- Living in tumultuous times – upcoming election is an opportunity to vote to continue positive progress
- Need a good balance of people with empathy and common sense
- Noted contributions of Councillor Spiers

COUNCILLOR JULIETTE CUNNINGHAM

Councillor Cunningham provided a verbal report on the following matters:

**MEETING/EVENT
ATTENDANCE**

- Concurred with Council comments
- 10 years at COV
- Believes COV is on solid foundation
- Master Plans completed over past several years noted
- Noted Infrastructure Plan
- Noted Significant work at Regional District level (Water Plan)
- Noted Cultural Facility referendum – supports and noted Mr. David Hesketh's bravery in supporting the project regardless of his health
- Noted importance of fiscal accountability
- Thanks to colleagues over past four years – important to have independent thinkers at the table who are willing to debate
- Noted progress toward affordable housing and steps needed to proceed
- Thanks to CAO for leadership and all of Staff
- Endorses Victor Cumming for Mayor of Vernon
- Has been appointed to the Okanagan College Board of Governors so will remain active in the Community
- Thank you to residents who supported over past 10 years

**RECONSIDERATION -
29TH STREET
PARKING LOT
LANDSCAPING
(0912-02)**

Moved by Councillor Nahal, seconded by Councillor Quiring:

THAT pursuant to section 33. of Council Procedure Bylaw #4840, that Council **reconsiders** the motion passed at the September 24, 2018 meeting as follows:

'THAT Council direct Administration to proceed with the 29th Street parking lot landscaping as originally planned and outlined in the memo titled "29th Street Parking Lot Landscaping: and dated September 12, 2018 received from the Manager of Roads, Drainage and Airport;

AND FURTHER, that Council direct Administration to fund the estimated budget shortfall of \$60,000 from the 2017 year end uncommitted, unexpended balance.'

CARRIED.

Moved by Councillor Nahal, seconded by Councillor Quiring:

THAT Council **rescinds** the following resolution passed at the September 24, 2018 Regular Council meeting:

'THAT Council direct Administration to proceed with the 29th Street parking lot landscaping as originally planned and outlined in the memo titled "29th Street Parking Lot Landscaping: and dated September 12, 2018 received from the Manager of Roads, Drainage and Airport;

AND FURTHER, that Council direct Administration to fund the estimated budget shortfall of \$60,000 from the 2017 year end uncommitted, unexpended balance.'

AND FURTHER, that Council direct Administration to remove the irrigation and shrubs from the 29th Street parking lot landscaping plan and install the trees with self-watering gator bags as detailed in the memo titled "29th Street Parking Lot Landscaping" and dated September 12, 2018 received from the Manager of Roads, Drainage, and Airport;

AND FURTHER, that Council direct Administration to fund the estimated budget shortfall of \$15,000 from the 2017 year end uncommitted, unexpended balance.

CARRIED.

INFORMATION ITEMS:

Council received the following information items:

- A. Minutes from the following Committees of Council:
 - (i) Economic Development, June 28, 2018
 - (ii) Tourism Commission, July 18, 2018
 - (iii) Advisory Planning, September 5, 2018

**CLOSE OF REGULAR
OPEN MEETING**

Mayor Mund closed the Regular Meeting at 2:53 pm.

CERTIFIED CORRECT:

Akbal Mund
Mayor

Patti Bridal
Corporate Officer

Quarterly Policing Report

3rd Quarter – July to September 2018



Vernon North Okanagan Detachment

Committed to preserve the peace, uphold the law and provide quality service in partnership with our communities.

Date: October 15, 2018

Re: Vernon North Okanagan Detachment Policing Activity Report – 3rd Quarter 2018

All crime statistics for specific areas are featured at the end of this report. Statistics reflect monthly totals for July to September 2018 with comparisons from the previous year.

Vernon North Okanagan Detachment remains committed to our strategic priorities of Crime Reduction, Communication and Road Safety. During the third quarter of 2018, we saw an 11.1% decrease in Criminal Code offences as well as an 18.36% decrease in property crime. With regards to our road safety initiatives, road check-stops decreased 74.36% and we had a decrease of 33.33% in alcohol related traffic enforcement conducted by members.



On the Canada Day long weekend, the Funtastic baseball tournament with beer garden and nightly concerts kicked off the summer. In July, the Okanagan Military Tattoo drew large crowds to Kal Tire Place to enjoy pipe bands and drill displays. During the Labour Day long weekend, Armstrong hosted another successful Interior Provincial Exhibition and Stampede. Vernon North Okanagan RCMP were well prepared for all these events with operational plans and additional resources in place, including our marine section conducting patrols on Kalamalka Lake and Lake Okanagan.

On July 23rd, Vernon North Okanagan Detachment welcomed our new Officer in Charge, Superintendent Shawna Baher. In the last month, Superintendent Baher has secured funding for the Enhanced Traffic Enforcement initiative, launched the Vernon North Okanagan Facebook page, and participated in the Upper Room Mission's needle pick up, issuing a challenge to Vernon Fire Rescue to participate. The challenge has increased momentum with the BC Ambulance Service and the City of Vernon contributing their time. As well, our new Coffee with a Cop community event, held at six different coffee shops throughout our area, was a great way to meet the community in an informal setting.

In September, Vernon North Okanagan Detachment's former transcriptionist, Denise McMahon, joined the South East District Cops for Kids Team for a 4th time to participate in the grueling 10 day cycle ride of challenging terrain from Kelowna through Osoyoos, Grand Forks, Castlegar, Creston, Cranbrook, Golden, Kamloops and Vernon. This year's ride raised in excess of \$325,000 in support of kids throughout South Eastern BC who have medical, physical or traumatic challenges.

This report reflects a representative sampling of our policing activities for the 3rd quarter of 2018.

GENERAL DUTY

- On July 4th, General Duty police responded to a report in Vernon of a male who smashed a car window and was attempting to break into the residence of an 84 year old woman. On police arrival, they were confronted by a 34 year old male who had both an axe and a hammer in his hands. The male was subdued using a Conducted Energy Weapon and taken into custody. He was released by the courts on a Recognizance of Bail with 17 conditions pending his next court appearance.

- On July 26th, police observed a male at Kin Beach matching the description of an individual wanted for attempted murder. An arrest plan was quickly established by General Duty police officers and the male was taken into custody after a brief foot pursuit into the water. The individual remains in custody.
- On August 7th, General Duty police responded to a robbery of a Corn Hut in Vernon. A photo of the suspect's truck was quickly disseminated to the media by police. As a result, the accused turned himself in and the subsequent search warrant on the truck located the suspected weapon.
- On August 11th, General Duty police on patrol arrested a male riding a bicycle in Vernon for being in possession of bear spray and break and enter tools. Subsequent search revealed a large amount of loose change as well as crack cocaine, heroin and crystal methamphetamine. The male was released from custody by the court on a Recognizance of Bail with six conditions.
- On August 13th, General Duty police attended to an address in Vernon to arrest a male on numerous outstanding warrants. Upon police arrival, the 28 year old male attempted to evade police by running through a nearby creek. After a brief foot pursuit, the male was arrested without incident and appeared in court on numerous charges. The male remains in custody.
- On August 14th, General Duty police responded to two separate robberies at two businesses in Vernon within a two hour time period. The suspect had fled in a black Dodge truck and, despite numerous patrols conducted by police, the suspect vehicle was not located. Through the use of digital technology, the suspect's photo was disseminated through the Okanagan. Within a few hours, the truck was located in a neighboring detachment area and the 28 year old male was taken into custody to appear in court. This individual was identified as a suspect in numerous robberies in other jurisdictions including the Lower Mainland.

GENERAL INVESTIGATION SECTION (GIS)

Serious Crimes Unit (SCU):

The following report is a synopsis of some of the most recent investigations the Vernon Serious Crimes Unit has conducted. This report does not reflect all investigations the officers are working on and does not include information which could impact ongoing police investigations or those which are of interest to, or under investigation by, other agencies. SCU investigators continue to work on numerous historical major cases which were initiated outside of this reporting period.

- On August 10th, the SCU's Fire Investigator assisted the Vernon Fire Department with investigation of a fire at a problem premise in Vernon. There was no evidence to indicate the fire was deliberately set.
- On August 23rd, SCU Sex Crimes investigated the possession and distribution of child pornography as a result of a report from BC Integrated Child Exploitation Unit. The investigation is ongoing.
- On August 31st, SCU investigated an individual who provided false information to the courts when offering surety for an offender released by the courts to the community. The individual was arrested and is charged with obstruction of justice.

- On August 31st, a local High Risk Offender monitored by SCU was in breach of their release conditions and was arrested. The accused remains in custody.
- On September 7th, a local High Risk Offender being monitored by SCU was in breach of release conditions and was subsequently arrested. The matter is before the courts.

Domestic Violence Unit (DVU):

The DVU continues to monitor numerous files that are either in the court process or require a multi-agency response through the Integrated Case Assessment Team. These files include situations where the offender used or threatened violence and where there was a high risk to the safety of the victim. Also during this quarter, DVU completed lengthy risk assessments on two highest risk domestic violence cases.

- In one investigation, the offender was charged with distributing intimate images of the victim on the internet. The offender has been arrested and remains in custody facing multiple charges.
- In July, DVU became involved in an investigation regarding an individual who threatened to kill the common law spouse's pets. The accused was arrested and released from custody on numerous conditions.
- In July, DVU monitored an investigation regarding an assault by the victim's boyfriend, which included an attempt to hit the victim with his vehicle and threatening her with a firearm. The accused was arrested and a firearm was seized.

TARGETED POLICING

Targeted Policing provided assistance to a number of General Duty, Serious Crimes and Provincial GIS investigations. In an effort to continue working closely with partner agencies and stakeholders, the Targeted Policing Unit met regularly with numerous partner agencies including Interagency, Outreach and Mentally Disordered Offenders.

Provincial Tactical Enforcement Priority (PTEP):

- Targeted Policing continue to participate in the policing priority of identifying, profiling, selecting and targeting individuals and/or groups involved in criminal activity and, because of their association to gangs/organized crime, pose a safety risk to the community.
- For this period, five individuals/groups have been identified.

Task Force (TF):

- On July 11th, Task Force conducted a drug trafficking investigation which resulted in the arrest of a male in possession of numerous street level packages of fentanyl and cocaine. The 35 year old male is charged with possession for the purpose of trafficking.

- On August 1st, a search warrant was executed by Task Force at a residence on 32nd Street in Vernon which resulted in the arrest of several persons and the seizure of significant quantities of fentanyl, cocaine, and methamphetamine along with Canadian currency and other drug trafficking items. The investigation into this problem residence continues.
- On August 15th, Task Force executed a search warrant at a problem residence on 24th Avenue in Vernon which resulted in the seizure of significant quantities of fentanyl and cocaine along with Canadian currency and other drug trafficking items. The investigation continues.
- On August 30th, a search warrant was executed by Task Force at a residence on 21st Avenue which resulted in the seizure of fentanyl, cocaine, and methamphetamine as well as a prohibited weapon, Canadian currency and other drug trafficking items. A male and female in their 50's were arrested and charges have been recommended to Crown Counsel.
- On September 6th, Task Force conducted a drug trafficking investigation which resulted in the arrest of a male in possession of methamphetamine. A charge of possession for the purpose of trafficking has been recommended to Crown Counsel.

Crime Reduction Unit (Downtown Enforcement Unit and Prolific Offender Unit):

The Crime Reduction Unit perform a significant role in bi-weekly comparative statistics meetings where emerging crime trends, hot spots of criminal activity, problem premises, priority prolific offenders and social chronic offenders are identified and tasks are assigned to various units to help reduce crime.

- Prolific Offenders: At the conclusion of this reporting period, there were 18 prolific offenders identified for monitoring in the Vernon North Okanagan. Of those, 7 are currently in custody and 11 are not in custody.
- In July, the Crime Reduction Unit assisted General Duty with the investigation of a subject believed responsible for theft of motor vehicle over \$5000.
- On July 26th, Crime Reduction arrested a male wanted for attempted murder. When the male was searched subsequent to arrest, methamphetamine and marihuana were found. The male remains in custody.
- On August 19th, the Crime Reduction Unit arrested a male in a stolen vehicle, who was found to be in possession of other stolen property. The male remains in custody.
- Crime Reduction investigated a series of business break and enters in Vernon which identified a vehicle stolen from another jurisdiction as involved in the crimes. This information led to the arrest of the subject.

NORTH OKANAGAN RURAL GENERAL DUTY (GD)

- On July 1st, two vehicles collided on Highway 97A in Spallumcheen leaving one driver trapped. Fire rescue extracted the driver who was investigated for impaired driving. The driver refused to provide a breath sample and the matter is before the court.
- On July 6th, an unknown suspect attempted to break into a business in Enderby causing damage to a door. No entry was gained to the building.
- On July 24th, a vehicle drove off the road and damaged a fence in Spallumcheen. The vehicle left the scene, however became disabled a short distance away. The new driver possessed a restricted license and it was determined the driver had consumed alcohol. The driver was served a 12 hour driving suspension and charged with drive without consideration.
- On July 25th, a witness reported a male had hidden a firearm in some bushes at a campground in Enderby. Police located the firearm and established the identity of the male who was on conditions not to possess weapons. The male was charged with breach of conditions and unsafe storage of a firearm.
- On July 29th, police recovered stolen property from a trailer in Spallumcheen. The property was from a break and enter which occurred in September of 2017 in Kelowna. The suspect was identified and a warrant for arrest requested.
- On August 7th, police attempted to stop a vehicle being driven by a prohibited driver in Enderby. The vehicle evaded police but was later located at a residence. The male driver is charged with numerous offences including dangerous driving, driving while prohibited and flight from police. The matter is before the courts.
- On August 9th, police stopped a motorcycle in Falkland for erratic driving. The driver, who was bound by a 90 day driving prohibition, failed a road side breath test. The motorcycle was impounded and the driver is charged with impaired driving and drive while prohibited.
- On August 17th, police observed a vehicle cross the center line on Hwy 97A in Spallumcheen. The driver was checked and failed a road side breath test. The vehicle was impounded for 30 days and the driver issued a 90 day driving prohibition.
- On August 18th, police responded to a single vehicle collision into a power pole on Hwy 97A in Enderby. The lone occupant was pronounced deceased on scene.
- On August 26th neighbours reported hearing screams from a residence in Armstrong. When police attended, it was discovered the male occupant had assaulted his female companion and uttered threats. The male was arrested.

- On Sept 2nd, police conducted a routine traffic stop in Enderby which resulted in the driver being issued a 90 day driving prohibition. The vehicle was impounded for 30 days and the driver is charged with drive while prohibited.
- On Sept 5th, unknown suspects gained entry into a business in Grindrod however it appeared nothing was stolen. The incident remains under investigation.
- On Sept 6th, a business in Enderby was broken into by prying open the front door. Unknown suspects stole two computer servers and the file is still under investigation.
- On Sept 7th, police responded to two males fighting behind an apartment building in Armstrong. When both individuals were arrested for causing a disturbance, the males assaulted the police officer in an attempt to flee. This incident is before the courts.
- On Sept 7th, a lone male entered a business in Armstrong and demanded money. The male fled and was arrested by police for robbery. It was learned he was on probation for robbery in the Lower Mainland. The male remains in custody.
- On Sept 10th, a business in Grindrod was broken into through the front door and the suspect stole a few minor items. The Forensic Identification Section attended, however no suspects were identified and the investigation continues.
- On Sept 24th, police responded to an early morning alarm at a business in Grindrod. Suspects gained entry through a window and fled prior to police arrival. No suspects have been identified and the incident is still under investigation.

NORTH OKANAGAN RURAL GENERAL INVESTIGATION SECTION (GIS)

The following report is a synopsis of some of the most recent investigations the Provincial Rural General Investigation Section (GIS) has received and investigated, however it does not reflect all investigations the officers are currently conducting.

- Rural GIS assisted another detachment with a sexual assault investigation that occurred in that area during the winter.
- Rural GIS assisted with a historical sexual assault investigation that occurred in a northern jurisdiction.

TRAFFIC ENFORCEMENT

North Okanagan Rural:

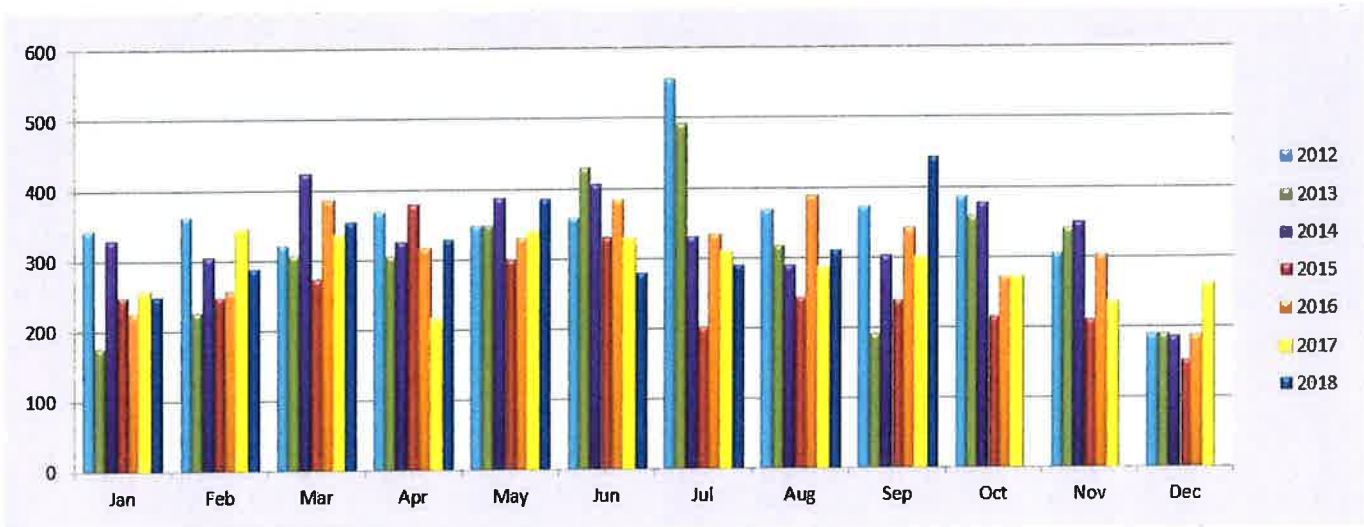
- Road Check Stops - 7
- Impaired Drivers taken off the road by way of suspension or charges - 12
- Distracted Driver charges - 5

Area	Violation Ticket	Warning
Armstrong	73	25
Enderby	46	52
Falkland	33	8
Lumby	58	16
Spallumcheen	58	51
Westside	11	6

Vernon/Coldstream:

- Road Check Stops - 3
- Impaired Drivers taken off the road by way of suspension or charges – 41
- Distracted Driver charges – 6

Area	Violation Ticket	Warning
Vernon	494	165
Coldstream	118	71
Vernon Rural	82	17



This graph depicts the total traffic enforcement (Tickets & Warnings) results for Vernon, Coldstream & Vernon Rural areas

FORENSIC IDENTIFICATION SECTION (FIS)

Our FIS operated with two regular members and utilized the expertise of two reserve members to meet increased demands for service. During this quarter, a total of 23 individuals were identified on 14 files through fingerprints or other types of physical evidence.

Offence	Vernon	Coldstream	Rural
Break & Enter	18	1	7
Theft Vehicle	9	1	8
Theft	11	0	0
Mischief	0	1	2
Assault	2	0	2

Arson	1	0	0
Armed Robbery	2	0	0
Drugs	2	0	0
Firearms Act	2	0	0
Misc.	0	0	3
Total	47	3	22

Note: "Vernon" FIS Calls for Service encompass Vernon, Coldstream and Vernon Rural. The "Rural" calls for service include Armstrong, Enderby, Falkland, Lumby & Westside.

POLICE DOG SERVICES (PDS)

Currently, the Vernon North Okanagan Detachment's PDS section has one active police dog. In September, Cst. Rutten and PDS Cain assisted in the apprehension of the driver of a stolen white Subaru BRZ. PDS Cain was able to track through the bush and locate the hidden vehicle.

RESERVISTS

Vernon North Okanagan reservists conduct targeted traffic enforcement in our communities. The reservists assist our General Duty as required, as well as conduct crime scene security, in house training and liaise with Search & Rescue where necessary. The responsibility of our RCMP Boat patrols is with our reservists. This summer, two reservists conducted nine patrols of Okanagan Lake, resulting in seven charges and 72 warnings, five patrols of Kalamalka Lake with five charges and 45 warnings issued, and six patrols on Mabel Lake, resulting in 10 charges and 45 warnings. The charges included violations for no life jackets, tow without spotter, underage person operating a sea-doo and no boater's license. Our reservists found the number of boats on the water, including those from Alberta, were down from previous years, largely due to the fires in the area and an increase in smoke.

Detachment	Patrols	V.T.	Warnings
Vernon	12	119	15
Coldstream	23	138	42
Armstrong	3	27	6
Enderby	0	0	0
Falkland	5	26	3
Lumby	0	0	0
Spallumcheen	5	23	4
Westside Road	3	9	1
Total	51	342	71

SCHOOL RESOURCE OFFICER (SRO)

Cst. Dan Cocks has returned to the SRO role for another year after assisting with General Duty policing during the busy summer months. He is busy reconnecting with the youth and staff at the schools.

COMMUNITY POLICING

The City of Vernon RCMP Volunteers currently have 53 active members with another 3 volunteers in Lumby. The volunteers participated in many duties this quarter including Distracted Driving Operations looking for persons using their cell phones, Lock-out Auto Crime targeting theft from vehicle, Canada

Day fireworks, and conducted 18 Vessel Safety pre-check operations, searching for invasive mussels on 243 boats. The COV RCMP Volunteers worked a combined 1005 hours and drove over 4660 km while being eyes and ears for the RCMP. As well, volunteers conducted foot patrols of the parking lots during Funtastic and at the Armstrong IPE where 12 volunteers worked 10 four hour shifts. Speed Watch spent 243 hours in 13 operations and slowed down 16,916 cars.

AUXILIARY CONSTABLES

The Vernon North Okanagan currently has three RCMP Auxiliary Constables with the Program. There have been no further updates with regards to the changes.

HUMAN RESOURCES

- Established Levels: Vernon/North Okanagan Detachment is currently at 100 Regular Members: 56 City of Vernon; 33 Provincial; 7 Coldstream; 3 Spallumcheen and 1 Splants'in First Nation.
- Funded Levels: As of September 31st 2018, the Vernon/North Okanagan Detachment billed 48.95 City of Vernon; 23.76 Provincial, 6.8 Coldstream; 3.02 Spallumcheen and .84 Splants'in First Nations.

3rd Quarter Statistics – City of Vernon

ACTIVITY TYPE	July 2017	July 2018	August 2017	August 2018	Sept 2017	Sept 2018
Total Files	1685	1625	1579	1607	1482	1340
Robbery	5	2	4	9	2	1
Assault (Includes DV)	34	41	22	35	38	27
Domestic Violence	14	7	5	5	12	4
Sex Offence	1	3	7	12	5	4
B&E Residence	27	7	21	7	10	10
B&E Commercial	5	14	5	22	8	22
Theft of Vehicle	18	17	7	19	15	5
Theft From Vehicle	51	62	64	71	82	62
Theft Over \$5000	3	3	2	1	3	1
Theft Under \$5000	101	65	92	79	104	71
Drug Offence	29	37	28	32	25	16
Liquor Offences	60	49	31	25	27	25
Impaired Driving	9	14	8	2	15	7
24 Hour Driving Suspension	6	4	17	7	5	-
Motor Vehicle Accidents	54	49	67	36	39	35

3rd Quarter Statistics – Vernon Rural

ACTIVITY TYPE	July 2017	July 2018	August 2017	August 2018	Sept 2017	Sept 2018
Total Files	158	153	143	139	152	141
Robbery	-	-	-	-	-	-
Assault (Includes DV)	1	3	6	1	-	2
Domestic Violence	-	1	1	-	-	1
Sex Offence	-	2	-	-	-	-
B&E Residence	3	-	2	1	-	2
B&E Commercial	7	-	3	1	-	3
Theft of Vehicle	2	2	2	1	-	3
Theft From Vehicle	3	10	11	7	9	9
Theft Over \$5000	-	1	2	-	1	-
Theft Under \$5000	3	10	4	2	3	4
Drug Offence	4	1	-	-	1	-
Liquor Offences	2	-	-	2	-	-
Impaired Driving	1	3	-	2	-	3
24 Hour Driving Suspension	1	1	-	-	1	-
Motor Vehicle Accidents	11	6	10	8	13	4

“The quarter crime statistics are a sampling of the 15 most commonly reported Crime Codes which have the greatest impact on communities and provide police with valuable insight into crime activities and trends. Currently, there are over 700 Crime/Survey Codes utilized by Canadian policing agencies in the reporting of crime to the Canadian Centre for Justice in Ottawa.”

3rd Quarter Statistics – District of Coldstream

ACTIVITY TYPE	July 2017	July 2018	August 2017	August 2018	Sept 2017	Sept 2018
Total Files	178	170	189	146	136	112
Robbery	-	-	-	-	-	-
Assault (Includes DV)	1	4	6	1	2	1
Domestic Violence	-	2	-	1	1	1
Sex Offence	-	1	3	1	-	-
B&E Residence	3	1	3	-	3	1
B&E Commercial	-	-	-	2	-	1
Theft of Vehicle	1	1	-	4	1	6
Theft From Vehicle	15	22	16	24	28	16
Theft Over \$5000	3	-	-	-	-	1
Theft Under \$5000	2	7	3	5	4	2
Drug Offence	1	2	2	-	-	2
Liquor Offences	6	2	5	1	1	1
Impaired Driving	1	3	1	1	-	-
24 Hour Driving Suspension	-	-	-	1	-	-
Motor Vehicle Accidents	3	6	7	3	2	3

"The quarter crime statistics are a sampling of the 15 most commonly reported Crime Codes which have the greatest impact on communities and provide police with valuable insight into crime activities and trends. Currently, there are over 700 Crime/Survey Codes utilized by Canadian policing agencies in the reporting of crime to the Canadian Centre for Justice in Ottawa."

3rd Quarter Statistics – City of Armstrong

ACTIVITY TYPE	July 2017	July 2018	August 2017	August 2018	Sept 2017	Sept 2018
Total Files	109	92	109	105	116	113
Robbery	-	-	-	-	-	1
Assault (includes DV)	2	1	1	6	5	8
Domestic Violence	1	-	-	3	-	-
Sex Offence	-	-	-	1	2	-
B&E Residence	1	1	1	1	-	-
B&E Commercial	1	-	-	1	5	-
Theft of Vehicle	-	-	1	-	1	2
Theft From Vehicle	2	8	4	1	3	-
Theft Over \$5000	-	-	-	1	-	-
Theft Under \$5000	5	5	4	7	3	5
Drug Offence	1	1	-	1	2	-
Liquor Offences	3	3	4	6	9	5
Impaired Driving	-	1	-	1	1	-
24 Hour Driving Suspension	1	1	-	1	-	1
Motor Vehicle Accidents	2	3	5	1	1	3

3rd Quarter Statistics – Spallumcheen

ACTIVITY TYPE	July 2017	July 2018	August 2017	August 2018	Sept 2017	Sept 2018
Total Files	115	91	124	96	101	81
Robbery	-	-	-	-	-	-
Assault (Includes DV)	1	-	-	-	4	4
Domestic Violence	1	1	-	-	2	1
Sex Offence	-	-	-	-	-	-
B&E Residence	1	1	-	-	-	1
B&E Commercial	-	-	-	-	-	1
Theft of Vehicle	1	2	-	-	3	-
Theft From Vehicle	1	2	2	1	-	1
Theft Over \$5000	-	-	1	-	1	1
Theft Under \$5000	3	-	2	-	1	-
Drug Offence	2	1	1	-	1	-
Liquor Offences	2	1	1	-	-	-
Impaired Driving	1	2	1	2	-	-
24 Hour Driving Suspension	2	-	-	-	1	-
Motor Vehicle Accidents	7	9	2	7	9	8

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3rd Quarter Statistics – City of Enderby

ACTIVITY TYPE	July 2017	July 2018	August 2017	August 2018	Sept 2017	Sept 2018
Total Files	109	95	132	103	96	82
Robbery	-	-	1	-	1	-
Assault (Includes DV)	2	5	3	3	2	3
Domestic Violence	-	1	2	-	1	1
Sex Offence	-	1	2	-	-	-
B&E Residence	1	1	-	-	1	-
B&E Commercial	2	2	1	-	-	3
Theft of Vehicle	4	1	1	4	-	4
Theft From Vehicle	8	-	5	5	5	4
Theft Over \$5000	-	-	-	1	-	-
Theft Under \$5000	4	-	4	4	2	6
Drug Offence	2	-	3	-	1	-
Liquor Offences	8	3	8	4	6	2
Impaired Driving	1	1	-	-	-	-
24 Hour Driving Suspension	-	-	-	-	-	-
Motor Vehicle Accidents	1	2	3	3	4	2

3rd Quarter Statistics – Enderby Rural

ACTIVITY TYPE	July 2017	July 2018	August 2017	August 2018	Sept 2017	Sept 2018
Total Files	96	87	116	98	81	79
Robbery	-	-	1	-	-	-
Assault (Includes DV)	1	4	2	3	4	1
Domestic Violence	-	1	-	1	-	1
Sex Offence	-	-	-	-	-	-
B&E Residence	2	1	1	1	-	1
B&E Commercial	1	1	-	-	1	3
Theft of Vehicle	-	1	1	1	2	1
Theft From Vehicle	-	2	2	2	1	1
Theft Over \$5000	-	-	-	-	-	-
Theft Under \$5000	2	-	2	-	1	1
Drug Offence	-	1	2	-	1	-
Liquor Offences	1	2	2	1	-	-
Impaired Driving	-	3	2	-	1	-
24 Hour Driving Suspension	1	-	2	-	1	-
Motor Vehicle Accidents	6	4	8	3	5	4

“The quarter crime statistics are a sampling of the 15 most commonly reported Crime Codes which have the greatest impact on communities and provide police with valuable insight into crime activities and trends. Currently, there are over 700 Crime/Survey Codes utilized by Canadian policing agencies in the reporting of crime to the Canadian Centre for Justice in Ottawa.”

3rd Quarter Statistics – Village of Falkland

ACTIVITY TYPE	July 2017	July 2018	August 2017	August 2018	Sept 2017	Sept 2018
Total Files	16	16	17	7	19	12
Robbery	-	-	-	-	-	-
Assault (Includes DV)	-	2	-	-	-	-
Domestic Violence	-	-	-	-	-	-
Sex Offence	-	-	-	-	-	-
B&E Residence	-	-	1	-	-	-
B&E Commercial	-	-	1	1	1	2
Theft of Vehicle	-	-	-	-	-	-
Theft From Vehicle	-	1	1	-	-	-
Theft Over \$5000	-	-	-	-	-	-
Theft Under \$5000	-	-	-	-	1	-
Drug Offence	-	-	-	-	-	-
Liquor Offences	-	-	1	-	-	-
Impaired Driving	-	-	-	-	-	-
24 Hour Driving Suspension	-	-	-	-	-	-
Motor Vehicle Accidents	2	1	1	-	-	1

3rd Quarter Statistics – Falkland Rural

ACTIVITY TYPE	July 2017	July 2018	August 2017	August 2018	Sept 2017	Sept 2018
Total Files	54	49	82	63	71	36
Robbery	-	-	-	-	-	-
Assault (Includes DV)	2	-	3	2	-	3
Domestic Violence	1	1	2	-	-	1
Sex Offence	-	-	-	-	-	-
B&E Residence	1	-	2	-	-	-
B&E Commercial	-	-	-	1	-	1
Theft of Vehicle	-	-	1	2	1	-
Theft From Vehicle	-	-	1	-	-	-
Theft Over \$5000	-	-	-	-	-	-
Theft Under \$5000	1	-	2	2	1	-
Drug Offence	-	1	1	-	-	-
Liquor Offences	-	-	-	-	-	-
Impaired Driving	-	-	-	-	1	-
24 Hour Driving Suspension	-	1	-	-	-	-
Motor Vehicle Accidents	2	3	6	7	5	2

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3rd Quarter Statistics – Village of Lumby

ACTIVITY TYPE	July 2017	July 2018	August 2017	August 2018	Sept 2017	Sept 2018
Total Files	60	46	50	36	31	37
Robbery	-	-	-	-	-	-
Assault (Includes DV)	1	2	2	2	-	-
Domestic Violence	1	1	1	-	-	-
Sex Offence	-	-	-	-	1	-
B&E Residence	-	-	-	-	-	-
B&E Commercial	1	-	1	1	-	2
Theft of Vehicle	1	1	1	-	-	1
Theft From Vehicle	4	5	-	-	-	1
Theft Over \$5000	-	-	-	-	-	-
Theft Under \$5000	1	-	-	1	1	1
Drug Offence	1	3	1	1	-	1
Liquor Offences	1	-	2	-	-	1
Impaired Driving	-	1	-	-	-	-
24 Hour Driving Suspension	-	-	-	-	-	-
Motor Vehicle Accidents	1	1	1	-	3	2

3rd Quarter Statistics – Lumby Rural

ACTIVITY TYPE	July 2017	July 2018	August 2017	August 2018	Sept 2017	Sept 2018
Total Files	67	78	78	78	54	48
Robbery	-	-	-	-	-	-
Assault (Includes DV)	1	2	2	1	1	4
Domestic Violence	1	1	-	-	-	1
Sex Offence	-	1	-	-	-	1
B&E Residence	-	-	1	-	-	-
B&E Commercial	2	-	1	-	-	-
Theft of Vehicle	-	-	1	1	-	1
Theft From Vehicle	-	-	-	1	-	1
Theft Over \$5000	-	-	-	1	-	-
Theft Under \$5000	2	1	1	2	1	1
Drug Offence	-	4	-	-	-	-
Liquor Offences	-	-	-	1	2	1
Impaired Driving	-	1	1	1	-	1
24 Hour Driving Suspension	-	1	-	-	-	-
Motor Vehicle Accidents	7	10	5	7	3	2

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3rd Quarter Statistics – OKIB

ACTIVITY TYPE	July 2017	July 2018	August 2017	August 2018	Sept 2017	Sept 2018
Total Files	54	71	45	41	57	53
Robbery	-	-	-	-	-	-
Assault (Includes DV)	-	5	5	3	1	2
Domestic Violence	-	3	1	1	-	-
Sex Offence	-	1	-	1	-	2
B&E Residence	-	-	-	1	-	-
B&E Commercial	-	-	-	-	-	-
Theft of Vehicle	1	-	-	1	1	-
Theft From Vehicle	2	2	-	-	-	1
Theft Over \$5000	-	1	1	-	1	-
Theft Under \$5000	1	3	-	-	3	2
Drug Offence	1	1	-	-	1	-
Liquor Offences	1	-	1	-	-	-
Impaired Driving	-	4	-	2	-	1
24 Hour Driving Suspension	1	-	-	-	-	-
Motor Vehicle Accidents	4	3	4	4	4	5

3rd Quarter Statistics – Splatsin

ACTIVITY TYPE	July 2017	July 2018	August 2017	August 2018	Sept 2017	Sept 2018
Total Files	31	34	32	29	26	20
Robbery	-	-	-	-	-	-
Assault (Includes DV)	1	2	2	-	1	1
Domestic Violence	-	1	-	-	-	1
Sex Offence	-	-	-	-	-	-
B&E Residence	-	1	1	-	-	-
B&E Commercial	-	-	-	-	-	-
Theft of Vehicle	-	-	-	-	-	1
Theft From Vehicle	-	1	-	-	1	-
Theft Over \$5000	1	-	-	-	-	-
Theft Under \$5000	-	-	1	-	1	-
Drug Offence	-	-	-	1	-	-
Liquor Offences	-	1	-	-	-	2
Impaired Driving	-	3	-	-	1	2
24 Hour Driving Suspension	-	-	-	-	-	-
Motor Vehicle Accidents	3	2	7	3	1	1

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3rd Quarter Statistics – Westside Road

ACTIVITY TYPE	July 2017	July 2018	August 2017	August 2018	Sept 2017	Sept 2018
Total Files	44	87	58	69	53	54
Robbery	-	-	-	-	1	-
Assault (Includes DV)	2	5	4	3	-	1
Domestic Violence	-	1	-	-	-	-
Sex Offence	-	-	-	-	-	-
B&E Residence	-	-	-	1	1	-
B&E Commercial	-	-	-	-	-	-
Theft of Vehicle	-	-	-	2	2	3
Theft From Vehicle	-	-	-	2	2	2
Theft Over \$5000	-	-	-	-	-	-
Theft Under \$5000	1	1	1	1	-	2
Drug Offence	-	3	1	-	-	-
Liquor Offences	-	1	-	-	-	-
Impaired Driving	2	1	-	-	1	1
24 Hour Driving Suspension	-	-	-	-	-	-
Motor Vehicle Accidents	1	2	4	3	1	6

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STAFF REPORT

TO: Board of Directors
FROM: Community Services

File No: 4720.03
Date: October 9, 2018

SUBJECT: RCMP Victim Services Update – 3rd Quarter 2018

RECOMMENDATION:

That the report titled “RCMP Victim Services Update – 3rd Quarter 2018” and dated October 9, 2018 be received as information.

SUMMARY:

*“The RCMP recognizes Victim Services as an integral component in the continuum of core policing services we deliver to the citizens within the communities we serve”. Victim Services is a key resource in assisting some of our most traumatized citizens, from the victim, family members, witnesses, and the community during an acute crisis, crime, or sudden death. *Victim Services aims to help lessen the impact of crime and trauma on those that have been affected by crime or trauma. Crime and trauma have a significant impact and may include emotional, psychological, physical, and financial strain.*

Our program is a busy program that makes every reasonable effort to support those that may be affected by a crime or trauma so the police are able to focus on their duties during and after a crisis call for service. Our unit is able to provide ongoing support dependent on our client’s needs, from crisis response, ongoing emotional or practical support, referrals, or court support.

*Taken from RCMP-Victim Services Policy 2015-01-29

New Files Opened (July 1 – September 30, 2018): Total is 162

Jurisdiction	New Files Opened
Vernon	Municipal - 88 Rural - 11
Coldstream	4
Armstrong	Municipal - 12 Rural - 0
Spallumcheen	4
OKIB	5
Enderby	16
Splatsin	1

Lumby/Cherryville	Municipal - 0 Rural - 4
Falkland	Municipal - 4 Rural - 3
Other	10

Client Type:

Female - 118	Male - 44
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Service Hours:

Service Hours Completed	Hours
On-call, program staff	13 (hours on call)
On-call, volunteer	11 (hours on call outs)
In office, volunteer	212 hours
Stand-by, volunteer	2139 hours
Stand-by, program staff	1574 hours

Staff:

Full-time	2
Part-time	1
Casual	1

Community Meetings/Training:

- Integrated Case Assessment Team (ICAT) meetings - bi-weekly
- Violence Against Women in Relationships (VAWIR) committee meetings - bi-monthly
- Suicide Prevention committee meetings - monthly
- Oak Centre Leadership and Case Management meetings – monthly
- Staff member attended ESS Psychological First Aid – Guide for Disaster Responders training September 28th

Operational Meetings:

- Detachment liaison meetings
- RDNO employee/liaison/staff meetings
- RDNO VA Manager and RDNO Community Services Manager meetings
- Health and Safety Detachment meetings - monthly
- Police Victim Services of BC board meetings – monthly
- RDNO VA Manager and RDNO Community Services Manager meeting with Manager Victim Services and Crime Prevention Division of MPSSG

DISCUSSION:

Vernon North Okanagan RCMP Victims Assistance 3rd quarter activity report.

BACKGROUND:

The RDNO Victim Services Program opened its doors in the Vernon Detachment in January 1994.

Victim Services provides support to people who have experienced tragedy or been the victim of a crime, from when the incident occurred, to and through the Criminal Justice system, and afterwards through the Provincial or Federal system. Victims Service programs can provide victims with:

- Emotional support to victims (primary and secondary), immediate family members, witnesses, or anyone else impacted by crime or tragedy.
- Immediate crisis intervention at crime scenes and scenes of trauma (depending on VS program resources).
- Information about a victim's file, including progress of police file and court file updates.
- Practical assistance, including safety planning, resource information, information on home security and referrals for Crime Prevention through Environmental Design (CPTED).
- Assistance in completing Victim Impact Statements, Victim Notification Applications (regarding the status of the accused or offender when supervised by Correction Service Canada or Parole Board Canada) and applications for the Crime Victim Assistance Program.
- Orientation to and information on the criminal justice system and witness preparation.
- Court accompaniment or the facilitation of court accompaniment, and liaison with Crown Counsel.
- Referrals to appropriate agencies for additional services such as counselling or other identified needs.

2018, 3rd quarter HIGHLIGHTS: Staff Training/Program Development:

July 1st to September 30th, 2018:

This quarter we have made changes to the Victims Assistance Program, disbanding the volunteer component to client service. We also no longer have an after hour on-call service, except for extreme circumstances. We do not have the budgetary resources to support and after hour on-call service. Change to service became effective September 1, 2018.

Victims Assistance Unit staff celebrated volunteers by holding a private function together with staff, volunteers and spouses to celebrate their years of service. We also held a celebratory thank you and goodbye at the Vernon RCMP Detachment expressing gratitude from the RDNO, the RCMP, and Victims Assistance staff and Manager, which included thank you speeches from the OIC Superintendent Baher, St, Sgt Macleod, and RDNO, Victims Assistance Manager Anita Eilander. Anita spoke to the volunteers thanking them for their years of service and shared that the volunteers past and present have been a key resource for the victim's assistance program. The contributions volunteers have made to the communities of the North Okanagan will never be forgotten. All of the speakers expressed gratitude for their volunteerism and that their time and commitment to the program has been recognized, appreciated, and valued. All of the volunteers received certificates, tokens of appreciation and Victim Services Volunteer pins (Photo attached).

September 10 - Suicide Prevention Team event for World Suicide Awareness Day. The event was held at Polson Park. (Photos attached) This year's theme: Working Together to Prevent Suicide – Be the Light

The event included lantern decorating, guest speakers, music and lantern walk.

Victims Assistance Manager was asked to be on a panel of people assisting to create a Victims Rights Card for "E" Division. Manager provided input and review, and card is currently in final phase before printing.

Victims Assistance Manager, and VA RCMP Liaison Member were also asked by "E" Division Victim Services Program Director to provide input in creating an "E" Division Victims Services Orientation Guide for Detachment Commanders and members.

Submitted by:



Anita Eilander
Manager, Victims Assistance
Vernon North Okanagan RCMP

Reviewed and endorsed by:



Mike Fox
General Manager, Community Services

Approved for Inclusion:



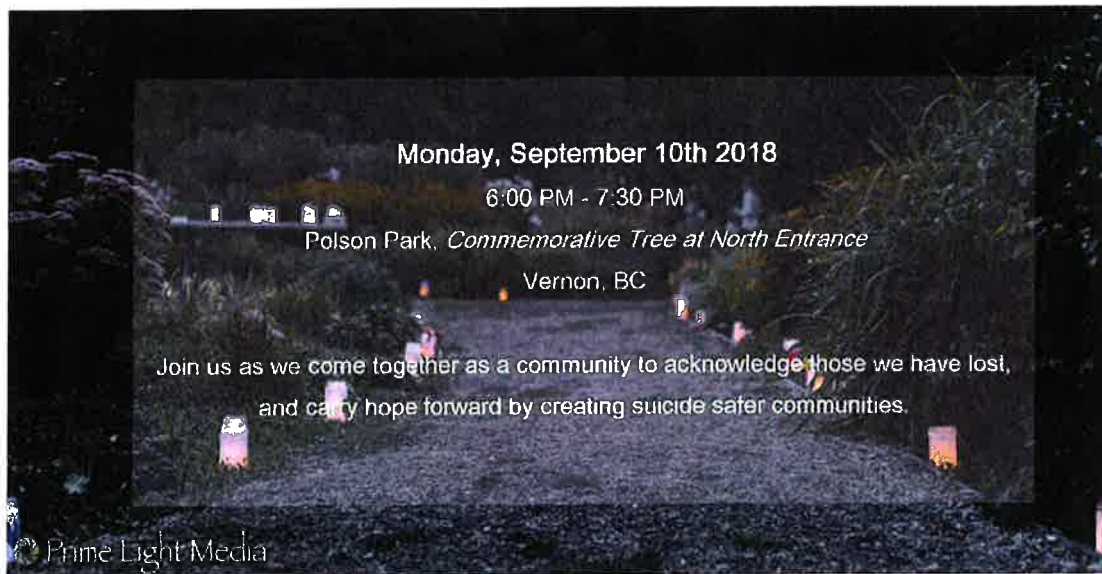
David Sewell
Chief Administrative Officer

Volunteer Appreciation Event



Suicide Prevention Day 2018

Be The Light
In Honor of World Suicide Prevention Day
"Working Together to Prevent Suicide"



PLEASE CONTACT Alyssa Christmas with any questions: Alyssa.Christmas@cmha.bc.ca or 250-542-3114 ext. 232



THE CORPORATION OF THE CITY OF VERNON REPORT TO COUNCIL

ORIGINAL

SUBMITTED BY: Keltie Chamberlain
Planning Assistant,
Craig Broderick,
Manager, Current Planning

COUNCIL MEETING: REG COW I/C
COUNCIL MEETING DATE: November 13, 2018
REPORT DATE: October 17, 2018
FILE: DVP00431

SUBJECT: DEVELOPMENT VARIANCE PERMIT APPLICATION FOR 3904 29th STREET

PURPOSE:

To review the Development Variance Permit application (DVP00431) for the subject property located at 3904 29th Street to vary sections of Zoning Bylaw #5000 in order to develop a four-plex with two 3-bedroom and two 2-bedroom plus den units.

RECOMMENDATION:

THAT Council support the Development Variance Permit application (DVP00431) for the subject property located on Lot 5, Block 1, Plan 383MV, ODYD (3904 29th Street) to vary the following sections of Zoning Bylaw #5000 in order to develop a four-plex with two 3-bedroom and two 2-bedroom plus den units:

- a) to vary Section 9.12.5, Development Regulations, (b) Building Regulations, to reduce the required rear yard setback from 9m to 6.05m on the property;
- b) to vary Section 9.12.5, Development Regulations, (b) Building Regulations, to reduce the required side yard setback from 4.5m to 1.2m on the north side of the property and from 4.5m to 2.41m on the south side of the property; and
- c) to vary Section 6.6, Minimum Landscape Buffers, to reduce the minimum required landscape buffer, Level 2 on the side yards from 1.5m in width to 1.2m in width.

AND FURTHER, that Council's support of DVP00431 is subject to the following:

- a) That the site survey, elevations, renderings, and landscaping plan, as generally shown as Attachments 1 to 4, and to the satisfaction of Administration, are included in the report titled "Development Variance Permit Application for 3904 29th Street" and dated October 17, 2018 by the Planning Assistant and Manager, Current Planning be attached to and form part of DVP00431 as Schedule 'A'.

ALTERNATIVES & IMPLICATIONS:

1. THAT Council support the Development Variance Permit application (DVP00431) for the subject property located on Lot 5, Block 1, Plan 383MV, ODYD (3904 29th Street) to vary the following sections of Zoning Bylaw #5000 in order to develop a four-plex with two 3-bedroom and two 2-bedroom plus den units:
 - a) to vary Section 9.12.5, Development Regulations, to reduce the required rear yard setback from 9m to 6.05m on the property;

- b) to vary Section 9.12.5, Development Regulations, to reduce the required side yard setback from 4.5m to 1.2m on the north side of the property and from 4.5m to 2.41m on the south side of the property; and
- c) to vary Section 6.6, Minimum Landscape Buffers, to reduce the minimum required landscape buffer, Level 2, on the side yards from 1.5m in width to 1.2m in width.

AND FURTHER, that Council's support of DVP00431 is subject to the following:

- a) That the site survey, elevations, renderings, and landscaping plan, as generally shown as Attachments 1 to 4, and to the satisfaction of Administration, are included in the report titled "Development Variance Permit Application for 3904 29th Street" and dated October 17, 2018 by the Planning Assistant and Manager, Current Planning be attached to and form part of DVP00431 as Schedule 'A'; and
- b) *Any other conditions to be cited by Council.*

Note: This alternative supports the requested variances subject to the conditions forming part of the DVP, and any other conditions cited by Council.

2. THAT Council NOT support the Development Variance Permit application (DVP00431) for the subject property located on Lot 5, Block 1, Plan 383MV, ODYD (3904 29th Street) to vary the following sections of Zoning Bylaw #5000 in order to develop a four-plex with two 3-bedroom and two 2-bedroom plus den units:

- a) to vary Section 9.12.5, Development Regulations, to reduce the required rear yard setback from 9m to 6.05m on the property;
- b) to vary Section 9.12.5, Development Regulations, to reduce the required side yard setback from 4.5m to 1.2m on the north side of the property and from 4.5m to 2.41m on the south side of the property; and
- c) to vary Section 6.6, Minimum Landscape Buffers, to reduce the minimum required landscape buffer, Level 2, on the side yards from 1.5m in width to 1.2m in width.

Note: This alternative does not support the requested development variance application. The owner would have to develop the property in accordance with the bylaws.

ANALYSIS:

A. Committee Recommendations:

At its meeting of October 10, 2018 the Advisory Planning Committee defeated the following resolution:

"THAT Council support the Development Variance Permit application (DVP00431) for the subject property located on Lot 5, Block 1, Plan 383MV, ODYD (3904 29th Street) to vary the following sections of Zoning Bylaw #5000 in order to develop a four-plex with 2 two-bedroom, 1 two-bedroom and den, and 1 three-bedroom units:

- a) to vary Section 9.12.5, Development Regulations, (b) Building Regulations, to reduce the required rear yard setback from 9m to 6.05m on the property;

- b) to vary Section 9.12.5, Development Regulations, (b) Building Regulations, to reduce the required side yard setback from 4.5m to 1.2m on the north side of the property and from 4.5m to 2.41m on the south side of the property; and
- c) to vary Section 6.6, Minimum Landscape Buffers, to reduce the minimum required landscape buffer, Level 2 on the side yards from 1.5m in width to 1.2m in width.

AND FURTHER, that Council's support of DVP00431 is subject to the following:

- a) That the site survey, elevations, renderings, and landscaping plan, as generally shown as Attachments 1 to 5, and to the satisfaction of Administration, are included in the report titled "Development Variance Permit Application for 3904 29th Street" and dated October 4, 2018 by the Planning Assistant and Manager, Current Planning be attached to and form part of DVP00431 as Schedule 'A'."

B. Rationale:

- 1. The subject property at 3904 29th Street is located between the railway corridor and 29th Street in the City Centre in the MacDonald Park Neighbourhood (Figures 1 and 2). The land has been designated as RSL – Residential Small Lot – Single and Two Family within the Official Community Plan, and is in the RH1 – Low-Rise Apartment Residential zoning district. The lot is currently undeveloped.
- 2. The applicant has proposed to vary the following sections of Zoning Bylaw #5000 in order to develop a four-plex with two 3-bedroom and two 2-bedroom plus den units:
 - a) to vary Section 9.12.5, Development Regulations, (b) Building Regulations, to reduce the required rear yard setback from 9m to 6.05m;
 - b) to vary Section 9.12.5, Development Regulations, (b) Building Regulations, to reduce the required side yard setback from 4.5m to 1.2m on the north side of the property and from 4.5m to 2.41m on the south side of the property;
 - c) to vary Section 6.6, Minimum Landscape Buffers, to reduce the minimum required landscape buffer, Level 2, on the side yards from 1.5m in width to 1.2m in width.
- 3. The applicant is seeking a variance to the rear yard setback from 9m to 6.05m in order to construct a four-plex on the site (Attachment 1). As illustrated in Attachments 2 and 3, the proposed three-storey four-

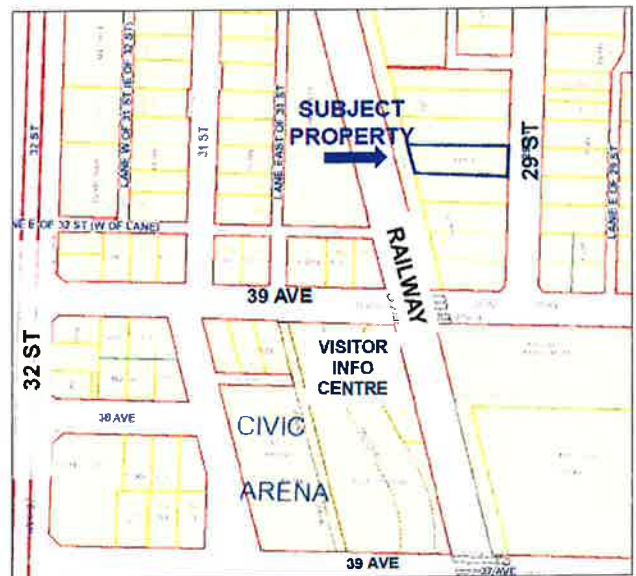


Figure 1 – Property Location Map



Figure 2 – Aerial View of Property

plex building fronts onto 29th Street and steps down towards the west side of the property. The building siting is a response to the narrow lot, and to provide a range of unit sizes between 119 m² (1,285 sq.ft.) and 162 m² (1,746 sq.ft.) (Attachment 3).

4. The building siting and proposed reduction in the rear yard setback provides space for the required on-site parking off of 29th Street at the front of the lot and within parking garages for units 1 and 2 (Attachments 3 and 4).
5. The applicant is also seeking to vary the side yard setback from 4.5m to 1.2m on the north side, and from 4.5m to 2.41m on the south side of the property in order to site the modern four-plex on the property. The building is situated on the lot with three of the four front entrances facing south towards the side lot line which are accessed by a common walkway (Attachment 1).
6. In order to support the proposed reduction in the rear and side yard setbacks and reduced landscape buffer, the applicant has provided a robust planting scheme in the landscape plan with the trees placed to provide screening to the neighbouring properties (Attachment 4).
7. Administration supports the variances requested for the following reasons:
 - a) The property is designated as RSL – Residential Small Lot (single and two family dwelling) within the Official Community Plan (OCP). The policies associated with this designation support ground oriented multiple family developments, and the proposed development is ground oriented.
 - b) The minimum side yard setback in the RH1 zoning district is 4.5m, as it generally relates to the low-rise apartments typically developed under this zoning. As the subject property is 15.24m wide, the required side yard setback would result in a building width of 6.24m. The applicant has requested a variance to the minimum side yard setback from 4.5m to 1.2m on the north side of the property and from 4.5m to 2.41m on the south side of the property in order to create a more practical building width of 11.58m.
 - c) As per Section 6.6.7 of Zoning Bylaw #5000, the minimum landscape buffer widths may be reduced to the width of the setback of the building if the setback of the building is narrower than the buffer specified in Section 6.6. The applicant would plant the proposed 1.2m landscape buffer at the same rate as the required Level 2, 1.5m buffer.

C. Attachments:

Attachment 1 – Site Survey Plan

Attachment 2 – Elevations

Attachment 3 – Renderings

Attachment 4 – Landscape Plan

Attachment 5 – Zoning Bylaw #5000 Section 9.12, RH1 (Low-Rise Apartment Residential), Section 6.6
Minimum Landscape Buffers

D. Council's Strategic Plan 2015 – 2018 Goals/Deliverables:

The subject application involves the following objectives in Council's Strategic Plan 2015 – 2018:

- Support sustainable neighbourhoods by implementing neighbourhood plans and the OCP.

E. Relevant Policy/Bylaws/Resolutions:


1. The property is designated Residential Small Lot – Single and Two Family as per the Official Community Plan.
2. The following sections of Zoning Bylaw #5000 apply to the subject DVP application:
 - 9.12.5 RH1 – Low-Rise Apartment Residential (b) Building Regulations, minimum rear yard
 - 9.12.5 RH1 – Low-Rise Apartment Residential (b) Building Regulations, minimum side yard
 - 6.6 Minimum Landscape Buffers
3. The Local Government Act provides Council with the authority to vary local bylaws based on site specific considerations. The granting of such variances does not set precedence within the community for future variances to be based upon, as each variance application must be evaluated on its own merit and potential implications to the whole community and the specific neighbourhood.

BUDGET/RESOURCE IMPLICATIONS:

N/A

Prepared by:

Oct 30 2018 11:07 AM

X  ✓

 Craig Broderick DocuSign

Approved for submission to Council:

Will Pearce, CAO

Date: 01.11.2018

Keltie Chamberlain
Planning Assistant

X 

 Signer 2

Kim Flick
Director, Community Infrastructure and Development

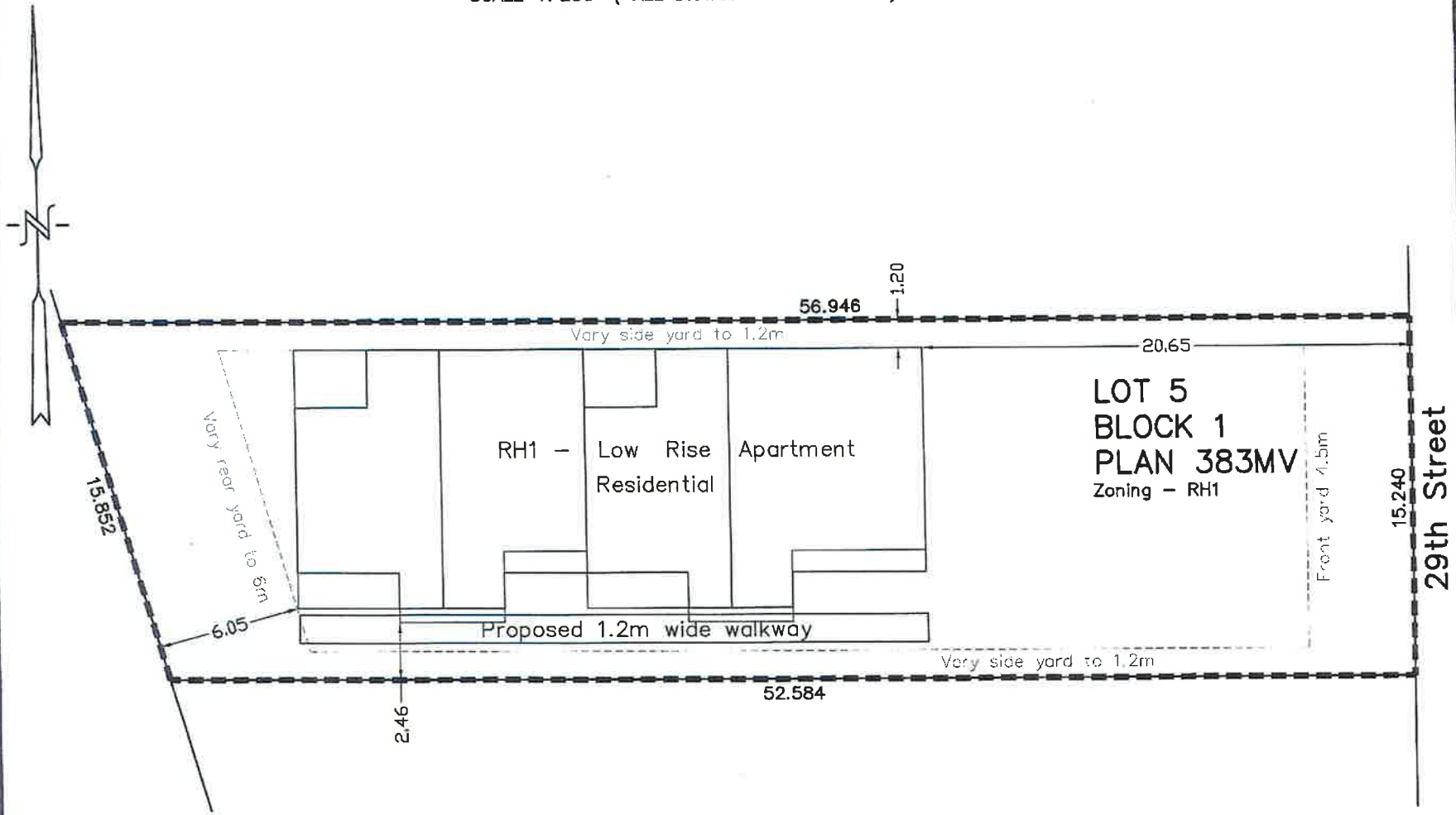
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|---|---|--|
| <input type="checkbox"/> Corporate Services | <input type="checkbox"/> Operations | <input checked="" type="checkbox"/> Current Planning |
| <input type="checkbox"/> Bylaw Compliance | <input type="checkbox"/> Public Works/Airport | <input checked="" type="checkbox"/> Long Range Planning & Sustainability |
| <input type="checkbox"/> Real Estate | <input type="checkbox"/> Facilities | <input checked="" type="checkbox"/> Building & Licensing |
| <input type="checkbox"/> RCMP | <input type="checkbox"/> Utilities | <input checked="" type="checkbox"/> Engineering Development Services |
| <input type="checkbox"/> Fire & Rescue Services | <input type="checkbox"/> Recreation Services | <input type="checkbox"/> Infrastructure Management |
| <input type="checkbox"/> Human Resources | <input type="checkbox"/> Parks | <input checked="" type="checkbox"/> Transportation |
| <input type="checkbox"/> Financial Services | | <input type="checkbox"/> Economic Development & Tourism |

<input checked="" type="checkbox"/> COMMITTEE: APC (Oct.10/18)
<input type="checkbox"/> OTHER:

\\gw1\groups\3000-3699 LAND ADMINISTRATION\3090 DEVELOPMENT VARIANCE PERMITS\20 Applications\DVP00431\2
PROC\Rpt\181017_kc_COUNCIL_RPT_DVP431 .docx

**PROPOSED DEVELOPMENT ON LOT 5, BLOCK 1,
SEC 3, TP 8, ODYD, PLAN 383 MOUNTAIN VIEW.**
SCALE 1: 250 (ALL DISTANCES IN METRES)



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land SURVEYORS

2801-32nd Street, Vernon, B.C.

Phone (250)545-0511 email: jasons@jrshortt.ca

FILE: 28951

THIS PLAN IS PREPARED FOR THE USE OF:
MURPHY - AIM

SEPT 12, 2018
AUGUST 20, 2018
AUGUST 10, 2018
APR. 2, 2018



SOUTH ELEVATION



EAST ELEVATION

COLOUR LEGEND

A - Hardie Panel Siding W/ Simlar Trim jameshardie.ca Colour: Gray Slate	B - Wood Siding Sug.pacificbamboo.com Colour: Desert Oak #22	C - Metal Siding C2 Wetmoresteel.ca Colour: Colonnade	D - Hardie Panel Siding jameshardie.ca Colour: Pearl Grey	E - Hardie Board Siding jameshardie.ca Colour: Pearl Grey
F - Aluminium Handrail, Roof Caps & Gutters / Downspouts Colour: Black				



NORTH ELEVATION



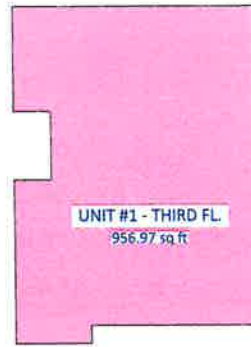
WEST ELEVATION

NOT FOR CONSTRUCTION

<p>PREPARED BY:</p>	<p>PREPARED FOR:</p> <p>AIM DEVELOPMENT MANAGEMENT AND MARKETING 378 - 3104 30th AVE, VERNON, BC V1T 9M9 PH: 250-550-9888 EMAIL: ian@aimdmm.com</p>	<p>PROJECT:</p> <p>STACKED ROW HOUSING 3904 -29th STREET VERNON, BC</p>	<p>REVISIONS</p> <p>Preliminary Drawings - Mar. 22, 2018</p> <p>Revised Prelim. Drawings - Aug. 28, 2018</p>	<p>Project: MURPHY - 23TH ST.</p> <p>Date: August 28, 2018</p> <p>Scale: N.T.S.</p> <p>Drawn: NGC</p>	<p>ELEVATIONS</p>	<p>A - 0</p>
			<p>Project: MURPHY - 23TH ST.</p> <p>Date: August 28, 2018</p> <p>Scale: N.T.S.</p> <p>Drawn: NGC</p>			

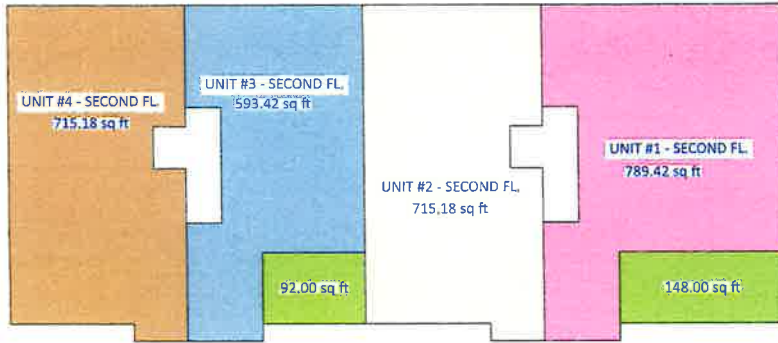


UNIT #3 - THIRD FL.
694.06 sq ft



UNIT #1 - THIRD FL.
956.97 sq ft

THIRD FLOOR



UNIT #4 - SECOND FL.
715.18 sq ft

UNIT #3 - SECOND FL.
593.42 sq ft

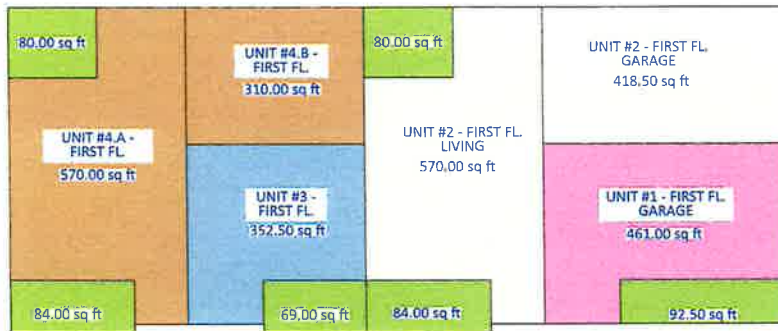
UNIT #2 - SECOND FL.
715.18 sq ft

UNIT #1 - SECOND FL.
789.42 sq ft

92.00 sq ft

148.00 sq ft

SECOND FLOOR



80.00 sq ft

UNIT #4.B - FIRST FL.
310.00 sq ft

80.00 sq ft

UNIT #2 - FIRST FL. GARAGE
418.50 sq ft

UNIT #4.A - FIRST FL.
570.00 sq ft

UNIT #2 - FIRST FL. LIVING
570.00 sq ft

UNIT #3 - FIRST FL.
352.50 sq ft

UNIT #1 - FIRST FL. GARAGE
461.00 sq ft

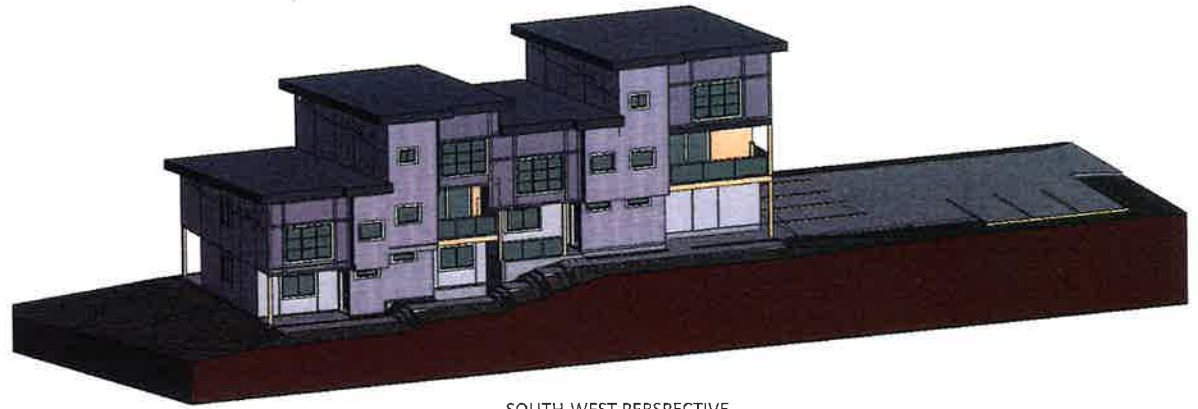
84.00 sq ft

69.00 sq ft

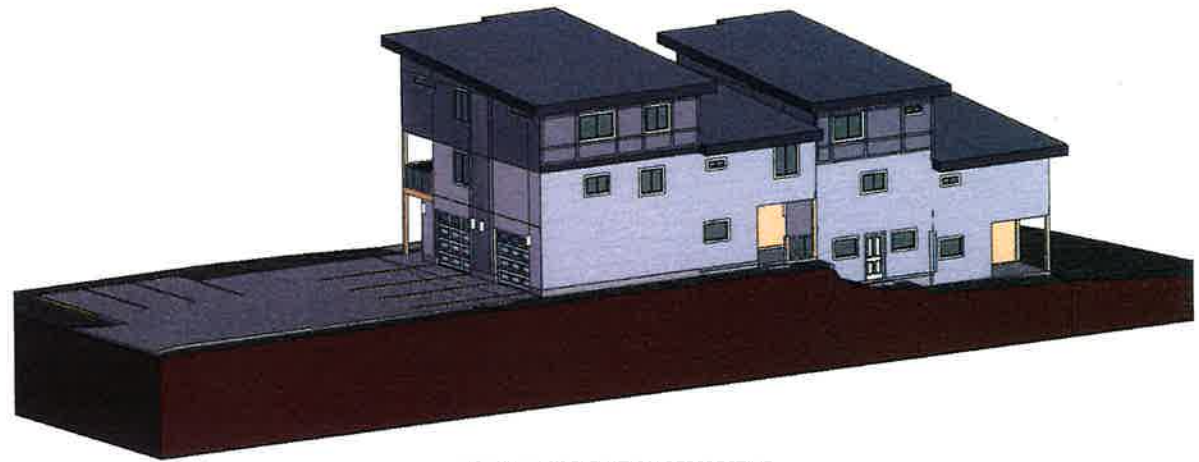
84.00 sq ft

92.50 sq ft

FIRST FLOOR



SOUTH-WEST PERSPECTIVE



NORTH-EAST ELEVATION PERSPECTIVE

NOT FOR CONSTRUCTION



PREPARED FOR:
AIM DEVELOPMENT MANAGEMENT AND MARKETING
378 - 3104 30th AVE, VERNON, BC V1T 9M9
PH: 250-550-9888
EMAIL: ian@aimdmm.com

PROJECT:
STACKED ROW HOUSING
3904 -29th STREET
VERNON, BC

REVISIONS
Preliminary Drawings - Mar. 22, 2018
Revised Prelim. Drawings - Aug. 28, 2018

Project: MURPHY - 29TH ST.
Date: August 28, 2018
Scale: N.T.S.
Drawn: NGC

3D VIEWS & AREAS

A - 0.1

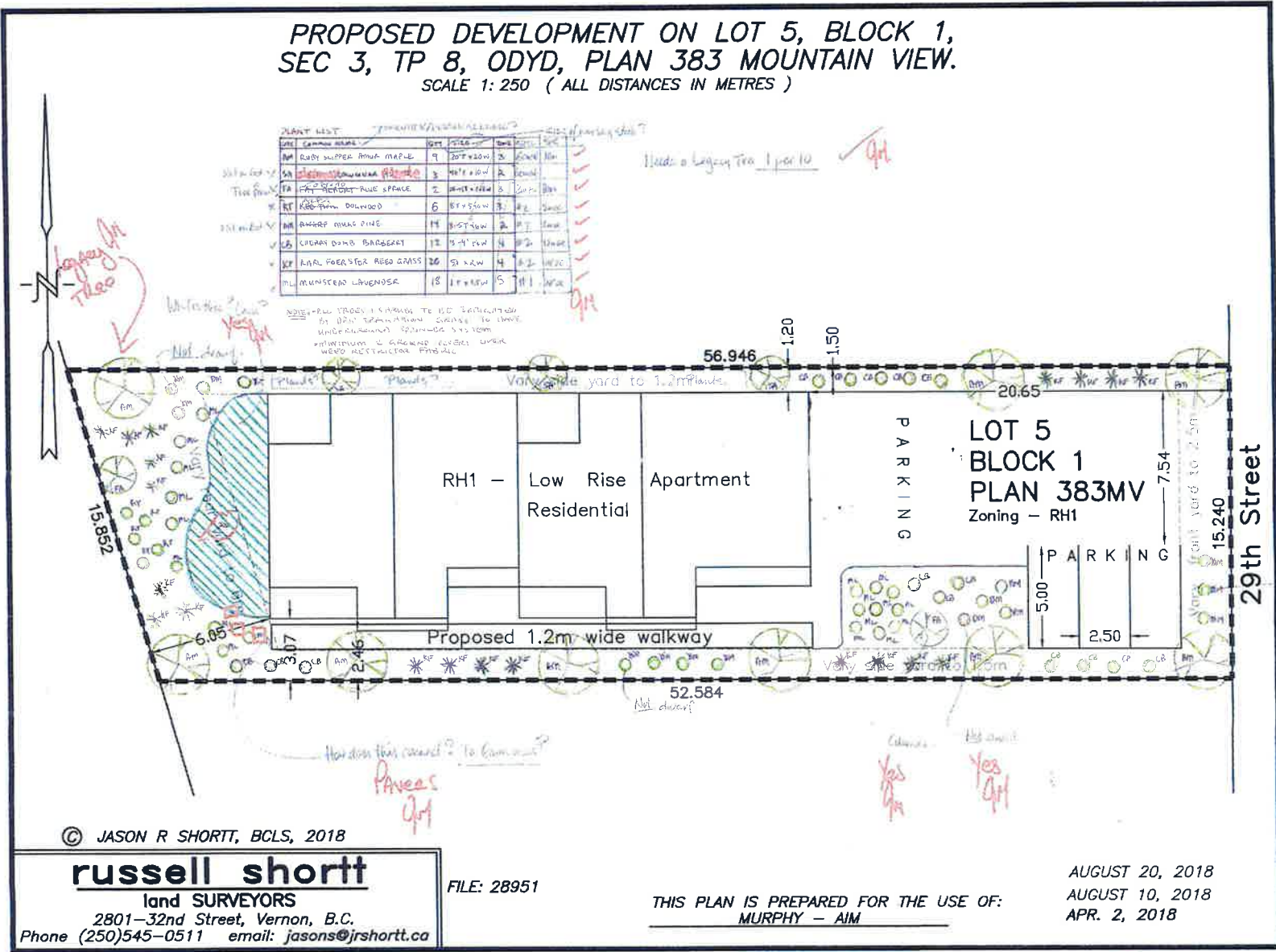
**PROPOSED DEVELOPMENT ON LOT 5, BLOCK 1,
SEC 3, TP 8, ODYD, PLAN 383 MOUNTAIN VIEW.**

SCALE 1: 250 (ALL DISTANCES IN METRES)

PLANT LIST

Code	Common Name	Qty	Size	Spacing	Notes
M	Reddy Super Royal Maple	9	20' x 30'	20'	OK
SA	Redwood	3	18' x 18'	20'	OK
FA	Redwood	2	18' x 18'	20'	OK
RT	Redwood	6	8' x 5' x 6'	3'	OK
MB	Black Mulberry	14	8' x 5'	2'	OK
LA	Oregon Dwarf Barberry	12	3' x 4'	4'	OK
XP	Annual Pteris for Area Grass	20	5' x 2'	4'	OK
ML	Munster Lavender	18	1' x 1.5'	5'	OK

NOTE - ALL TRADES TO BE IN ACCORDANCE WITH THE BC BUILDING ACT & REGULATIONS. ALL WORK TO BE DONE IN ACCORDANCE WITH THE BC BUILDING ACT & REGULATIONS. ALL WORK TO BE DONE IN ACCORDANCE WITH THE BC BUILDING ACT & REGULATIONS.



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FILE: 28951

THIS PLAN IS PREPARED FOR THE USE OF:
MURPHY - AIM

AUGUST 20, 2018
AUGUST 10, 2018
APR. 2, 2018

Scale?

RECEIVED OCT 6 11 06

Zoning Bylaw #5000 Excerpts

Section 6.6 Landscape & Screening

6.6 Minimum Landscape Buffers

- 6.6.1 **Landscape buffers** are intended to improve land use compatibility and environmental quality by reducing noise, lighting glare and other **nuisances**, or facilitating natural drainage and wildlife movement.
- 6.6.2 **Landscape buffers**, of a design as shown on the Minimum Landscape Buffer Treatment Drawings (Levels 1 through 5), for the **front yard, side yards, and rear yard** depending upon the **zone** as indicated by Section 6.6.5, are as follows:

SECTION 6 : LANDSCAPE & SCREENING
ZONING BYLAW NO. 5000 (2003)

LANDSCAPE - 6 of 12
CITY OF VERNON

-
- Level 0 : no specific guidelines for the design of the **landscape buffer**;
 - Level 1 : to separate **uses** from **adjacent** properties, a minimum 1.5m **landscape buffer** is required and will consist of a vegetative buffer only, unless a **fence** is required for other reasons;
 - Level 2 : to separate **uses** from **adjacent** properties, a minimum 1.5m vegetative **landscape buffer** combined with a **fence** is required;
 - Level 3 : to separate **uses** from **adjacent** properties, a minimum 2.0m vegetative **landscape buffer** combined with a **fence** is required;
 - Level 4 : to separate **uses** from **adjacent** properties, a minimum 3.0m **landscape buffer** is required;
 - Level 5 : a **landscape buffer** is required for all land **abutting** ALR land where non-farm **uses** exist. The minimum buffer shall meet the guidelines in the Landscape Buffer Specifications document prepared by the Agricultural Land Commission.

9.12 RH1 : Low-Rise Apartment Residential

9.12.1 Purpose

The purpose is to provide a **zone** primarily for medium **density** apartments on urban services.

9.12.2 Primary Uses

- **apartment housing**
- **care centres, major**
- **group home, major**
- **seniors assisted housing**
- **seniors housing**
- **seniors supportive housing**
- **stacked row housing**

9.12.3 Secondary Uses

- **home based businesses, minor**
- **real estate sales centres** (in apartment housing only)

9.12.4 Subdivision Regulations

- Minimum **lot width** is 30.0m.
- Minimum **lot area** is 1400m², or 10,000m² if not serviced by a **community sewer system**.

9.12.5 Development Regulations

(a) Density:

The maximum Floor Space Ratio (FSR) is 1.50, except that:

- With a housing agreement pursuant to Section 4.9, the maximum **density** shall be increased by FSR 0.25; and
- Where **parking spaces** are provided completely beneath habitable space of a primary **building** or beneath useable common amenity areas, providing that in all cases the parking spaces are screened from view, the maximum **density** shall be increased by FSR 0.25; or
- Where all the required parking is not accommodated completely beneath the habitable space of a primary **building** or useable common amenity areas, the additional density permitted shall be determined through multiplying the FSR 0.25 by the percentage of parking proposed to be provided beneath habitable space of a primary **building** or useable common amenity areas;

Provided that the maximum Floor Area Ratio with all bonuses shall not exceed FSR 2.00.

(b) Building Regulations:

- Maximum **site coverage** is 65% and together with driveways, parking areas and **impermeable surfaces** shall not exceed 85%.
- Maximum **height** is the lesser of 16.5m or 4.5 **storeys**, except it is 4.5m for **secondary buildings** and **secondary structures**.

- Minimum **front yard** is 4.5m.
- Minimum **side yard** is 4.5m, except it is 4.5m from a **flanking street**.
- Minimum **rear yard** is 9.0m, except it is 1.0m for **secondary buildings**. *(Bylaw 5661)*

9.12.6 Other Regulations

- A minimum area of 5.0m² of private open space shall be provided per **bachelor dwelling, congregate housing bedroom** or group home **bedroom**, 10.0m² of private open space shall be provided per 1 **bedroom dwelling**, and 15.0m² of private open space shall be provided per **dwelling** with more than 1 **bedroom**.
- No continuous **building frontage** shall exceed 40.0m for a 3 to 4.5 **storey building**, or 65.0m for a 2 **storey building**. If the frontage is interrupted by an open courtyard equivalent in depth and width to the **building height**, the maximum continuous 4.5 **storey building frontage** may be 80.0m provided that no **building** section exceeds 40.0m.
- For multi-unit residential housing, one **office** may be operated for the sole purpose of the management and operation of the multi-unit residential **development**. *(Bylaw 5440)*
- For **seniors assisted housing, seniors housing and seniors supportive housing**, a safe drop-off area for patrons shall be provided on the **site**.
- In addition to the regulations listed above, other regulations may apply. These include the general **development** regulations of Section 4 (**secondary development, yards**, projections into **yards**, lighting, agricultural setbacks, etc.); the specific use regulations of Section 5; the **landscaping** and fencing provisions of Section 6; and, the parking and loading regulations of Section 7. *(Bylaw 5339)*
- As per Section 4.10.2 - All **buildings and structures, excluding perimeter fencing (garden walls and fences)** on lots **abutting** City Roads as identified on Schedule "B" shall not be sited closer to the City Road than the setback as per the appropriate zone measured from the offset Rights of Way as illustrated on Schedule "B". *(Bylaw 5440)*



THE CORPORATION OF THE CITY OF VERNON REPORT TO COUNCIL

ORIGINAL

SUBMITTED BY: Craig Broderick
Manager, Current Planning
Hazel Christy
Planner

COUNCIL MEETING: REG COW I/C
COUNCIL MEETING DATE: November 13, 2018
DATE: October 29, 2018
FILE: DVP00433

SUBJECT: DEVELOPMENT VARIANCE PERMIT APPLICATION FOR 5350 SILVER STAR ROAD

PURPOSE:

To review the development variance permit application for 5350 Silver Star Road to vary sections of Zoning Bylaw #5000 in order to optimize the siting of two duplex units on bareland strata lots within a Hillside Residential area.

RECOMMENDATION:

THAT Council support Development Variance Permit Application #DVP00433 to vary the following sections of Zoning Bylaw #5000 in order to construct two duplexes on four bareland strata lots on a portion of Lot A DL 51 ODYD Plan 40774, exc. Strata Plan EPS4330 (5350 Silver Star Road):

- a) For proposed Units 25 and 27:
 - i. To vary Section 9.16.6. to reduce the front yard setback from a minimum of 6.0m from a garage or carport to the back of curb or sidewalk for vehicular entry, to a minimum of 5.3m; and
 - ii. To vary Section 9.16.6 to reduce the rear yard setback from a minimum of 7.5m to a minimum of 6.0m; and
- b) For proposed Units 26 and 28:
 - i. To vary Section 9.16.6. to reduce the front yard setback from a minimum of 6.0m from a garage or carport to the back of curb or sidewalk for vehicular entry, to a minimum of 5.2m; and
 - ii. To vary Section 9.16.6 to reduce the rear yard setback from a minimum of 7.5m to a minimum of 7.0m;

AND FURTHER, that Council support of DVP00433 is subject to the following:

- a) That the site plan and elevation plans, intended to illustrate the general form, character and massing of the proposed duplex units, and noted as Attachments 1 and 2 in the report titled "Development Variance Permit Application for 5350 Silver Star Road", dated October 29, 2018 by the Manager, Current Planning, be attached to and form part of DVP00433 as Schedule 'A'.

ALTERNATIVES & IMPLICATIONS:

1. THAT Council support Development Variance Permit Application #DVP00433 to vary the following sections of Zoning Bylaw #5000 in order to construct two duplexes on four bareland strata lots on a portion of Lot A DL 51 ODYD Plan 40774, exc. Strata Plan EPS4330 (5350 Silver Star Road):

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 - ii. To vary Section 9.16.6 to reduce the rear yard setback from a minimum of 7.5m to a minimum of 6.0m; and
- b) For proposed Units 26 and 28:
 - i. To vary Section 9.16.6. to reduce the front yard setback from a minimum of 6.0m from a garage or carport to the back of curb or sidewalk for vehicular entry, to a minimum of 5.2m; and
 - ii. To vary Section 9.16.6 to reduce the rear yard setback from a minimum of 7.5m to a minimum of 7.0m;

AND FURTHER, that Council support of DVP00433 is subject to the following:

- a) That the site plan and elevation plans, intended to illustrate the general form, character and massing of the proposed duplex units, and noted as Attachments 1 and 2 in the report titled "Development Variance Permit Application for 5350 Silver Star Road", dated October 29, 2018 by the Manager, Current Planning, be attached to and form part of DVP00433 as Schedule 'A'; and
- b) *any conditions that may be cited by Council.*

Note: This alternative supports the development permit application subject to the conditions recommended by Administration, as well as additional conditions as cited by Council.

- 2. THAT Council not support Development Variance Permit Application #DVP00433 to vary the following sections of Zoning Bylaw #5000 in order to construct two duplexes on four bareland strata lots on a portion of Lot A DL 51 ODYD Plan 40774, exc. Strata Plan EPS4330 (5350 Silver Star Road):
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 - ii. To vary Section 9.16.6 to reduce the rear yard setback from a minimum of 7.5m to a minimum of 6.0m; and
 - b) For proposed Units 26 and 28:
 - i. To vary Section 9.16.6. to reduce the front yard setback from a minimum of 6.0m from a garage or carport to the back of curb or sidewalk for vehicular entry, to a minimum of 5.2m; and
 - ii. To vary Section 9.16.6 to reduce the rear yard setback from a minimum of 7.5m to a minimum of 7.0m.

Note: This alternative does not support the requested variances and therefore the duplex units could not be constructed as proposed.

ANALYSIS:

A. Committee Recommendations:

At its meeting of September 25, 2018 the Advisory Planning Committee passed the following resolution:

THAT the Advisory Planning Committee recommends that Council support Development Variance Permit Application #DVP00433 to vary the following sections of Zoning Bylaw #5000 in order to construct two duplexes on four bareland strata lots on a portion of Lot A DL 51 ODYD Plan 40774, exc. Strata Plan EPS4330 (5350 Silver Star Road):

- a) For proposed Units 25 and 27:
 - i. To vary Section 9.16.6. to reduce the front yard setback from a minimum of 6.0m from a garage or carport to the back of curb or sidewalk for vehicular entry, to a minimum of 5.3m; and
 - ii. To vary Section 9.16.6 to reduce the rear yard setback from a minimum of 7.5m to a minimum of 6.0m; and

- c) For proposed Units 26 and 28:
 - i. To vary Section 9.16.6. to reduce the front yard setback from a minimum of 6.0m from a garage or carport to the back of curb or sidewalk for vehicular entry, to a minimum of 5.2m; and
 - ii. To vary Section 9.16.6 to reduce the rear yard setback from a minimum of 7.5m to a minimum of 7.0m;

AND FURTHER, that the Advisory Planning Committee recommends that Council support of DVP00433 is subject to the following:

- a) That the site plan and elevation plans, intended to illustrate the general form, character and massing of the proposed duplex units, and noted as Attachments 1 and 2 in the report titled “Development Variance Permit Application for 5350 Silver Star Road”, dated September 20, 2018 by the Manager, Current Planning be attached to and form part of DVP00433 as Schedule ‘A’.

B. Rationale:

- 1. The subject property is located at 5350 Silver Star Road, as shown on Figures 1 and 2. The lot slopes downward from the road towards BX Creek, limiting the buildable area on site. The property is 16,383 m² in size and is part of a phased strata subdivision application (SUB00622). Phase 1 of the subdivision has been registered and units are under construction.

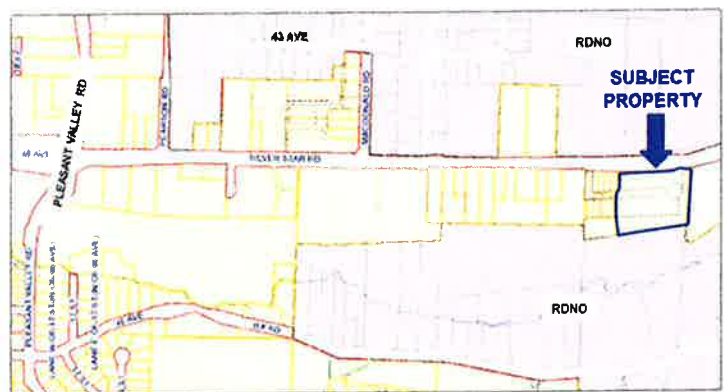


Figure 1 – Property Location Map

2. The subject application proposes to vary the following sections of Zoning Bylaw #5000 (Attachment 3) in order to construct two duplex units on four proposed bareland strata lots at the end of the cul de sac shown on the subdivision plan, and sketched in Figure 1:



Figure 2 – Aerial Photo

a) For proposed Units 25 and 27 (Attachment 1):

- i. To vary Section 9.16.6. to reduce the front yard setback from a minimum of 6.0m from a garage or carport to the back of curb or sidewalk for vehicular entry to a minimum of 5.3m; and
- ii. To vary Section 9.16.6 to reduce the rear yard setback from a minimum of 7.5m to a minimum of 6.0m; and

b) For proposed Units 26 and 28 (Attachment 2):

- i. To vary Section 9.16.6. to reduce the front yard setback from a minimum of 6.0m from a garage or carport to the back of curb or sidewalk for vehicular entry to a minimum of 5.2m; and
- ii. To vary Section 9.16.6 to reduce the rear yard setback from a minimum of 7.5m to a minimum of 7.0m.

3. Administration supports the requested variances for the following reasons:

- a) The location of the proposed cul de sac and the proposed siting of the duplexes optimizes the maximum usable area given the site restrictions provided by the steep slopes abutting the property to the south.
- b) The proposed siting of the duplexes opposite each other across the widest part of the cul de sac provide for additional separation.
- c) The requested variances have minimal impact on units elsewhere in the subdivision, or on neighbouring properties.

C. Attachments:

Attachment 1 – Site Plan and Building Elevations Lots 25 and 27

Attachment 2 – Site Plan and Building Elevations Lots 26 and 28

Attachment 3 – Excerpt from Zoning Bylaw #5000 – HR2 Hillside Residential Multi-family Zone

D. Council’s Strategic Plan 2015 – 2018 Goals/Deliverables:

The subject application involves the following objectives in Council’s Strategic Plan 2015 – 2018:

- Support sustainable neighbourhoods by implementing the OCP.

E. Relevant Policy/Bylaws/Resolutions:

1. Official Community Plan

Section 26 Development Permit Areas

The property is subject to Development Permit approval and must comply with the *City of Vernon Hillside Guidelines*, the *Environmental Management Areas Strategy*, and guidelines contained in Section 26 of the Official Community Plan.

BUDGET/RESOURCE IMPLICATIONS:

N/A

Prepared by:

Oct 30 2018 11:06 AM

Approved for submission to Council:

X Craig Broderick ✓
Craig Broderick DocuSign

Will Pearce, CAO

Date: 31.10.2018

Craig Broderick
Manager, Current Planning

X Kim Flick
Signer 2

Kim Flick
Director, Community Infrastructure and Development

REVIEWED WITH

- | | | |
|--|---|--|
| <input type="checkbox"/> Corporate Services | <input type="checkbox"/> Operations | <input checked="" type="checkbox"/> Current Planning |
| <input type="checkbox"/> Bylaw Compliance | <input type="checkbox"/> Public Works/Airport | <input type="checkbox"/> Long Range Planning & Sustainability |
| <input type="checkbox"/> Real Estate | <input type="checkbox"/> Facilities | <input type="checkbox"/> Building & Licensing |
| <input type="checkbox"/> RCMP | <input type="checkbox"/> Utilities | <input checked="" type="checkbox"/> Engineering Development Services |
| <input type="checkbox"/> Fire & Rescue Services | <input type="checkbox"/> Recreation Services | <input type="checkbox"/> Infrastructure Management |
| <input type="checkbox"/> Human Resources | <input type="checkbox"/> Parks | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Financial Services | | <input type="checkbox"/> Economic Development & Tourism |
| <input checked="" type="checkbox"/> COMMITTEE: APC (Sept. 25/18) | | |
| <input type="checkbox"/> OTHER: | | |

GENERAL NOTES

- 1 ALL CONSTRUCTION MATERIALS & WORKMANSHIP TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE, PLUMBING CODE, ELECTRICAL CODE & ALL OTHER CODES, ORDINANCES AND BYLAWS THAT APPLY.
- 2 THE CONTRACTOR AND ALL SUBTRADES ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND THE CONTRACTOR'S OBLIGATION TO CORRECTING WORK OR CORRECTING ANY MATERIAL AND SHALL REPORT ANY DISCREPANCIES THAT AFFECT QUALITY TO HIS IMMEDIATELY.
- 3 ALL FINISHES MATERIALS TO BE APPROVED BY THE ARCHITECT BEFORE THE BEGINNING OF WORK.
- 4 CONCRETE FOOTINGS AND WALLS TO BE MINIMUM 18" DIA. 28 DAYS FLOOR SLAB AND SIDEWALKS TO BE MINIMUM 10" DIA. 28 DAYS.
- 5 ALL CONCRETE FOOTINGS TO BE PLACED ON ORIGINAL UNDISTURBED GROUND, FREE OF ALL ORGANIC, FROST OR FROSTY MATERIAL.
- 6 DAMPPROOF FOUNDATION WALLS BELOW GRADE WITH 2 COATS OF DAMPPROOF MATERIAL.
- 7 6 MIL ULTRAVIOLET RESISTANT POLY ETHYLENE TEREPHTHALATE OR 4" OF GRANULAR CONCRETE FILL INSIDE EXTERIOR OF GARAGE SLABS OR 8" OF 3/4" CLEAN FILL OR OTHER MATERIALS SUITABLE FOR MOVEMENT OF FLOOR SLABS UNDER VIBRATION.
- 8 ALL FOUNDATION WORKS TO BE APPROVED BY THE ARCHITECT BEFORE THE BEGINNING OF WORK.
- 9 GRADE TO BE SLOPED AWAY FROM BUILDING AT ALL LOCATIONS ADJACENT TO BUILDING.
- 10 ALL TRUSSES, LATHING OR OTHER STRUCTURAL MEMBERS NOT COVERED BY THE BUILDING CODE TO BE DESIGNED AND ENGINEERED BY THE MANUFACTURER OR STRUCTURAL ENGINEER PRIOR TO ANY FABRICATION.
- 11 CONTRACTOR TO VERIFY ALL PROPERTY & FOUNDATION LINES WITH A LEGAL LAND SURVEYOR PRIOR TO LAYING FOOTINGS OR RUNNING SERVICES WITHIN BUILDING FOOTPRINT.
- 12 ALL ROOF SPACES TO BE FINISHED WITH SCOTCH AND BROOM FINISH WITH A MINIMUM FINISH AREA OF 1000 & MINIMUM 20% TO BE LOCATED AT SCOTCH.
- 13 ROOF FINISHES AT ENTRANCES AND EXTERIOR WALLS TO OVERLAP DOWN SLOPE BY 2" TO 4" TO PREVENT WATER INTRUSION. FINISHES AND SLICES AT THE ROOF TO BE CHECKED TO BE PROTECTED.
- 14 ALL GLASS WINDOWS, DOORS OR PARTITIONS WITH 1/2" OF FINISHED FLOOR TO BE CONSTRUCTED TO BE SAFETY GLASS.
- 15 SEWERAGE LOCATIONS AND DEPTHS TO BE DETERMINED BY THE CONTRACTOR TO DETERMINE EXACT LOCATIONS SUITABLE TO USE AND MATERIALS TO BE USED.
- 16 ELECTRICAL LOCATIONS TO BE DETERMINED BY ELECTRICAL CONTRACTOR WITH THE APPROVAL OF HOMEOWNER OR OWNER. CONTRACTOR TO BE IN ACCORDANCE WITH CURRENT ELECTRICAL CODE.
- 17 APPROVED SMOKE ALARMS TO BE INSTALLED WITH LOCATION APPROVED BY APPROVED LOCAL MUNICIPALITY.
- 18 RISE TO GARAGE AND RISE FROM FOUNDATION STRUCTURAL MEMBER FLOOR JOIST SYSTEM AND JOIST TRUSS MANUFACTURER FOR RISE FROM JOIST AND RISE FROM FOUNDATION STRUCTURAL MEMBER. RISE FROM JOIST SYSTEM AND JOIST TRUSS MANUFACTURER FOR RISE FROM JOIST AND RISE FROM FOUNDATION STRUCTURAL MEMBER. RISE FROM JOIST SYSTEM AND JOIST TRUSS MANUFACTURER FOR RISE FROM JOIST AND RISE FROM FOUNDATION STRUCTURAL MEMBER.
- 19 RISE FROM JOIST SYSTEM AND JOIST TRUSS MANUFACTURER FOR RISE FROM JOIST AND RISE FROM FOUNDATION STRUCTURAL MEMBER. RISE FROM JOIST SYSTEM AND JOIST TRUSS MANUFACTURER FOR RISE FROM JOIST AND RISE FROM FOUNDATION STRUCTURAL MEMBER.
- 20 RISE FROM JOIST SYSTEM AND JOIST TRUSS MANUFACTURER FOR RISE FROM JOIST AND RISE FROM FOUNDATION STRUCTURAL MEMBER. RISE FROM JOIST SYSTEM AND JOIST TRUSS MANUFACTURER FOR RISE FROM JOIST AND RISE FROM FOUNDATION STRUCTURAL MEMBER.
- 21 RISE FROM JOIST SYSTEM AND JOIST TRUSS MANUFACTURER FOR RISE FROM JOIST AND RISE FROM FOUNDATION STRUCTURAL MEMBER. RISE FROM JOIST SYSTEM AND JOIST TRUSS MANUFACTURER FOR RISE FROM JOIST AND RISE FROM FOUNDATION STRUCTURAL MEMBER.
- 22 RISE FROM JOIST SYSTEM AND JOIST TRUSS MANUFACTURER FOR RISE FROM JOIST AND RISE FROM FOUNDATION STRUCTURAL MEMBER. RISE FROM JOIST SYSTEM AND JOIST TRUSS MANUFACTURER FOR RISE FROM JOIST AND RISE FROM FOUNDATION STRUCTURAL MEMBER.
- 23 RISE FROM JOIST SYSTEM AND JOIST TRUSS MANUFACTURER FOR RISE FROM JOIST AND RISE FROM FOUNDATION STRUCTURAL MEMBER. RISE FROM JOIST SYSTEM AND JOIST TRUSS MANUFACTURER FOR RISE FROM JOIST AND RISE FROM FOUNDATION STRUCTURAL MEMBER.
- 24 RISE FROM JOIST SYSTEM AND JOIST TRUSS MANUFACTURER FOR RISE FROM JOIST AND RISE FROM FOUNDATION STRUCTURAL MEMBER. RISE FROM JOIST SYSTEM AND JOIST TRUSS MANUFACTURER FOR RISE FROM JOIST AND RISE FROM FOUNDATION STRUCTURAL MEMBER.
- 25 RISE FROM JOIST SYSTEM AND JOIST TRUSS MANUFACTURER FOR RISE FROM JOIST AND RISE FROM FOUNDATION STRUCTURAL MEMBER. RISE FROM JOIST SYSTEM AND JOIST TRUSS MANUFACTURER FOR RISE FROM JOIST AND RISE FROM FOUNDATION STRUCTURAL MEMBER.



SQUARE FOOTAGES:

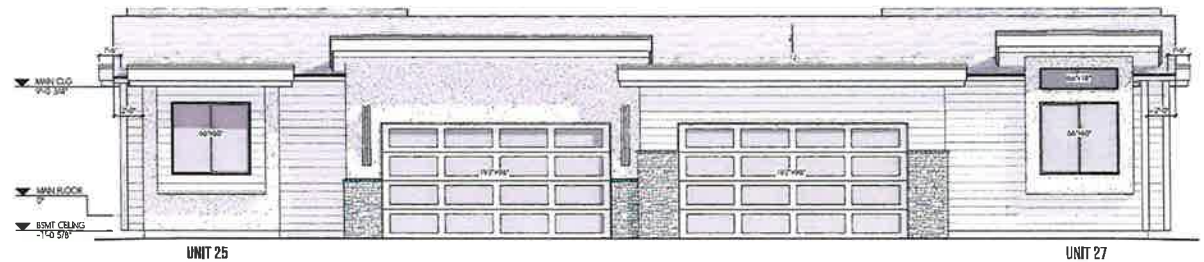
UNIT	FLOOR	AREA
UNIT 25	25 FINISHED MAIN FLOOR	1319 SF
	25 FINISHED BASEMENT	770 SF
	25 GARAGE MAIN FLOOR	428 SF
	25 UNFINISHED BASEMENT	518 SF
TOTAL AREA		3035 SF
UNIT 27	27 FINISHED MAIN FLOOR	1432 SF
	27 FINISHED BASEMENT	910 SF
	27 GARAGE MAIN FLOOR	423 SF
	27 UNFINISHED BASEMENT	491 SF
TOTAL AREA		3257 SF

SHEET LEGEND

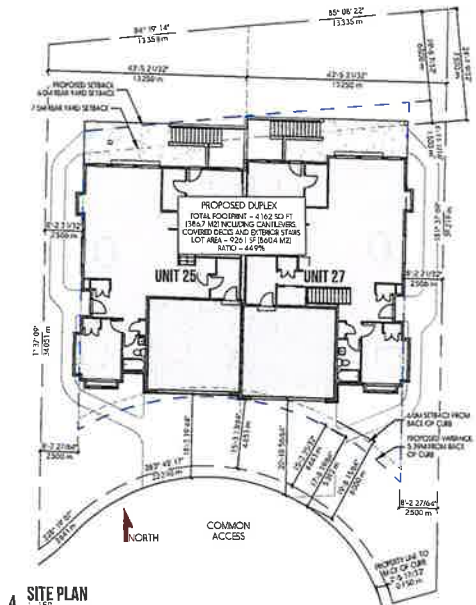
A1	NOTE / 30
A2	BASEMENT
A3	MAIN FLOOR
A4	ELEVATION
A5	SECTION/DETAILS



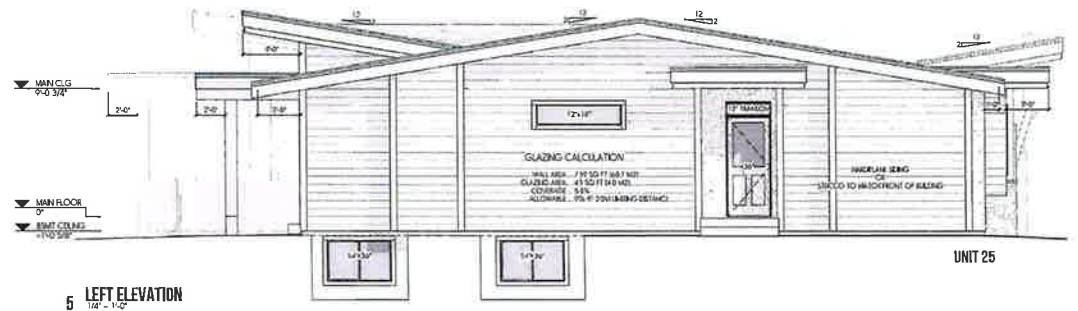
1 FRONT 3D



2 FRONT ELEVATION 1/4" = 1'-0"



4 SITE PLAN 1" = 150'



5 LEFT ELEVATION 1/4" = 1'-0"

CLIENT: SILVER PINE
JOB: UNITS 25/27
5150 SILVER STAR RD
VIBRONA, B.C.
JOB #: 74938

REVISIONS
MAIN PLAN CONCEPT MAR 20 2018
25 MAIN FLOOR APR 2 2018
27 MAIN FLOOR APR 9 2018
EXIST CONCEPT APR 13 2018
REVISIONS APR 18 2018
COMPLETE REVIEW APR 20 2018
PERMIT APR 25 2018

DATE: APR 25 2018
DRAWING: NOTES / 30
SCALE: AS INDICATED
PAGE: A1



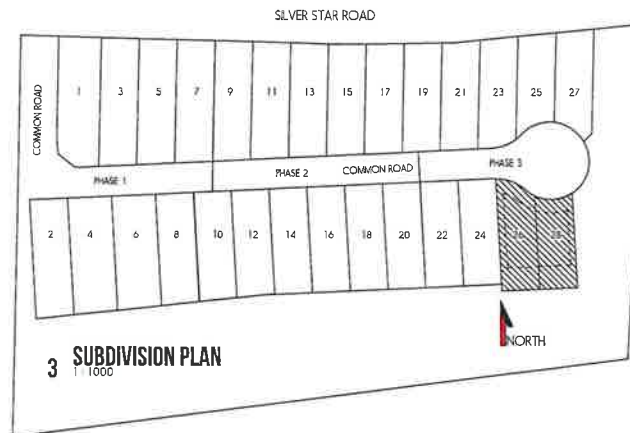
1 FRONT 3D

GENERAL NOTES

- 1 ALL CONSTRUCTION MATERIALS & WORKMANSHIP TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE, FLUMING CODE, ELECTRICAL CODE & ALL OTHER CODES, JOINTS AND DETAILS THAT MAY APPLY.
- 2 THE CONTRACTOR AND ALL SUBTRADES ARE RESPONSIBLE FOR THE REVIEW OF ALL DRAWINGS AND SITE CONDITIONS PRIOR TO COMMENCING WORK OR ORDERING ANY MATERIAL. AND SHALL REPORT ANY DISCREPANCIES THAT AFFECT DESIGN TO MRG IMMEDIATELY.
- 3 ALL FRAMING MATERIAL TO BE SPP #2 OR BETTER WITH THE EXCEPTION OF WALL STUDS.
- 4 CONCRETE FOOTINGS AND WALLS TO BE MINIMUM 28MPA @ 28 DAYS, FLOOR SLABS AND SIDEWALKS TO BE MINIMUM 32MPA @ 28 DAYS.
- 5 ALL CONCRETE FOOTINGS TO BE PLACED ON ORIGINAL UNDISTURBED GROUND, FREE OF ALL ORGANIC, FROZEN OR FROSTY MATERIAL.
- 6 DAMPROOF FOUNDATION WALLS BELOW GRADE WITH 2 COATS OF BITUMINOUS MATERIAL.
- 7 6 MIL ULTRAVIOLET RESISTANT POLY VAPOUR BARRIER ON A1 4" OF GRANULAR COMPACTIBLE FILL UNDER EXTERIOR OR GARAGE SLABS OR 3/4" OF 3/4" DRAIN ROCK OR OTHER MATERIAL SUITABLE FOR MOVEMENT OF RADON GAS UNDER INTERIOR SLABS.
- 8 ALL FOUNDATION DRAINS TO BE 4" PERFORATED P.V.C. WITH FILTER CLOTH AND MINIMUM 4" DRAIN ROCK, DRAINED TO MUNICIPAL SERVICES ACCORDING TO LOCAL STANDARDS.
- 9 GRADE TO BE SLOPED AWAY FROM BUILDING AT ALL LOCATIONS ADJACENT TO BUILDING.
- 10 ALL TRUSSES, JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS NOT COVERED IN B.C. BUILDING CODE TO BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER OR STRUCTURAL ENGINEER PRIOR TO ANY FABRICATION.
- 11 CONTRACTOR TO VERIFY ALL PROPERTY & FOUNDATION LINES WITH A LEGAL LAND SURVEYOR PRIOR TO PLACING FOOTINGS OR RUNNING SERVICES WITHIN BUILDING ENVELOPE.

GENERAL NOTES

- 12 ALL ROOF SPACES TO BE VENTILATED WITH SOFFIT AND ROOF VENTS WITH A MINIMUM DISTRIBUTION AREA OF 1/300 A MINIMUM OF 25% OF VENTS TO BE LOCATED AT ROOF, AND MINIMUM 25% TO BE LOCATED AT SOFFIT.
- 13 DOOR FRAMES AT ENTRANCES AND EXTERIOR SPACES TO DWELLING UNITS SHALL BE SOLIDLY BLOCED BETWEEN DOOR FRAME AND STUDS AT THE HEIGHT OF THE DEADBOLT TO RESIST SPREADING.
- 14 ALL GLASS IN DOORS, SIDELITES OR WINDOWS WITHIN 12" OF FINISHED FLOOR TO BE CONSTRUCTED OF SAFETY GLASS.
- 15 RAINWATER LEADERS NOT SHOWN ON PLAN, CONTRACTOR TO DETERMINE EXACT LOCATION SUITABLE TO SITE AND MUNICIPAL DRAINAGE.
- 16 ELECTRICAL LOCATIONS TO BE DETERMINED BY ELECTRICAL CONTRACTOR WITH THE APPROVAL OF HOMEOWNER OR GENERAL CONTRACTOR AND IN ACCORDANCE WITH CURRENT ELECTRICAL CODE.
- 17 APPROVED SMOKE ALARMS TO BE INSTALLED WITH LOCATION APPROVED BY APPROPRIATE LOCAL MUNICIPALITY.
- 18 REFER TO LAYOUTS AND SPECIFICATIONS FROM STRUCTURAL ENGINEER, FLOOR JOIST SUPPLIER AND ROOF TRUSS MANUFACTURER FOR BEAM, POST AND FOOTING LOCATIONS AND SIZES AND ENSURE PROPER BEARING IS PROVIDED FOR ALL POINT LOADS. ANY STRUCTURAL SPECIFICATIONS SHOWN ON MRG'S PLANS ARE ESTIMATES ONLY AND MAY NOT ACCURATELY REPRESENT LOADING AND SIZING OR MAY NOT INCLUDE POINT LOADS OR STRUCTURAL MEMBERS DESIGNED BY OTHERS.
- 19 MRG RESIDENTIAL DESIGN ACCEPTS NO LIABILITY AND SHALL NOT BE HELD RESPONSIBLE FOR ERRORS OR OMISSIONS WITH THIS SET OF DRAWINGS THAT MAY NEGATIVELY AFFECT CONSTRUCTION IF ERRORS ARE FOUND, PLEASE CONTACT MRG AT YOUR EARLIEST CONVENIENCE.



3 SUBDIVISION PLAN
1:1000

SQUARE FOOTAGES:

UNIT 26

26 FINISHED	BASEMENT	913 SF
26 GARAGE	MAIN FLOOR	493 SF
26 MAIN	MAIN FLOOR	1403 SF
26 UNFINISHED	BASEMENT	474 SF
TOTAL AREA		3284 SF

UNIT 28

28 FINISHED	BASEMENT	851 SF
28 GARAGE	MAIN FLOOR	482 SF
28 MAIN	MAIN FLOOR	1367 SF
28 UNFINISHED	BASEMENT	473 SF
TOTAL AREA		3172 SF

SHEET LEGEND

A1	NOTES / 3D
A2	BASEMENT
A3	MAIN FLOOR
A4	ELEVATIONS
A5	ELEVATIONS
A6	SECTIONS
A7	SECTIONS/DETAILS
A8	RSITE

3550 SILVER STAR RD
VERNON, B.C.

JOB # **DUPLEX 26/28**

CLIENT **SILVER PINE**

JOB # **7437**

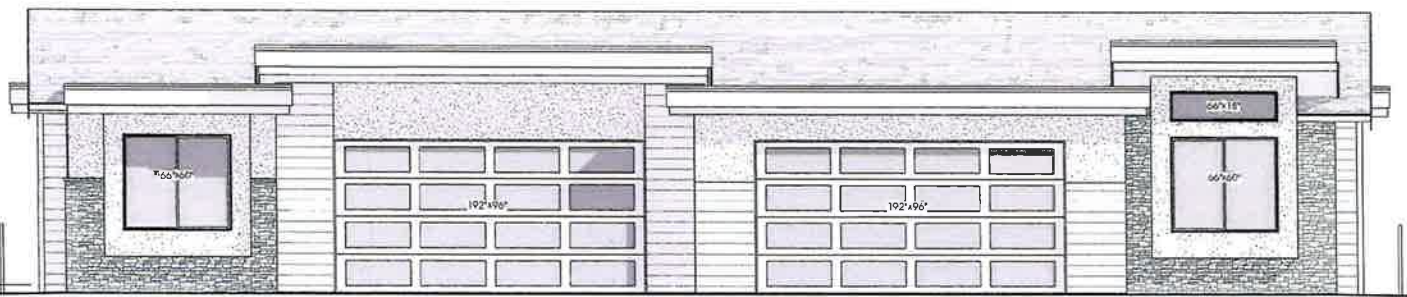
REVISIONS	
CONCEPT	JAN 9 2018
FLOOR REVIEW	JAN 17 2018
ROOF	FEB 12 2018
REVIEW	MAR 1 2018
SITE	APR 2 2018
PERMIT	APR 18 2018

DATE **APR 18 2018**

DRAWING **NOTES / 3D**

SCALE **AS INDICATED**

PAGE **A1**



UNIT 28

2 FRONT ELEVATION
1/4" = 1'-0"

UNIT 26

FOUNDATION WALL: 8" CONCRETE, 2X6 @ 16" O.C., R20 BATT (NO HRV)

LAYER	MATERIAL	RSI @ FRAMING	RSI @ CAVITY	RSI CONTINUOUS
OUTSIDE AIR FILM				0.030
FOUNDATION	8" 25 MPA CONCRETE			0.081
DAMP-PROOFING				0.210
AIR SPACE	1" AIR SPACE			0.180
FRAMING	3x1/40 SPF STUDS @ 405MM O.C.	1.190		
INSULATION	140MM R20 BATT		3.522	
VAPOUR BARRIER	6 MIL POLY *AIR BARRIER			0
INTERIOR AIR FILM				0.120
TOTAL		1.190	3.522	0.621
FRAMING/CAVITY PERCENTAGE		16%	84%	100%
AVERAGE ASSEMBLY RSI		3.09 RSI EFFECTIVE (MIN 2.98)		

RM JOIST: FIBER-CEMENT BOARD, I-JOIST @ 16" O.C., R20 BATT (NO HRV)

LAYER	MATERIAL	RSI @ FRAMING	RSI @ CAVITY	RSI CONTINUOUS
OUTSIDE AIR FILM				0.030
CLADDING	8MM FIBER CEMENT SIDING			0.026
SHEATHING MEMBRANE	BUILDING PAPER (TYVEE)			0
RA BOARD	28.5MM ENGINEERED OSB BRGD BOARD			0.280
JOISTS	11-7/8" ENG'D JOISTS @ 16" O.C.	1.190		
INSULATION	140MM R20 BATT		3.522	
VAPOUR BARRIER	6 MIL POLY *AIR BARRIER			0
INTERIOR AIR FILM				0.120
TOTAL		1.190	3.522	0.456
FRAMING/CAVITY PERCENTAGE		9%	91%	100%
AVERAGE ASSEMBLY RSI		3.44 RSI EFFECTIVE (MIN 3.08)		

EXTERIOR WALL: FIBER-CEMENT SIDING, 2X6 24" O.C., R24 BATT (NO HRV)

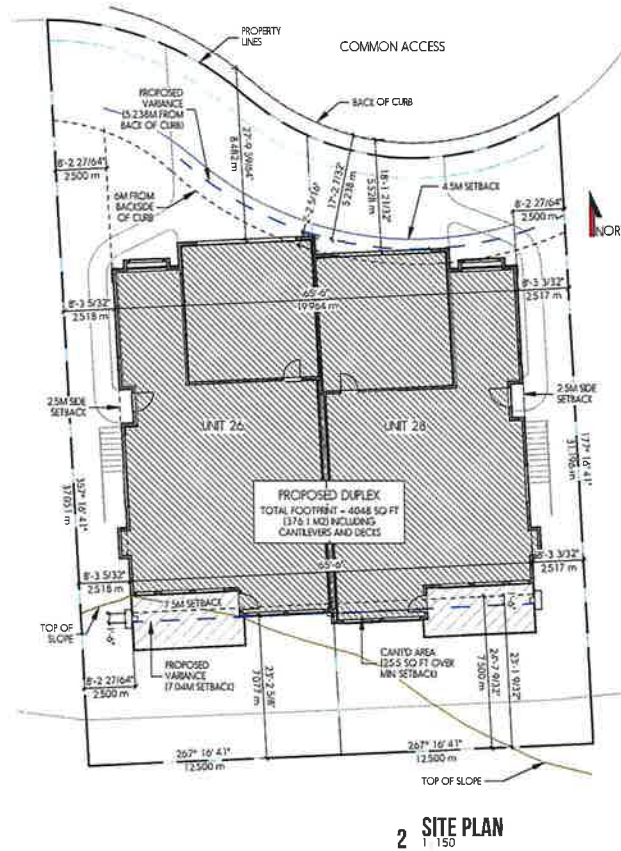
LAYER	MATERIAL	RSI @ FRAMING	RSI @ CAVITY	RSI CONTINUOUS
OUTSIDE AIR FILM				0.030
CLADDING	8MM FIBER CEMENT SIDING			0.026
SHEATHING MEMBRANE	BUILDING PAPER (TYVEE)			0
SHEATHING	9.5MM OSB			0.093
FRAMING	3x1/40 SPF STUDS @ 610MM O.C.	1.190		
INSULATION	140MM R24 BATT		4.226	
VAPOUR BARRIER	6 MIL POLY *AIR BARRIER			0
INTERIOR FINISH	13MM GYPSUM BOARD & PAINT			0.080
INTERIOR AIR FILM				0.120
TOTAL		1.190	4.226	0.349
FRAMING/CAVITY PERCENTAGE		20%	80%	100%
AVERAGE ASSEMBLY RSI		3.14 RSI EFFECTIVE (MIN 3.08)		

ATTIC CEILING, TYPICAL TRUSSES 24" O.C., R50 BLOWN IN (NO HRV)

LAYER	MATERIAL	RSI @ FRAMING	RSI @ CAVITY	RSI CONTINUOUS
OUTSIDE AIR FILM				0.030
TRUSSES	3x8/19 SPF TRUSSES @ 610MM O.C.	0.756		
INSULATION	3.5" BLOWN IN INSULATION (R9.46)		1.666	
INSULATION	1.5" BLOWN IN INSULATION (R4.54)			7.140
VAPOUR BARRIER	6 MIL POLY *AIR BARRIER			0
INTERIOR FINISH	13MM GYPSUM BOARD & PAINT			0.080
INTERIOR AIR FILM				0.120
TOTAL		0.756	1.666	7.37
FRAMING/CAVITY PERCENTAGE		11%	89%	100%
AVERAGE ASSEMBLY RSI		8.84 RSI EFFECTIVE (MIN 8.67)		

EXTERIOR WALL: FIBER-CEMENT PANEL, STRAPPING, 2X6 24" O.C., R22 BATT (NO HRV)

LAYER	MATERIAL	RSI @ FRAMING	RSI @ CAVITY	RSI CONTINUOUS
OUTSIDE AIR FILM				0.030
CLADDING	8MM FIBER CEMENT SIDING			0.026
STRAPPING	1-1/2" WIDE, 3/8" TREATED STRAPPING	0.093		
AIR SPACE	3/8" AIR SPACE		0.160	
FRAMING/CAVITY PERCENTAGE		20%	80%	0.140
SHEATHING MEMBRANE	BUILDING PAPER (TYVEE)			0
SHEATHING	9.5MM OSB			0.093
FRAMING	3x1/40 SPF STUDS @ 610MM O.C.	1.190		
INSULATION	140MM R22 BATT		3.872	
FRAMING/CAVITY PERCENTAGE		30%	80%	2.595
VAPOUR BARRIER	6 MIL POLY *AIR BARRIER			0
INTERIOR FINISH	13MM GYPSUM BOARD & PAINT			0.080
INTERIOR AIR FILM				0.120
TOTAL				3.084
AVERAGE ASSEMBLY RSI		3.084 (3.08 MIN)		



2 SITE PLAN
1/150

UNHEATED SLAB ABOVE FROST LINE, R12 INSULATION INSIDE OF FOUNDATION WALL (NO HRV)

LAYER	MATERIAL	RSI @ FRAMING	RSI @ CAVITY	RSI CONTINUOUS
INTERIOR AIR FILM				0.030
CEMENT WALL	MIN 4" 25MPA CONCRETE			0.033
INSULATION	R12 RIGID INSULATION (MIN 1.2M BELOW GRADE)			2.113
*R6 THERMAL BREAK AT SLAB EDGE				
TOTAL				2.176
FRAMING/CAVITY PERCENTAGE				100%
AVERAGE ASSEMBLY RSI		2.17 RSI EFFECTIVE (MIN 1.96)		

3550 SILVER STAR RD
VERNON, B.C.

JOB **DUPLX 26/28**

CLIENT **SILVER PINE**

JOB # **7437**

REVISIONS	
CONCEPT	JAN 9 2018
FLOOR REVIEW	JAN 17 2018
ROOF	FEB 12 2018
REVIEW	MAR 1 2018
SITE	APR 2 2018
PERMIT	APR 18 2018

DATE **APR 18 2018**

DRAWING **RSI/SITE**

SCALE **AS INDICATED**

PAGE **A8**

9.16 HR2 : Hillside Residential Multi-Family

9.16.1 Purpose

To provide a **zone** for the **development** of multi-family housing in hillside residential areas.

9.16.2 Primary Uses

- four-plex housing
- row housing
- semi-detached housing
- stacked row housing
- three-plex housing

9.16.3 Secondary Uses

- care centres, minor
- group home, minor
- home based businesses, minor

9.16.4 Subdivision Regulations

Lot Type	Minimum Lot area		Minimum Lot Width	
	interior	corner	interior	corner
<i>Four-Plex Housing</i>	780m ²	820m ²	29.0m	30.5m
<i>Row Housing</i>	1100m ²	1150m ²	35.0m	36.5m
<i>Semi-Detached Housing</i>	370m ²	410m ²	17.0m	18.5m
<i>Stacked Row Housing</i>	1100m ²	1150m ²	23.0m	24.5m
<i>Three-Plex Housing</i>	550m ²	590m ²	23.0m	24.5m

- Minimum **lot area** is 10,000m² if not serviced by **community sewer system**.
- Maximum **density** is 55.0 units per gross hectare (22 units/gross acre). For the purposes of calculating developable area, **lot yield**, and **density** predevelopment **lot** areas with 30% slope or greater shall be excluded.

9.16.5 Party Wall Subdivision Regulations

Lot Type	Minimum Lot area			Minimum Lot Width		
	interior two party walls	interior one party wall	corner	interior two party walls	interior one party wall	corner
<i>Four-Plex Housing</i>	185m ²	230m ²	270m ²	6.0m	8.5m	10.0m
<i>Row Housing</i>	185m ²	230m ²	270m ²	6.0m	8.5m	10.0m
<i>Semi-Detached Housing</i>	N/A	230m ²	270m ²	N/A	8.5m	10.0m
<i>Stacked Row Housing</i>	185m ²	230m ²	270m ²	6.0m	8.5m	10.0m
<i>Three-Plex Housing</i>	185m ²	230m ²	270m ²	6.0m	8.5m	10.0m

- Minimum **lot area** is 10,000m² if not serviced by **community sewer system**.
- Maximum **density** is 55.0 units per gross hectare (22 units/gross acre). For the purposes of calculating developable area, **lot yield** and **density**, predevelopment **lot** areas exceeding 30% slope shall be excluded.

9.16.6 Development Regulations

- Maximum **site coverage** is 55% and together with driveways, parking areas and all other **impermeable surfaces** shall not exceed 60%. That portion of the **lot** with a slope exceeding 30% shall be excluded from site coverage calculations.
- Maximum **height** is the lesser of 10.0m or 2.5 **storeys**, except it is 4.5m for **secondary buildings** and **secondary structures**.
- Minimum **front yard** is 4.0m, and it is 6.0m from a garage or **carport** to the back of curb or sidewalk for vehicular entry, or it is 0.6m to the side of the garage and 4.0m to the front building façade for side-entry garage and driveway layouts.
- Minimum **side yard** is 2.5m, or 0.0m for shared interior **party walls**, except it is 4.0m from a **flanking street** and 6.0m from the back of curb

or sidewalk to the garage where driveway access is from the **flanking street**.

- Minimum **rear yard** is 7.5m, except it is 1.0m for **secondary buildings**. Where the **lot width** exceeds the **lot depth**, the minimum **rear yard** is 4.5m.
- Minimum **building** width of each unit is 6.0m.
- Where more than one **building** is to be located on a **lot** the minimum horizontal distance between **buildings** shall be 4.0m.

9.16.7 Other Regulations

- The above noted **subdivision** and **development** regulations shall be applied to each bareland strata **lot** within the bareland strata plan.
- A minimum area of 15.0m² of usable private **open space** shall be provided per **dwelling**. Usable private **open space** must have a slope angle of 12% or less and must be accessible from the **dwelling** it is being provided for.
- Areas of a **lot** greater than 30m² and exceeding 30% slope shall be protected as undisturbed **open space**, and shall be free from **buildings, structures** or **development**.
- Any areas disturbed as a function of approved **lot development** that are greater than 30m² and exceeding 30% slope shall be rehabilitated with site appropriate native vegetation and provided drip irrigation for a period of two years; once rehabilitation is complete the irrigation system it to be removed and the area shall be protected as undisturbed **open space** and shall be free from **buildings, structures** or **development**.
- Buildings are to be natural earth tone colours, no reflective exterior building materials and mirror or reflective treated glass are permitted.
- All **development** on areas that have a slope of 12% or greater for 10% or more of the lot shall be subject to the Hillside Guidelines.
- Prior to any site disturbance or **lot development** the following must be mapped and integrated into **development** plans: identified natural features, sensitive habitat, landforms, and water features that have setbacks, protected areas, covenant areas, or areas that require permits from the Ministry of Environment, Fisheries and Oceans Canada, Integrated Land Management Bureau or other senior government agencies. For additional information and requirements please refer to charges that may appear on the **lot** title, associated permits and the Environmental Management Area Strategy.
- In addition to the regulations listed above, other regulations may apply. These include the general **development** regulations of Section 4 (secondary **development, yards**, projections into **yards**, lighting, agricultural setbacks, etc.); the specific use regulations of Section 5; the **landscaping** and fencing provisions of Section 6; and, the parking and loading regulations of Section 7.

- As per Section 4.10.2 - All **buildings and structures, excluding perimeter fencing (garden walls and fences) on lots abutting City Roads** as identified on Schedule "B" shall not be sited closer to the City Road than the setback as per the appropriate zone measured from the offset Rights of Way as illustrated on Schedule "B".

(Bylaw 5440)



THE CORPORATION OF THE CITY OF VERNON REPORT TO COUNCIL

ORIGINAL

SUBMITTED BY: Craig Broderick
Manager, Current Planning
Hazel Christy,
Planner

COUNCIL MEETING: REG COW I/C
COUNCIL MEETING DATE: November 13, 2018
REPORT DATE: October 29, 2018
FILE: DVP00435

SUBJECT: DEVELOPMENT VARIANCE PERMIT APPLICATION FOR 5400 OKANAGAN AVENUE

PURPOSE:

To review the development variance permit application for 5400 Okanagan Avenue to vary sections of Zoning Bylaw #5000 in order to construct a 36 unit townhouse development consisting of duplexes, three plexes and fourplexes on a lot with slopes in excess of 30%.

RECOMMENDATION:

THAT Council support a modified Development Variance Permit Application #DVP00435 to vary the following sections of Zoning Bylaw #5000 in order to construct a 36 unit townhouse development on Part of the NW ¼ of Sec. 28 shown on Plan B3911, Twp. 9 ODYD exc. Plans KAP50675 and KAP58681 (5400 Okanagan Avenue):

- a) to vary Section 4.16.1. to allow the construction of a building, structure or swimming pool on slopes of 30% or greater, and
- b) to vary Section 6.5.11. to increase the maximum height of a retaining wall from 1.2 m to a maximum of 3.6 m.

AND FURTHER, that Council confirm its previous approval of Development Variance Permit application DVP00382 to vary Zoning Bylaw #5000 Section 9.11.6 to reduce the minimum dwelling unit width from 6.5 m to 4.8 m;

AND FURTHER, that Council support of DVP00435 is subject to the following:

- a) That the revised site and elevation plans show retaining walls up to a maximum of 3.6m, intended to illustrate the general form, character and massing of the proposed residence, be submitted to the satisfaction of Administration and be attached to and form part of DVP00435 as Schedule 'A'.

ALTERNATIVES & IMPLICATIONS:

1. THAT Council support Development Variance Permit Application #DVP00435 to vary the following sections of Zoning Bylaw #5000 in order to construct a 36 unit townhouse development on Part of the NW ¼ of Sec. 28 shown on Plan B3911, Twp. 9 ODYD exc. Plans KAP50675 and KAP58681 (5400 Okanagan Avenue):

- a) to vary Section 4.16.1. to allow the construction of a building, structure or swimming pool on slopes of 30% or greater; and
- b) to vary Section 6.5.11. to increase the maximum height of a retaining wall from 1.2 m to 6.0 m.

AND FURTHER, that Council confirm its previous approval of Development Variance Permit application DVP00382 to vary Zoning Bylaw #5000 Section 9.11.6 to reduce the minimum dwelling unit width from 6.5 m to 4.8 m;

AND FURTHER, that Council support of DVP00435 is subject to the following:

- b) That the site and elevation plans, intended to illustrate the general form, character and massing of the proposed residence, and noted as Attachments 3 and 5 in the report titled "Development Variance Permit Application for 5400 Okanagan Avenue" and dated October 10, 2018 by the Manager, Current Planning be attached to and form part of DVP00435 as Schedule 'A'; and
- c) *any additional conditions that may be cited by Council.*

Note: This alternative allows the development to proceed as originally proposed and supports the development variance permit application subject to the conditions outlined by Administration, as well as additional conditions as may be cited by Council.

2. THAT Council not support a Development Variance Permit Application #DVP00435 to vary the following sections of Zoning Bylaw #5000 in order to construct a 36 unit townhouse development on Part of the NW ¼ of Sec. 28 shown on Plan B3911, Twp. 9 ODYD exc. Plans KAP50675 and KAP58681 (5400 Okanagan Avenue):

- a) to vary Section 4.16.1. to allow the construction of a building, structure or swimming pool on slopes of 30% or greater, and
- b) to vary Section 6.5.11. to increase the maximum height of a retaining wall from 1.2 m to a maximum of 3.6 m.

Note: This alternative would require a redesign of the project that may result in a small apartment building proposed on site in order to cluster units onto a smaller portion of the site. Other variances may be required depending upon the detailed design.

ANALYSIS:

A. Committee Recommendations:

At its meeting of October 10, 2018 the Advisory Planning Committee passed the following resolution:

THAT the APC is not in support of Development Variance Permit Application #DVP00435 to vary the following sections of Zoning Bylaw #5000 in order to construct a 36 unit townhouse development on Part of the NW ¼ of Sec. 28 shown on Plan B3911, Twp. 9 ODYD exc. Plans KAP50675 and KAP58681 (5400 Okanagan Avenue):

- a) to vary Section 4.16.1. to allow the construction of a building, structure or swimming pool on slopes of 30% or greater, and
- b) to vary Section 6.5.11. to increase the maximum height of a retaining wall from 1.2 m to 6.0 m.

B. Rationale:

1. The subject property is located at 5400 Okanagan Road, as shown on Figures 1 and 2. The property is approximately 8,110 m² in size. The lot slopes upward from the road and backs onto Crown land, which contains a public trail. Based on information submitted by the applicant, approximately one third of the property contains slopes in excess of 30% (Attachment 1). Two ravines are located in the southern portion of the property, one of which contains slopes of 40% - 50%. The property is currently undeveloped, with some trees and shrubs located near Okanagan Road and within the ravine areas.

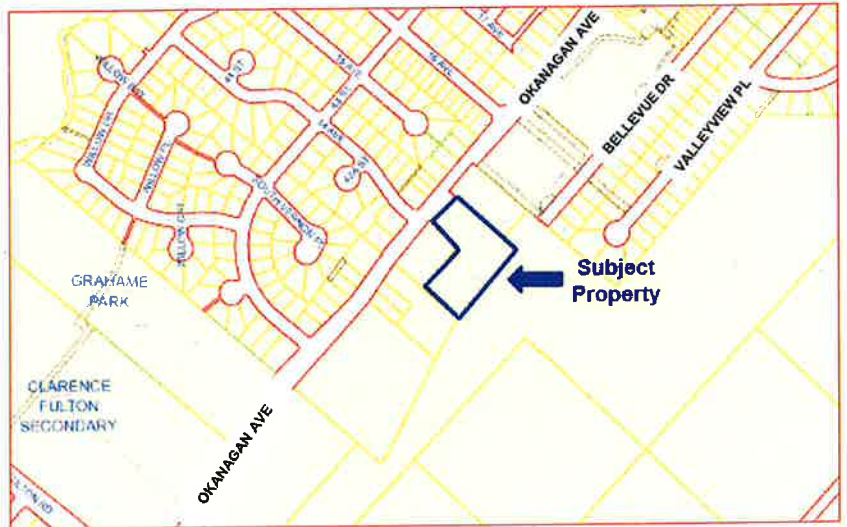


Figure 1 – Property Location Map

2. The subject application proposes to vary the following sections of Zoning Bylaw #5000 in order to develop 36 townhouse units:

- a) to vary Section 4.16.1. to allow the construction of a building, structure or swimming pool on slopes of 30% or greater; and
- b) to vary Section 6.5.11. to increase the maximum height of a retaining wall from 1.2 m to up to 3.6 m.

3. The subject property was rezoned from R5 – Four Plex Residential to RM2 – Multiple Housing Residential in 2017 (ZON00277). At that time, information provided by the applicant indicated that all slopes were less than 29%. Since that time, a more detailed slope analysis has been completed that indicates that approximately one third of the site exceeds 30% slope, especially in the ravine sections of the property.



Figure 2 – Aerial Photo of Property Location

Following the application being reviewed by the Advisory Planning Commission, Administration met with the applicant to review the proposed design. In an effort to satisfy concerns related to the height of the retaining walls, the applicant is working to redesign the project to reduce the height of required retaining walls. In this case, Administration supports a maximum retaining wall height of 3.6m in this case which is three times the zoning regulation of 1.2m.

4. The staff report at the time of rezoning of this property noted that “OCP Policy 7.5 indicates that the maximum density is not necessarily appropriate or achievable in all areas, and that consideration is given to the density of surrounding development, designation of the land and optimizing infrastructure provision”.
5. A 36 unit townhome development was proposed at that time, and site plan and elevation drawings accompanied the joint rezoning and development variance permit application (ZON00277/DVP00382).

Council approved variances to minimum unit width (4.8 m from 6.5 m) and to off-site road works. The smaller unit widths and footprints were described as being “more conducive to the slope of the site”. Development Variance Permit application DVP00382 was not issued within the required one year time period and Council’s approval of DVP00382 has now lapsed.

6. The current application, also for 36 townhouse units, differs from the original concept in several significant areas:
 - a) New topographic information has been received showing significant areas of 30% slope and higher. (Attachment 1).
 - b) Site topography is proposed to be modified to allow the buildings to be constructed on flat building pads. This was originally proposed to be achieved by significant regrading of the site and the use of large retaining walls varying in height from 4 m to up to 6 m. (Attachment 2). However, the applicant has now committed to reducing the maximum height of retaining walls to 3.6 m, and this is reflected in the recommendation from Administration.
 - c) The current design now shows two sections of road within the ravine area, as the internal road has been extended to curve around in order to reduce road grades. (Attachments 3 and 4).
 - d) Units are larger and not placed so as to conform to the slope, as additional regrading is now proposed to create flat building pads that have been terraced into the hill. (Attachment 5: DVP00435 proposed Building Elevations) (Attachment 6: DVP00382 previously proposed Building Elevations).
7. Administration supports a modified variance that would limit retaining wall height on the property to a maximum of 3.6m. The applicant is supportive of this modification and is aware that the proposed site plan, grading and elevations would need to be redesigned to accommodate the maximum wall height.

This modification takes into account the history of approvals on this site, characteristics of development projects on hillside sites in proximity to this site and the overall nature of the site. As such, this modified approach is viewed as a transition that strives to reduce impacts of large retaining walls while moving towards implementation of the Hillside Development Guidelines.

8. The adoption of the Hillside Development Guidelines in 2008 signalled the City’s intention to move away from past development practices which require significant re-grading and large retaining walls. While all retaining walls higher than 1.2 m require engineering design and certification, there is an ongoing maintenance requirement to ensure the integrity of the structure. In the long run, designing developments to maintain as much of the natural topographic character as possible, using clustering, placing buildings into the slope, and minimizing site disturbance, provides a more viable and sustainable option than large, extensive retaining walls.

C. Attachments

- Attachment 1 – Slope Analysis
- Attachment 2 – Overall Site Grading Plan and Cross Sections
- Attachment 3 – DVP00435 Proposed Site Plan
- Attachment 4 – DVP00382 Previously Proposed Site Plan
- Attachment 5 – DVP00435 Proposed Building Elevations
- Attachment 6 – DVP00382 Previously Proposed Building Elevations

D. Council’s Strategic Plan 2015 – 2018 Goals/Deliverables:

The subject application involves the following objectives in Council’s Strategic Plan 2015 – 2018:

- Support sustainable neighbourhoods by implementing the OCP.

E. Relevant Policy/Bylaws/Resolutions:

Official Community Plan

1. Section 26 Development Permit Areas
2. Section 28 Development Permit Area # 2 (Neighbourhood District)

The property is subject to Development Permit approval and must comply with the *City of Vernon Hillside Guidelines*, the *Environmental Management Areas Strategy*, and guidelines contained in Sections 26, and 28 of the Official Community Plan.

BUDGET/RESOURCE IMPLICATIONS:

N/A

Prepared by:



Craig Broderick
Oct 30 2018 9:57 AM DocuSign

Craig Broderick
Manager, Current Planning



Kim Flick
Oct 30 2018 12:32 PM DocuSign

Kim Flick
Director, Community Infrastructure and Development

Approved for submission to Council:

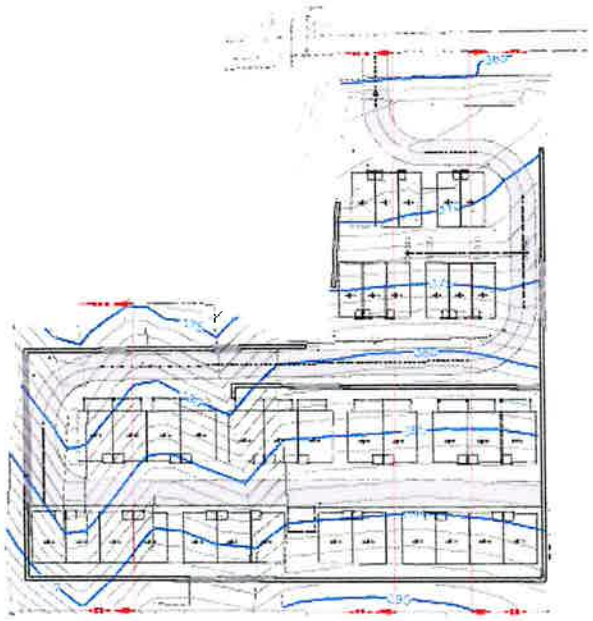


Will Pearce, CAO

Date: 31.10.2018

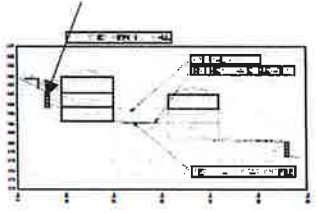
REVIEWED WITH

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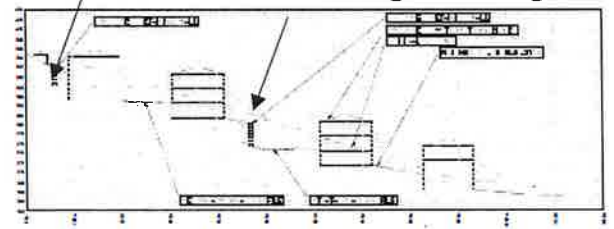
DRAFT
(ISSUED FOR REVIEW)

4.0 m high retaining wall



CR-1
SCALE: 1:200

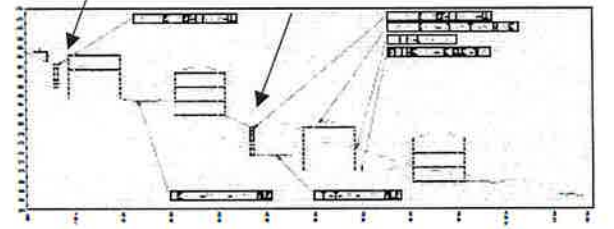
4.0 m high retaining wall
5.0 m high retaining wall



CR-2
SCALE: 1:200

5.0 m high retaining wall

6.0 m high retaining wall



CR-3
SCALE: 1:200

REV. NO.	DATE	DESIGNED	DRAWN	CHECKED	DESCRIPTION
1	2023-03-15	ALB	JSL	JSL	ISSUED FOR REVIEW
2	2023-03-15	ALB	JSL	JSL	ISSUED FOR REVIEW
3	2023-03-15	ALB	JSL	JSL	ISSUED FOR REVIEW

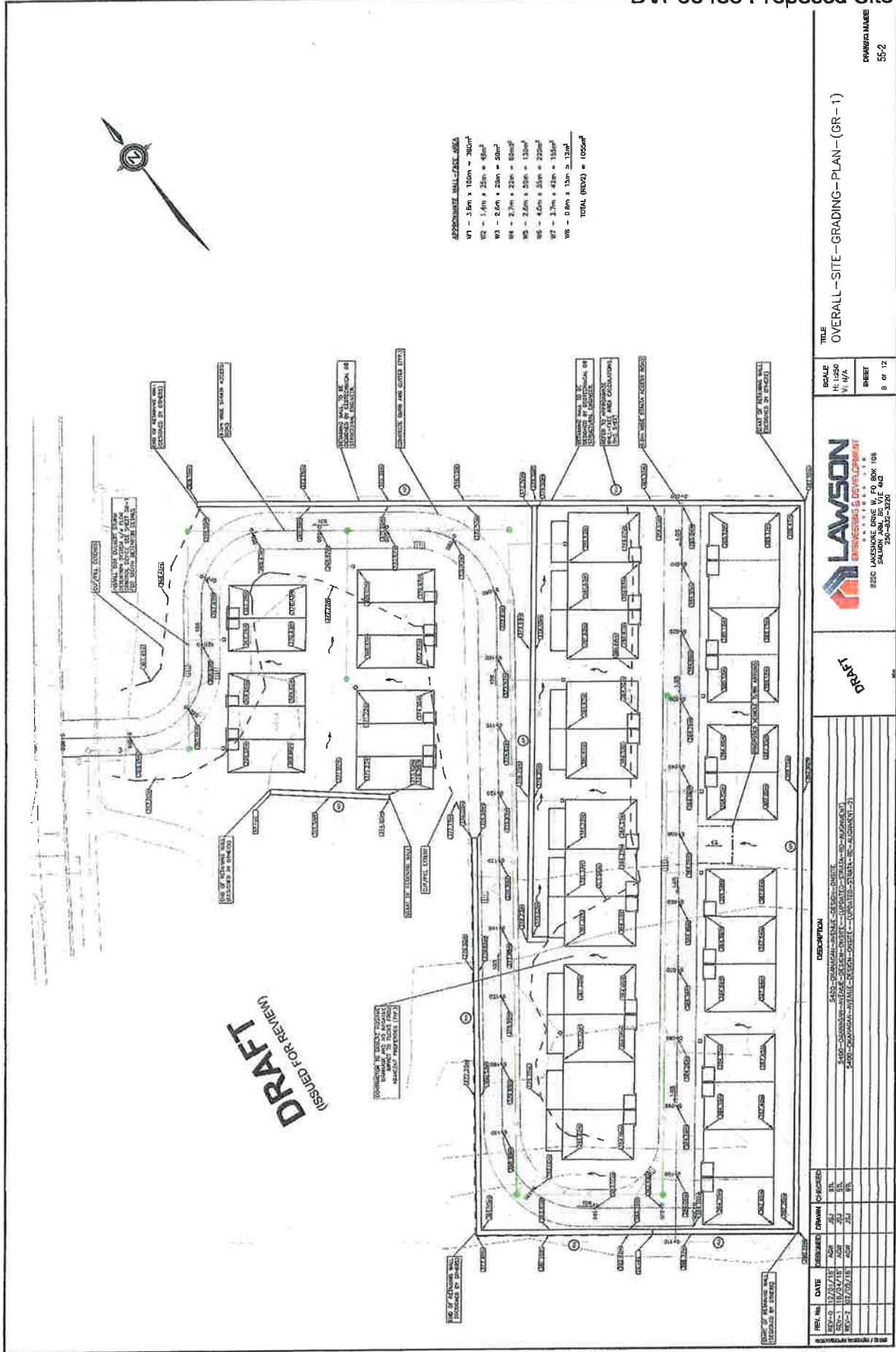
DRAFT

LAWSON
ENGINEERING & DEVELOPMENT
8230 LAWSON DRIVE W, PO BOX 105
SALMON ARM, BC V1E 4K2
250-610-1221

SCALE
H: 1:200
V: 1:200

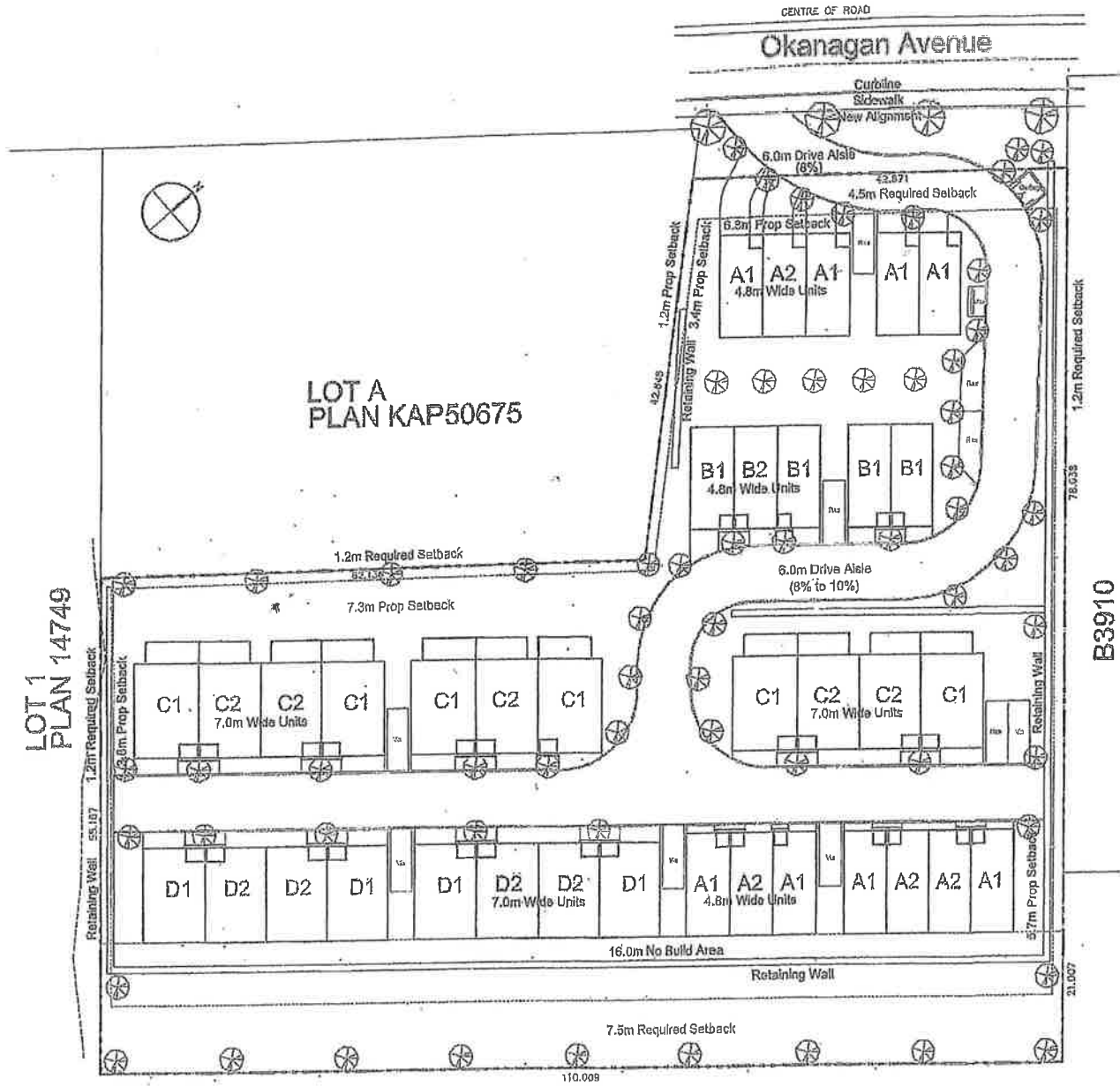
TITLE
OVERALL-SITE-GRADING-PLAN
-CROSS-SECTIONS-(CR-2)

DRAWING NUMBER
55-2



Attachment 4

DVP00382 Previously Proposed Site Plan



Site Plan

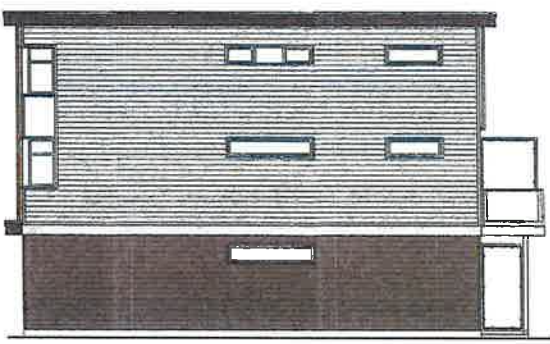
NW 1/4 SEC. 28

GATEWOOD HOMES LTD.
PROPOSED 38 UNIT TOWNHOUSE DEVELOPMENT
5400 OKANAGAN AVENUE, VERNON, BC

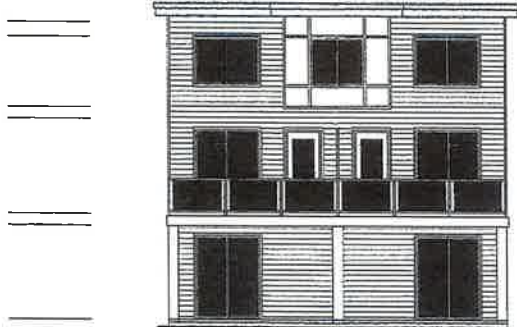




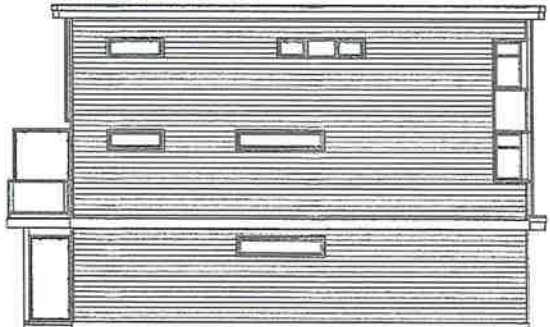
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION

SDC

**SAATH
DEVELOPMENT
CORP.**

#203-2907 32nd Street
Vernon, BC V1T 5M2

No.	Description	Date
1.	ISSUE FOR DP	JAN 19 2018

RESIDENTIAL
DEVELOPMENT

5400 OKANAGAN
AVE, VERNON BC

2-PLEX ELEVATIONS

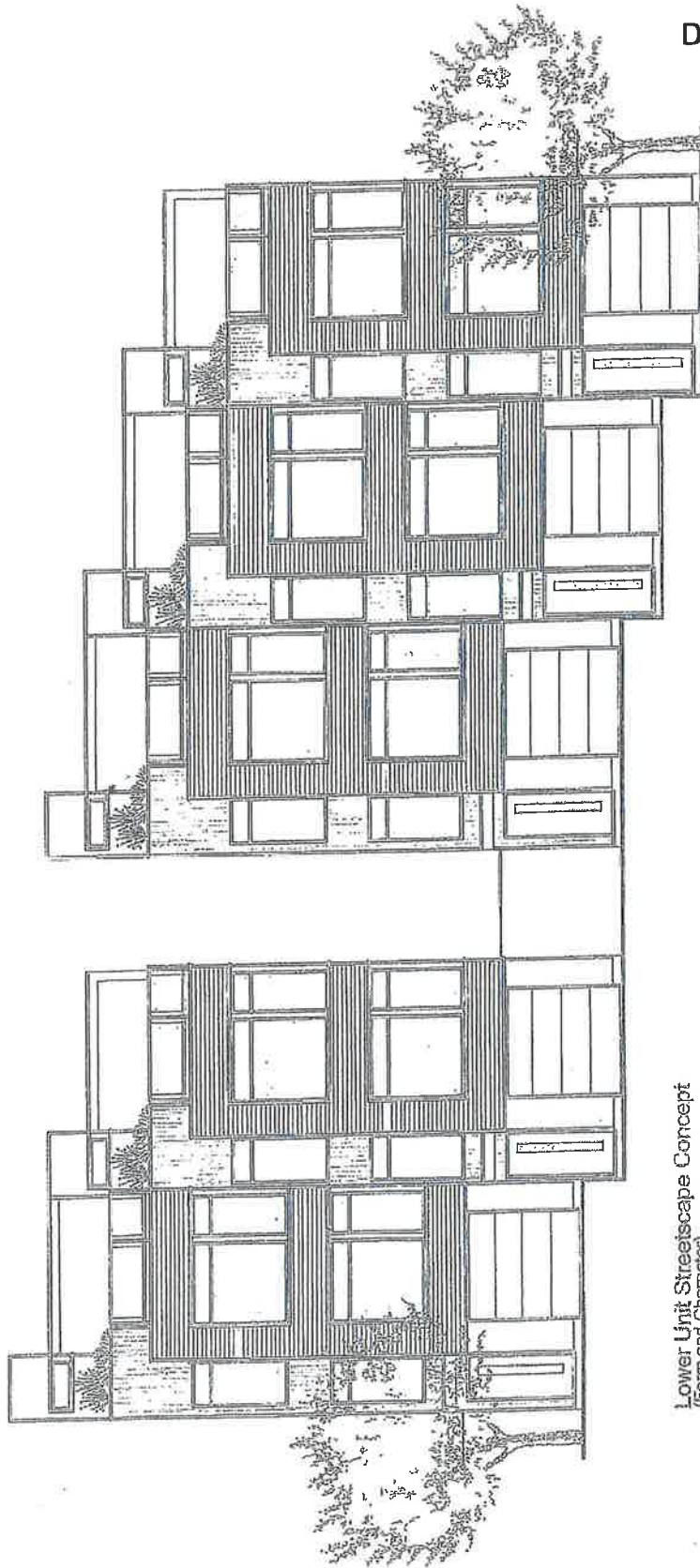
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Drawn by	
Project No.	
Scale	1:



Attachment 5
DVP00435 Proposed
Building Elevations

Attachment 6

DVP00382 Previously Proposed
Building Elevations



DWELL
DESIGN STUDIO

Lower Unit Streetscape Concept
(Form and Character)

GATEWOOD HOMES LTD.
PROPOSED 36 UNIT TOWNHOUSE DEVELOPMENT
5400 OKANAGAN AVENUE, VERNON, BC



THE CORPORATION OF THE CITY OF VERNON REPORT TO COUNCIL

ORIGINAL

SUBMITTED BY: Craig Broderick
Manager, Current Planning
Hazel Christy,
Planner

COUNCIL MEETING: REG COW I/C
COUNCIL MEETING DATE: November 13, 2018
REPORT DATE: October 29, 2018
FILE: DVP00441

SUBJECT: DEVELOPMENT VARIANCE PERMIT APPLICATION FOR 1905 AND 2001 – 15TH AVENUE

PURPOSE:

To review the development variance permit application for 1905 and 2001 – 15th Avenue to vary sections of Zoning Bylaw #5000 in order to construct a 48 unit townhouse development project (12 fourplex buildings).

RECOMMENDATION:

THAT Council support Development Variance Permit Application #DVP00441 to vary the following sections of Zoning Bylaw #5000 in order to construct a 48 unit townhouse development project on Lots 3 and 4, Sec 26, Twp 9, ODYD, Plan KAP58251 (1905 and 2001 – 15th Avenue):

- a) to vary Section 9.6.6 to increase the height of a vertical wall element, without recessing the upper portion of the building wall, from a maximum of 6.5 m to 9.4 m (Buildings 10 and 12); and
- b) to vary Section 9.6.6 to reduce the minimum unit width from 6.5 m to 6.1 m.

AND FURTHER, that Council support of DVP00441 is subject to the following:

- a) That the site plan and elevation plans, intended to illustrate the general form, character and massing of the proposed townhouse development project, and noted as Attachments 1, 2 and 3 in the report titled "Development Variance Permit Application for 1905 and 2001 – 15th Avenue" and dated October 29, 2018 by the Manager, Current Planning be attached to and form part of DVP00441 as Schedule 'A'.

ALTERNATIVES & IMPLICATIONS:

1. THAT Council support Development Variance Permit Application #DVP00441 to vary the following sections of Zoning Bylaw #5000 in order to construct a 48 unit townhouse development project on Lots 3 and 4, Sec 26, Twp 9, ODYD, Plan KAP58251 (1905 and 2001 – 15th Avenue):

- a) to vary Section 9.6.6 to increase the height of a vertical wall element, without recessing the upper portion of the building wall, from a maximum of 6.5 m to 9.4 m (Buildings 10 and 12); and
- b) to vary Section 9.6.6 to reduce the minimum unit width from 6.5 m to 6.1 m.

2. AND FURTHER, that Council support of DVP00441 is subject to the following:

- a) That the site plan and elevation plans, intended to illustrate the general form, character and massing of the proposed townhouse development project, and noted as Attachments 1, 2 and 3 in the report titled "Development Variance Permit Application for 1905 and 2001 – 15th Avenue" and dated October 29, 2018 by the Manager, Current Planning be attached to and form part of DVP00441 as Schedule 'A'; and
- b) *any conditions that may be cited by Council.*

Note: This alternative supports the development permit application subject to the conditions recommended by Administration, as well as additional conditions as cited by Council.

3. THAT Council not support Development Variance Permit Application #DVP00441 to vary the following sections of Zoning Bylaw #5000 in order to construct a 48 unit townhouse development project on Lots 3 and 4, Sec 26, Twp 9, ODYD, Plan KAP58251 (1905 and 2001 – 15th Avenue):
 - a) to vary Section 9.6.6 to increase the height of a vertical wall element, without recessing the upper portion of the building wall, from a maximum of 6.5 m to 9.4 m (Buildings 10 and 12); and
 - b) to vary Section 9.6.6 to reduce the minimum unit width from 6.5 m to 6.1 m.

Note: This alternative does not support the requested variance and therefore the development could not be constructed as proposed.

ANALYSIS:

A. Committee Recommendations:

At its meeting of October 10, 2018 the Advisory Planning Committee passed the following resolution:

“THAT Council support Development Variance Permit Application #DVP00441 to vary the following sections of Zoning Bylaw #5000 in order to construct a 48 unit townhouse development project on Lots 3 and 4, Sec 26, Twp 9, ODYD, Plan KAP58251 (1905 and 2001 – 15th Avenue):

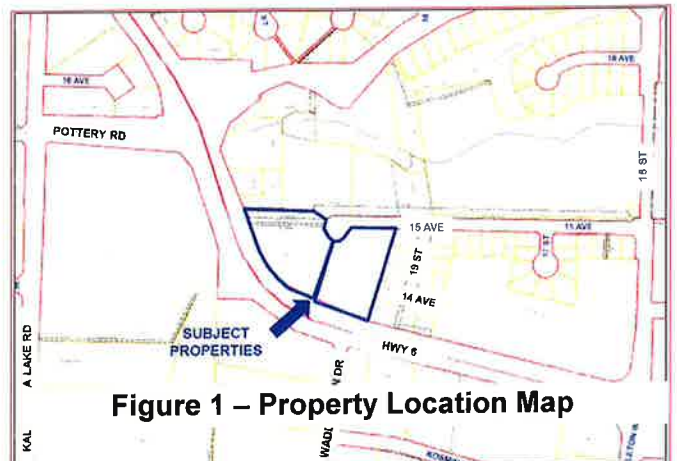
- a) to vary Section 9.6.6 to increase the height of a vertical wall element, without recessing the upper portion of the building wall, from a maximum of 6.5 m to 9.4 m (Buildings 10 and 12); and
- b) to vary Section 9.6.6 to reduce the minimum unit width from 6.5 m to 6.1 m.

AND FURTHER, that Council support of DVP00441 is subject to the following:

- a) That the site plan and elevation plans, intended to illustrate the general form, character and massing of the proposed townhouse development project, and noted as Attachments 1, 2 and 3 in the report titled “Development Variance Permit Application for 1905 and 2001 – 15th Avenue” and dated October 1, 2018 by the Manager, Current Planning be attached to and form part of DVP00441 as Schedule ‘A’.”

B. Rationale:

1. The subject property is located at 1905 and 2001 – 15th Avenue as shown on Figures 1 and 2. The properties together total approximately 16,235 m² in size, and are situated adjacent to and overlooking Highway 6. The majority of the property is generally level, and slopes gently towards the west. The properties are currently undeveloped and contain grasses, trees and shrubs.



2. The subject application proposes to vary the following sections of Zoning Bylaw #5000 in order to construct 12 fourplexes:

- a) to vary Section 9.6.6. to increase the height of a vertical wall element from a maximum of 6.5 m to 9.4 m (Buildings 10 and 12); and
- b) to vary Section 9.6.6. to reduce the minimum unit width from 6.5 m to 6.1 m.

3. The requested variance to the height of a vertical wall element applies only to Buildings 10 and 12, which have walkout basements to take advantage of slopes in this portion of the property.



Figure 2 – Aerial Photo of the property

4. All units are three bedroom with basement. The requested variance to minimum building width reflects the design of the Maple and Elm unit types, which are more modest in scale. The Willow unit type is larger, and together, the three unit types are intended to provide a variety of options for the target market. The floor plans shown in Attachment 3 illustrate that the proposed variance to unit width would have minimal impact on the functionality of the units.

5. This Development Variance Permit application included a request to vary the minimum pavement width of local roads adjacent to low and medium density development. At its Regular Meeting of September 24, 2018, Council adopted amendments to Subdivision and Development Servicing Bylaw #3843 Schedules A and B that would allow the current pavement width of 8.3 m to remain, so this variance request is no longer required.

6. The site plan and building elevations attached to this report (Attachments 1 and 2) illustrate the location, and general form and character of the proposed fourplexes, and would form part of Development Permit application DP000732, should this Development Variance Permit application be supported by Council.

7. Administration supports the requested variances for the following reasons:

- a) The development is a comprehensively designed, integrated project and the proposed variances would have minimal impact on neighbouring properties.
- b) The units proposed would add to the diversity of housing types within the city.
- c) The proposal is consistent with all other regulations within the R5 Fourplex Housing Residential zoning district.

C. Attachments

Attachment 1 – Site Plan

Attachment 2 – Building Elevations (Buildings 10 and 12)

Attachment 3 – Sample Floor Plans (Maple and Elm units)

D. Council's Strategic Plan 2015 – 2018 Goals/Deliverables:

The subject application involves the following objectives in Council's Strategic Plan 2015 – 2018:

- Support sustainable neighbourhoods by implementing the OCP

E. Relevant Policy/Bylaws/Resolutions:

1. The property is designated Residential Low Density in the Official Community Plan.
2. Official Community Plan Section 26 Development Permit Areas

The property is subject to Development Permit approval and must comply with the guidelines contained in Section 26 of the Official Community Plan.

BUDGET/RESOURCE IMPLICATIONS:

N/A

Prepared by:

Craig Broderick
 Craig Broderick
 Oct 30 2018 9:59 AM DocuSign

Craig Broderick
Manager, Current Planning

Kim Flick
 Kim Flick
 Oct 30 2018 12:34 PM DocuSign

Kim Flick
Director, Community Infrastructure and Development

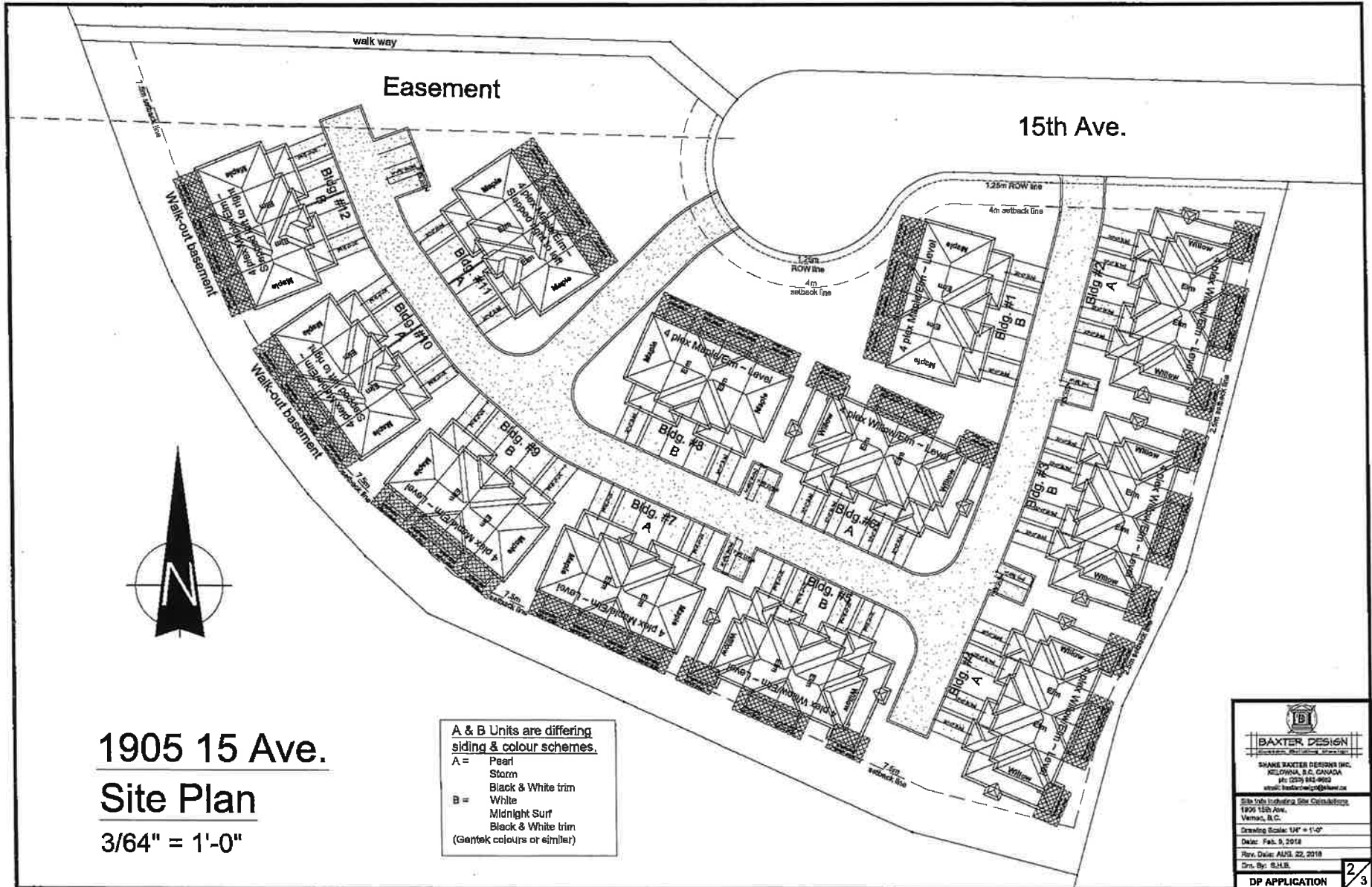
Approved for submission to Council:

Will Pearce
Will Pearce, CAO

Date: 01.11.2018

REVIEWED WITH

- | | | |
|--|---|--|
| <input type="checkbox"/> Corporate Services | <input type="checkbox"/> Operations | <input checked="" type="checkbox"/> Current Planning |
| <input type="checkbox"/> Bylaw Compliance | <input type="checkbox"/> Public Works/Airport | <input checked="" type="checkbox"/> Long Range Planning & Sustainability |
| <input type="checkbox"/> Real Estate | <input type="checkbox"/> Facilities | <input type="checkbox"/> Building & Licensing |
| <input type="checkbox"/> RCMP | <input type="checkbox"/> Utilities | <input checked="" type="checkbox"/> Engineering Development Services |
| <input type="checkbox"/> Fire & Rescue Services | <input type="checkbox"/> Recreation Services | <input type="checkbox"/> Infrastructure Management |
| <input type="checkbox"/> Human Resources | <input type="checkbox"/> Parks | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Financial Services | | <input type="checkbox"/> Economic Development & Tourism |
| <input checked="" type="checkbox"/> COMMITTEE: APC (Oct.10/18) | | |
| <input type="checkbox"/> OTHER: | | |



1905 15 Ave.
Site Plan
 3/64" = 1'-0"

A & B Units are differing siding & colour schemes.
 A = Pearl
 Storm
 Black & White trim
 B = White
 Midnight Surf
 Black & White trim
 (Gentek colours or similar)

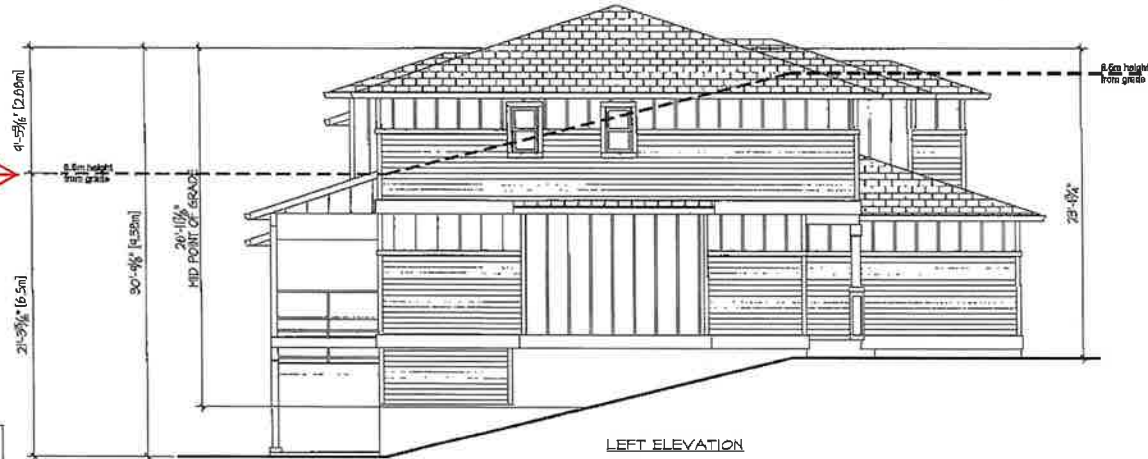
BAXTER DESIGN
 SHANE BAXTER DESIGN INC.
 KILLOWNA, B.C. CANADA
 P.O. BOX 142-9002
 VANCOUVER, B.C.
 www.baxterdesign.com
 Site Info Including Site Consultation
 1905 15th Ave.
 Vernon, B.C.
 Drawing Scale: 1/4" = 1'-0"
 Date: Feb. 9, 2018
 Rev. Date: AUG. 22, 2018
 Dwn. By: S.H.B.

6.5m height from grade



FRONT ELEVATION

6.5m height from grade



LEFT ELEVATION

ERRORS AND OMISSIONS
 BAXTER DESIGN and FRANK BAXTER shall not be responsible for any variations from the structural drawings and specifications, or adjustments required resulting from construction at the job site, and is the sole responsibility of the owner or contractor.
 BAXTER DESIGN and FRANK BAXTER shall not be responsible for any errors or omissions which may affect construction. It is the responsibility of all trades and contractors to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise us in writing the necessary corrections.

 BAXTER DESIGN <small>Residential Architectural Services</small>
<small>FRANK BAXTER DESIGNS INC. 10200A, R.C. CANADA #10200A email: baxterdesign@shaw.ca</small>
<small>4 Units - Medium-Density Residential Walk-out Basements 1906 1681 Ave. Vernon, B.C. Drawing Scale: 1/4" = 1'-0" Date: FEB. 8, 2018 Rev. Date: AUG. 22, 2018 Dwn. By: S.H.L.B.</small>
BLDG. 10 & 12

Attachment 2

6.5m height from grade



REAR ELEVATION

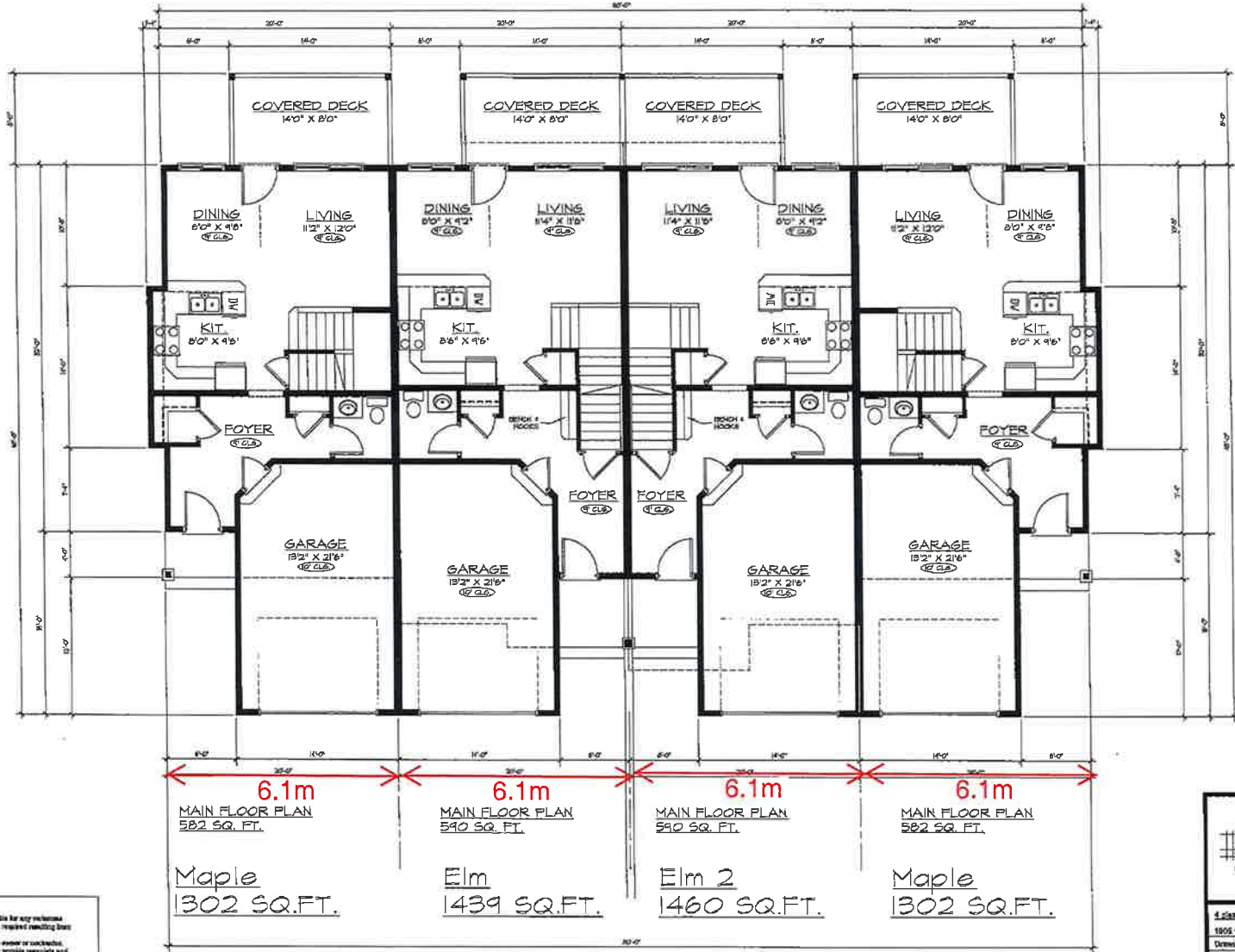
9.38m building height



RIGHT ELEVATION

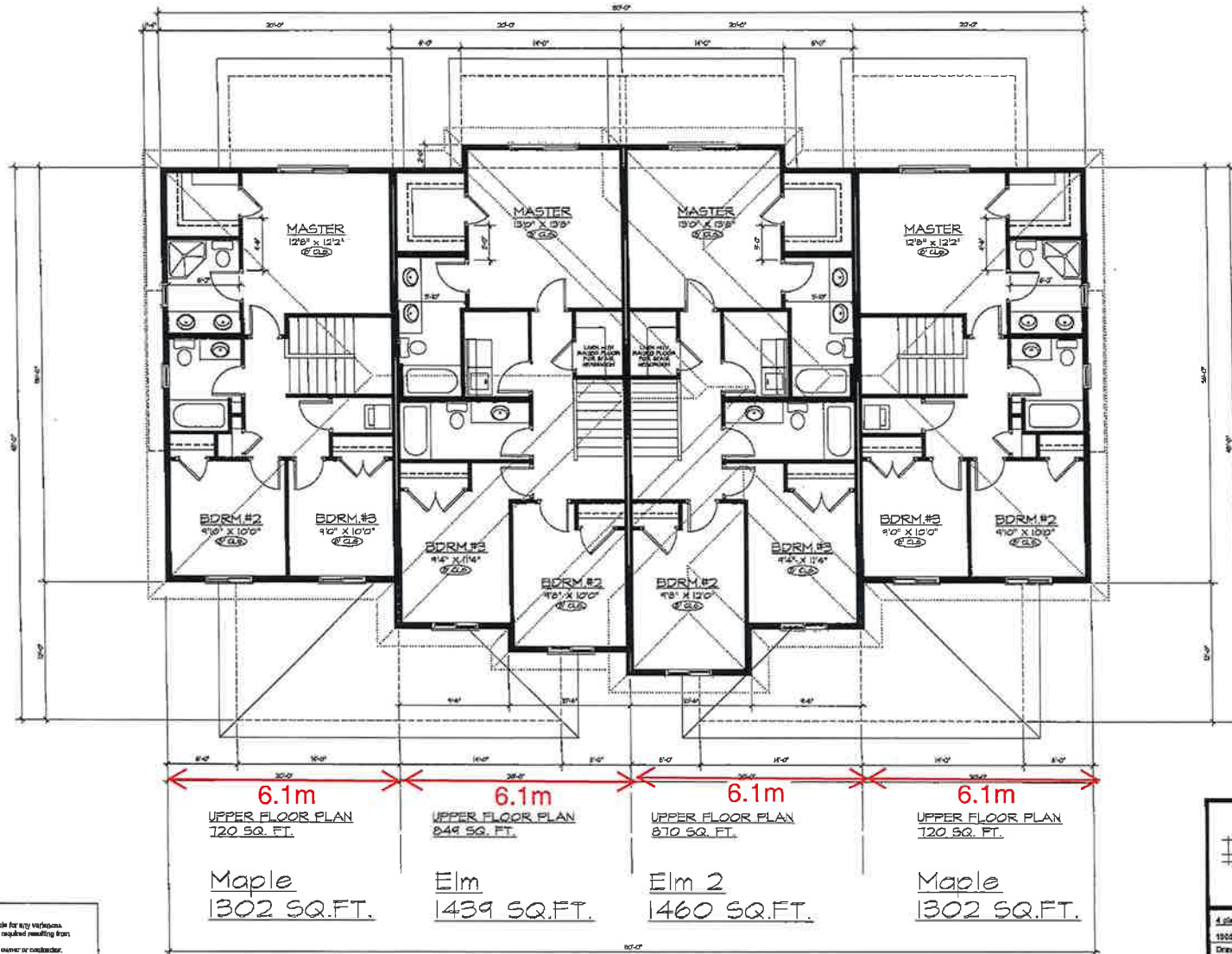
ERRORS AND OMISSIONS
 BAXTER DESIGN and SHANE BAXTER shall not be responsible for any mistakes from the structural drawings and specifications, or adjustments required resulting from construction of the job site, and is the sole responsibility of the owner or contractor.
 BAXTER DESIGN and SHANE BAXTER make every effort to provide complete and accurate construction drawings. However, we cannot be held liable for any errors or omissions which may affect construction. It is the responsibility of all trades and subcontractors to check and verify all dimensions and details before commencing with their portion of the construction. Check any dimensions to be fixed on these plans please advise our office as we can make the necessary corrections.

 BAXTER DESIGN <small>GENERAL BUILDING DIVISION</small>	
<small>SHANE BAXTER DESIGN INC. MELBOURNE, B.C. CANADA Ph: (250) 480-0000 Email: shane@baxterdesign.com</small>	
<small>4 sites - Metro/Emu Lake - Steppac Walkout basement 1905 15th Ave. Vernon, B.C. Drawing Scale: 1/4" = 1'-0" Date: FEB 5, 2018 Rev. Date: AUG 22, 2018 Des. By: S.L.B.</small>	
<table border="1"> <tr> <td align="center">5</td> </tr> </table>	5
5	



ERRORS AND OMISSIONS
 BAXTER DESIGN and SHAWN BAXTER shall not be responsible for any mistakes from the electronic creation and specification, or subsequent to print resulting from misinterpretation of the job site, and is the sole responsibility of the owner or contractor.
 BAXTER DESIGN and SHAWN BAXTER makes every effort to provide accurate and reliable architectural drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and subs to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

 BAXTER DESIGN ARCHITECTURAL & INTERIOR DESIGN	
SHAWN BAXTER DESIGNS INC. NELSON, B.C. CANADA PH: 250.352.8488 EMAIL: info@baxterdesign.com	
4 Unit - Maple/Elm units - 20000	
1805 15th Ave. Vernon, B.C.	
Drawing Code: 114 - 1107	
Date: FEB. 8, 2019	
Rev. Date: AUG. 22, 2016	
Des. By: SHB.	
BLDG. 11	



ERRORS AND OMISSIONS
 BAXTER DESIGN and SHANE BAXTER shall not be responsible for any variations from the structural drawings and specifications, or adjustments required resulting from construction.
 BAXTER DESIGN and SHANE BAXTER assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and suppliers to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on those plans please advise our office as we may make the necessary adjustments.

6.1m UPPER FLOOR PLAN 120 SQ. FT. Maple 1302 SQ.FT.	6.1m UPPER FLOOR PLAN 849 SQ. FT. Elm 1439 SQ.FT.	6.1m UPPER FLOOR PLAN 870 SQ. FT. Elm 2 1460 SQ.FT.	6.1m UPPER FLOOR PLAN 120 SQ. FT. Maple 1302 SQ.FT.
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BAXTER DESIGN Architectural & Engineering
SHANE BAXTER DESIGN INC. KELOWNA, B.C. CANADA PH: (250) 862-9922 WWW: baxterdesign.ca/baxter.ca
4 plan - Maple/Elm units - Staged
1205 15th Ave. Vernon, B.C.
Drawing Scale: 1/4" = 1'-0"
Date: FEB. 8, 2018
Rev. Date: AUG. 22, 2018
Dr. By: S.H.S.
BLDG. 11

3/5



**THE CORPORATION OF THE CITY OF VERNON
REPORT TO COUNCIL**

ORIGINAL

SUBMITTED BY: Keltie Chamberlain
Planning Assistant,
Craig Broderick,
Manager, Current Planning

COUNCIL MEETING: REG COW I/C
COUNCIL MEETING DATE: November 13, 2018
REPORT DATE: October 17, 2018
FILE: DVP00443

SUBJECT: DEVELOPMENT VARIANCE PERMIT APPLICATION FOR 6533 ORCHARD HILL ROAD

PURPOSE:

To review the Development Variance Permit application (DVP00443) for the subject property located at 6533 Orchard Hill Road to vary a section of Zoning Bylaw #5000 in order to construct a second-floor addition above an existing garage for a secondary suite.

RECOMMENDATION:

THAT Council support the Development Variance Permit application (DVP00443) for the subject property located on Lot 28, Plan 25142, Section 31, ODYD (6533 Orchard Hill Road) to vary the following section of Zoning Bylaw #5000 in order to construct a second-floor addition above an existing garage for a secondary suite:

- a) to vary Section 9.2.5, Development Regulations, to reduce the required side yard setback from 2.5m to 1.76m on the property located at 6533 Orchard Hill Road.

AND FURTHER, that Council’s support of DVP00443 is subject to the following:

- a) That the site survey and elevations as generally shown as Attachments 1 and 2, and to the satisfaction of Administration, and as included in the report titled “Development Variance Permit Application for 6533 Orchard Hill Road” and dated October 17, 2018 by the Planning Assistant and Manager, Current Planning, be attached to and form part of DVP00443 as Schedule ‘A’.

ALTERNATIVES & IMPLICATIONS:

1. THAT Council support the Development Variance Permit application (DVP00443) for the subject property located on Lot 28, Plan 25142, Section 31, ODYD (6533 Orchard Hill Road) to vary the following section of Zoning Bylaw #5000 in order to construct a second-floor addition above an existing garage for a secondary suite:

- a) to vary Section 9.2.5, Development Regulations, to reduce the required side yard setback from 2.5m to 1.76m on the property located at 6533 Orchard Hill Road.

AND FURTHER, that Council’s support of DVP00443 is subject to the following:

- a) That the site survey and elevations as generally shown as Attachments 1 and 2, and to the satisfaction of Administration, and as included in the report titled “Development Variance Permit Application for 6533 Orchard Hill Road” and dated October 17, 2018 by the Planning Assistant and Manager, Current Planning be attached to and form part of DVP00443 as Schedule ‘A’;

b) *Any other conditions to be cited by Council.*

Note: This alternative supports the requested variances subject to the conditions forming part of the DVP, and any other conditions cited by Council.

2. THAT Council NOT support the Development Variance Permit application (DVP00443) for the subject property located on Lot 28, Plan 25142, Section 31, ODYD (6533 Orchard Hill Road) to vary the following section of Zoning Bylaw #5000 in order to construct a second-floor addition above an existing garage for a secondary suite:

a) to vary Section 9.2.5, Development Regulations, to reduce the required side yard setback from 2.5m to 1.76m on the property located at 6533 Orchard Hill Road.

Note: This alternative does not support the requested development variance application. The owner would have to develop the property in accordance with the bylaws.

ANALYSIS:

A. Committee Recommendations:

At its meeting of October 10, 2018 the Advisory Planning Committee adopted the following resolution:

“THAT Council support the Development Variance Permit application (DVP00443) for the subject property located on Lot 28, Plan 25142, Section 31, ODYD (6533 Orchard Hill Road) to vary the following section of Zoning Bylaw #5000 in order to construct a second-floor addition above an existing garage for a secondary suite:

a) to vary Section 9.2.5, Development Regulations, to reduce the required side yard setback from 2.5m to 1.76m on the property located at 6533 Orchard Hill Road.

AND FURTHER, that Council’s support of DVP00443 is subject to the following:

a) That the site survey and elevations as generally shown as Attachments 1 to 3, and to the satisfaction of Administration, are included in the report titled “Development Variance Permit Application for 6533 Orchard Hill Road” and dated October 4, 2018 by the Planning Assistant and Manager, Current Planning, be attached to and form part of DVP00443 as Schedule ‘A’.”

B. Rationale:

1. The subject property is located at 6533 Orchard Hill Road and is located in the Okanagan Landing North Neighbourhood (Figures 1 and 2). The land is designated as RLD – Residential Low Density within the Official Community Plan (OCP) and is in the R1 – Estate Lot Residential zoning district of Zoning Bylaw #5000. The lot is currently developed with a single family dwelling as part of an established neighbourhood. The R1 zoning district allows secondary suites as a Secondary Use.

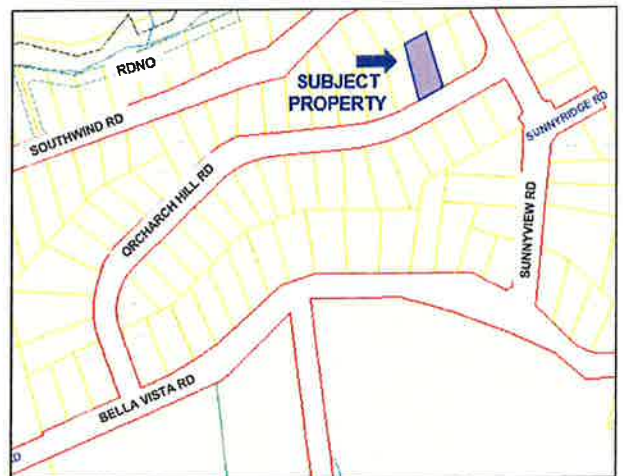


Figure 1 – Property Location Map

2. The applicant is proposing to vary the following section of Zoning Bylaw #5000 in order to construct a second-floor addition above an existing garage as a secondary suite (Attachments 1 and 2). The zoning bylaw provision that would need to be varied is:

- a) to vary Section 9.2.5, Development Regulations, to reduce the required side yard setback from 2.5m to 1.76m.

3. The existing primary dwelling on the lot has an attached garage located 1.76m from the east side yard lot line. The applicant is seeking a variance for the non-conforming siting of the garage in order to utilize the existing structure to add floor space above the garage for a secondary suite.



Figure 2 – Aerial Location Map

4. The proposed building addition does not result in the building site coverage exceeding the maximum of 40% in the R1 – Estate Lot Residential zoning district that applies to the property.

5. The secondary suite would be accessed from inside the building (Attachment 2).

6. Administration supports the subject development variance permit application for the following reasons:

- a) The building addition would not have a negative impact on the neighbouring property.
- b) The proposed building addition is compatible with existing neighbourhood development;
- c) The proposed variance serves to sanction the siting of the existing building.
- d) The applicant will be required to comply with the secondary suite regulations of the Zoning Bylaw.

C. Attachments:

Attachment 1 – Site Survey Plan

Attachment 2 – Elevations

Attachment 3 – R1 – Estate Lot Residential Zoning

D. Council’s Strategic Plan 2015 – 2018 Goals/Deliverables:

The subject application involves the following objectives in Council’s Strategic Plan 2015 – 2018:

- Support sustainable neighbourhoods by implementing neighbourhood plans and the OCP.

E. Relevant Policy/Bylaws/Resolutions:

1. The subject property is designated Residential – Low Density on the land use map in the Official Community Plan (OCP).

2. The following sections of Zoning Bylaw #5000 apply to the subject DVP application:

- 9.2 R1 – Estate Lot Residential
- 9.2.5 Development Regulations

- 3. The Local Government Act provides Council with the authority to vary local bylaws based on site specific considerations. The granting of such variances does not set precedence within the community for future variances to be based upon, as each variance application must be evaluated on its own merit and potential implications to the whole community and the specific neighbourhood.

BUDGET/RESOURCE IMPLICATIONS:

N/A

Prepared by:

Oct 30 2018 11:08 AM

Approved for submission to Council:

X Craig Broderick ✓
 Craig Broderick DocuSign

Will Pearce, CAO

Date: 31.10.2018

Keltie Chamberlain
Planning Assistant

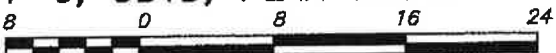
X Kim Flick
 Signer 2

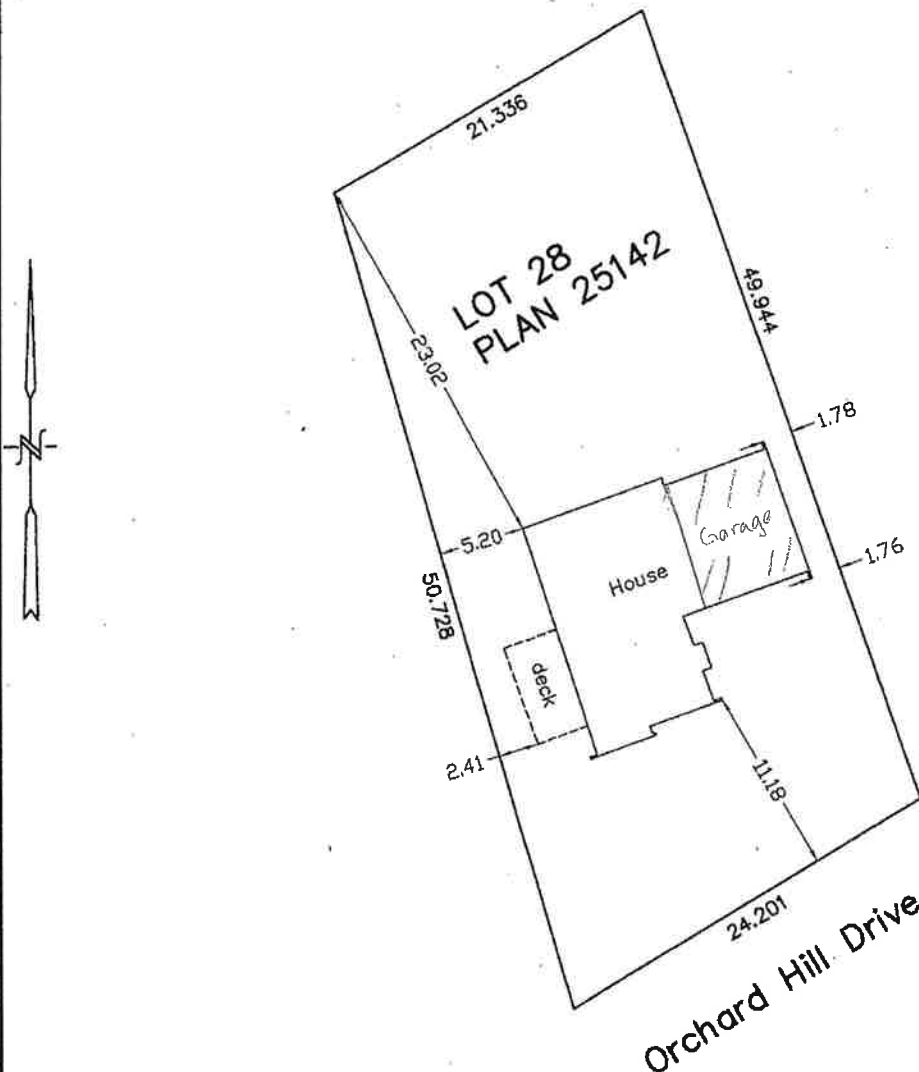
Kim Flick,
Director, Community Infrastructure and Development

REVIEWED WITH

- | | | |
|--|---|--|
| <input type="checkbox"/> Corporate Services | <input type="checkbox"/> Operations | <input checked="" type="checkbox"/> Current Planning |
| <input type="checkbox"/> Bylaw Compliance | <input type="checkbox"/> Public Works/Airport | <input checked="" type="checkbox"/> Long Range Planning & Sustainability |
| <input type="checkbox"/> Real Estate | <input type="checkbox"/> Facilities | <input checked="" type="checkbox"/> Building & Licensing |
| <input type="checkbox"/> RCMP | <input type="checkbox"/> Utilities | <input checked="" type="checkbox"/> Engineering Development Services |
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| <input type="checkbox"/> Human Resources | <input type="checkbox"/> Parks | <input checked="" type="checkbox"/> Transportation |
| <input type="checkbox"/> Financial Services | | <input checked="" type="checkbox"/> Economic Development & Tourism |
| <input checked="" type="checkbox"/> COMMITTEE: APC (Oct.10/18) | | |
| <input type="checkbox"/> OTHER: | | |

B.C. Land Surveyor's Building Location Certificate
 PLAN SHOWING BUILDING ON
LOT 28, SEC 31, TP 9, ODYD, PLAN 25142

SCALE 1: 400 (ALL DISTANCES IN METRES) 
 PID 005-726-344 6533 ORCHARD HILL ROAD, VERNON



THIS PLAN IS PREPARED FOR THE USE OF
KUTSCHE/COWLEY ONLY AND
 SHOWS THE RELATIVE LOCATION OF SURVEYED
 FEATURES WITH RESPECT TO THE BOUNDARIES
 OF THE PARCEL DESCRIBED ABOVE. THIS
 DOCUMENT SHALL NOT BE USED TO DEFINE
 PROPERTY LINES OR PROPERTY CORNERS.

DERIVED FROM FIELD SURVEY.
 FILE: 29065
 F.B. 1286 Pg. 79

ALL RIGHTS RESERVED. NO PERSON MAY COPY, REPRODUCE,
 TRANSMIT OR ALTER THIS DOCUMENT IN WHOLE OR IN PART
 WITHOUT THE CONSENT OF THE SIGNATORY. THE SIGNATORY
 ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY DAMAGES
 MADE, OR ACTIONS TAKEN BASED ON THIS DOCUMENT.

© JASON R SHORTT, BCLS, 2018

THIS BUILDING LOCATION CERTIFICATE HAS BEEN PREPARED IN
 ACCORDANCE WITH THE MANUAL STANDARD OF PRACTICE AND
 IS CERTIFIED CORRECT THIS 28th DAY OF JUNE, 2018.

russell shortt

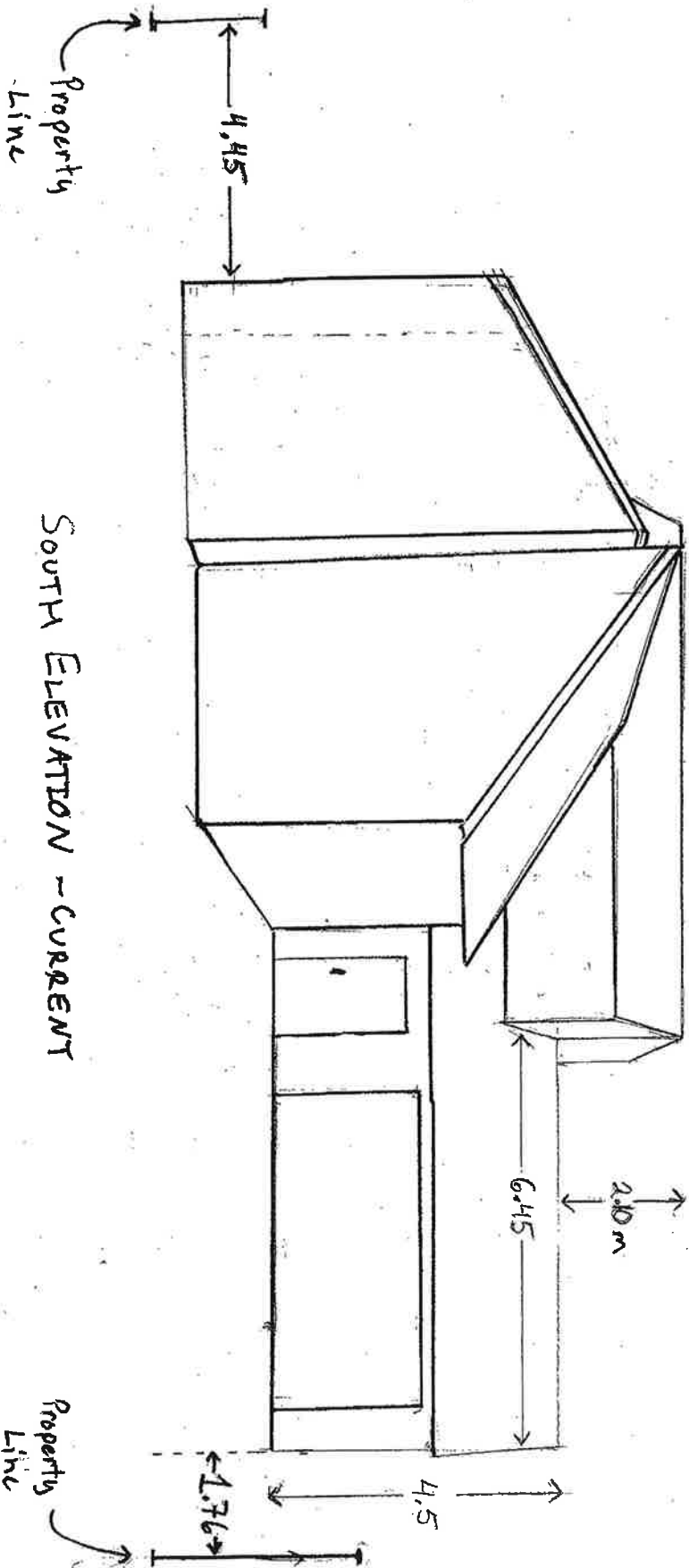
land SURVEYORS

2801-32nd Street, Vernon, B.C. Phone 545-0511
 email: jasons@jrshortt.ca


 J.R. SHORTT

B.C.L.S.

(INVALID IF NOT ORIGINALLY SIGNED AND SEALED)

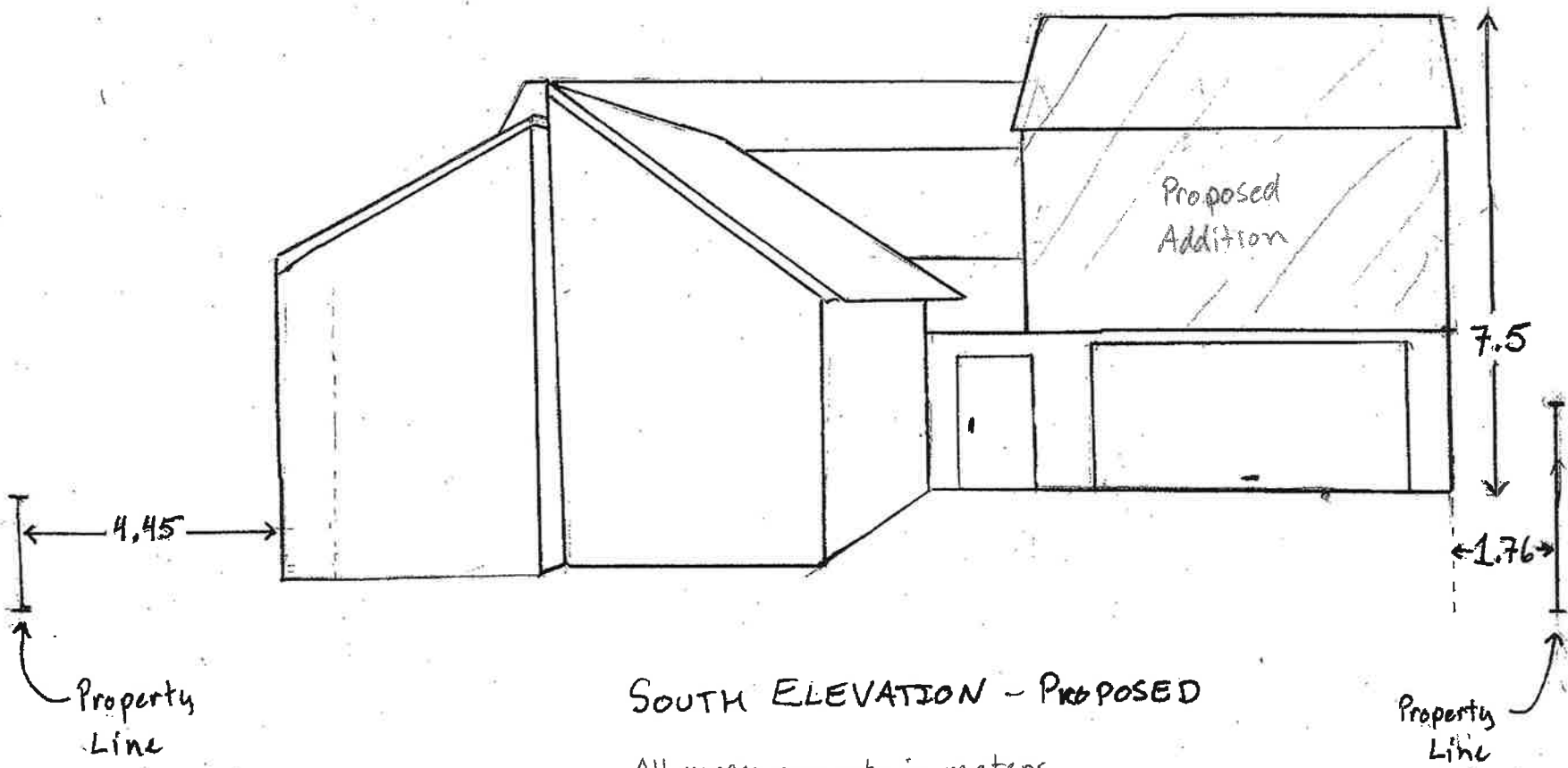


SOUTH ELEVATION - CURRENT

All measurements in meters

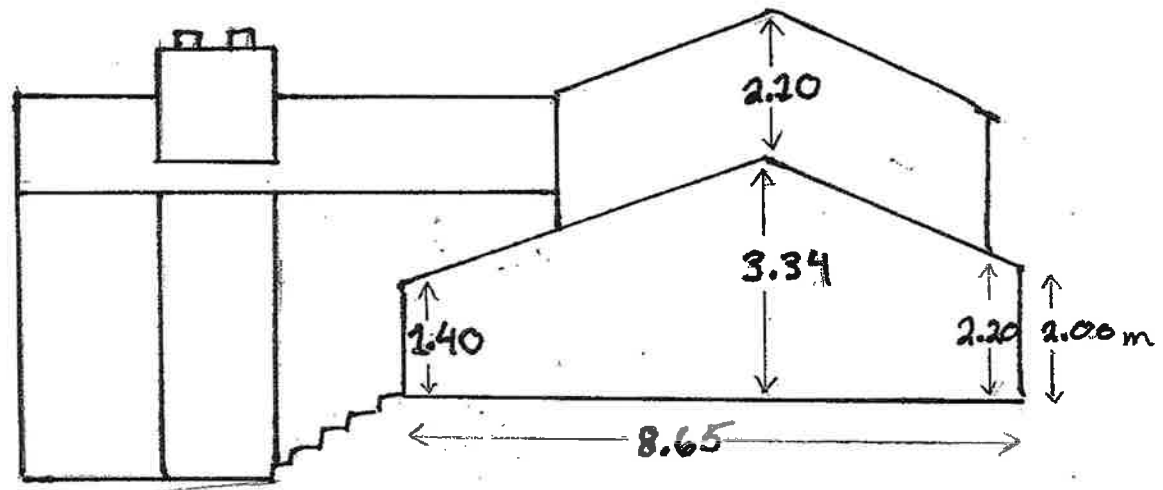
Inch to meters

1:100



SOUTH ELEVATION - PROPOSED

All measurements in meters
scale 1:100
1/4" = 1m

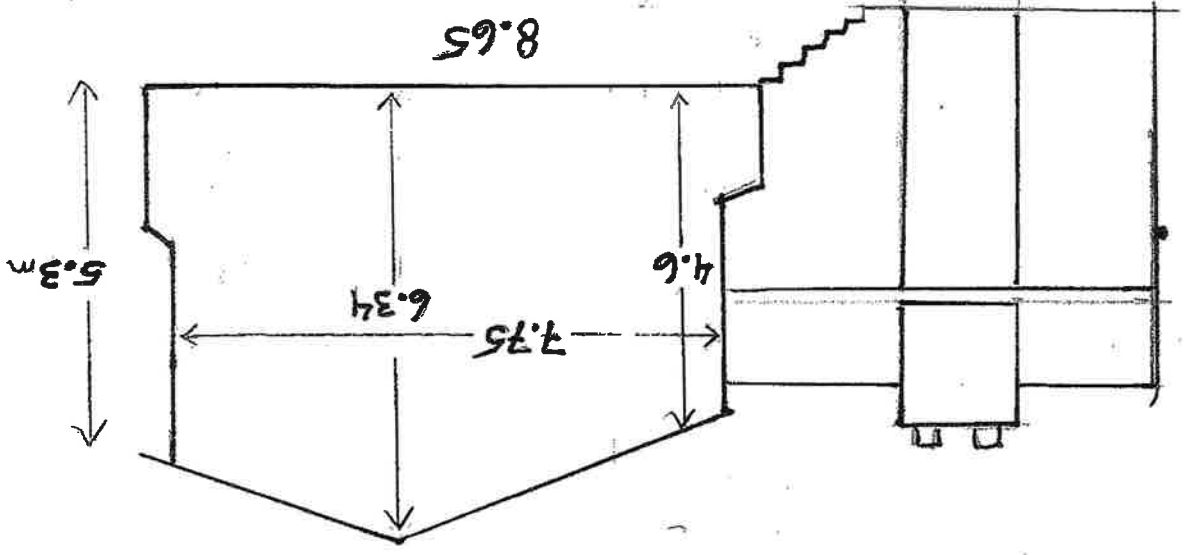


EAST ELEVATION
CURRENT

inch: meters 1:100

1:100
MTRS

Proposed
EAST ELEVATION





9.2 R1 : Estate Lot Residential

9.2.1 Purpose

The purpose is to provide a **zone** for **single detached housing**, and compatible uses, on larger urban serviced **lots**. The R1c sub-zoning district allows for **care centre, major** as an additional use. The R1h sub-zoning district allows for **home based business, major** as an additional use. (*Bylaw 5467*)

9.2.2 Primary Uses

- **care centre, major** (*use is only permitted with the R1c sub-zoning district*)
- **single detached housing**

9.2.3 Secondary Uses

- **boarding rooms**
- **bed and breakfast homes** (in single detached housing only) (*Bylaw 5498*)
- **care centres, minor**
- **group home, minor**
- **home based businesses, minor**
- **home based businesses, major** (*use is only permitted with the R1h sub-zoning district*)
- **secondary suites**
- **seniors supportive housing**

9.2.4 Subdivision Regulations

- Minimum **lot width** is 24.0m.
- Minimum **lot area** is 740m², or 10,000m² if not serviced by a **community sewer system**.
- Maximum **density** is 30.0 units per gross hectare (12.0 units/gross acre).

9.2.5 Development Regulations

- Maximum **site coverage** is 40% and together with driveways, parking areas and **impermeable surfaces** shall not exceed 50%.
- Maximum **height** is the lesser of 10.0m or 2.5 **storeys**, except it is 4.5m for **secondary buildings** and **secondary structures**.
- Minimum **front yard** is 7.5m.
- Minimum **side yard** is 2.5m, except it is 7.5m from a **flanking street**. Where there is no direct vehicular access to the **rear yard** or to an attached garage or **carport**, one **side yard** shall be at least 3.0m.
- Minimum **rear yard** is 7.5m, except it is 1.0m for **secondary buildings**. Where the **lot width** exceeds the **lot depth**, the minimum **rear yard** is 4.5m provided that one **side yard** shall have a minimum width of 4.5m.
- The maximum **height** of any vertical wall element facing a **front, flanking** or **rear yard** (including **walkout basements**) is the lesser of 6.5m or 1.5 **storeys**, above which the **building** must be **set back** at least 1.2m.

9.2.6 Other Regulations

- There shall be no more than one **single detached house** per lot.
- Where **development** has access to a **rear lane**, vehicular access to the **development** is only permitted from the **rear lane**.

- For **seniors supportive housing**, a safe drop-off area for patrons shall be provided on the **site**.
- In addition to the regulations listed above, other regulations may apply. These include the general **development** regulations of Section 4 (secondary **development**, **yards**, projections into **yards**, lighting, agricultural **setbacks**, etc.); the specific use regulations of Section 5; the **landscaping** and fencing provisions of Section 6; and, the parking and loading regulations of Section 7.
- **Seniors supportive housing** shall be for no more than four residents. *(Bylaw 5467)*
- As per Section 4.10.2 - All **buildings** and **structures**, **excluding perimeter fencing (garden walls and fences)** on **lots abutting** City Roads as identified on Schedule "B" shall not be sited closer to the City Road than the setback as per the appropriate zone measured from the offset Rights of Way as illustrated on Schedule "B".
(Bylaw 5440)

- For **seniors supportive housing**, a safe drop-off area for patrons shall be provided on the **site**.
- In addition to the regulations listed above, other regulations may apply. These include the general **development** regulations of Section 4 (secondary **development**, **yards**, projections into **yards**, lighting, agricultural setbacks, etc.); the specific use regulations of Section 5; the **landscaping** and fencing provisions of Section 6; and, the parking and loading regulations of Section 7.
- **Seniors supportive housing** shall be for no more than four residents. *(Bylaw 5467)*
- As per Section 4.10.2 - All **buildings** and **structures**, **excluding perimeter fencing (garden walls and fences)** on **lots abutting** City Roads as identified on Schedule "B" shall not be sited closer to the City Road than the setback as per the appropriate zone measured from the offset Rights of Way as illustrated on Schedule "B".
(Bylaw 5440)

ADMINISTRATION UPDATES
NOVEMBER 13, 2018 REGULAR COUNCIL MEETING

File: 0550-05

CORPORATE SERVICES

Good Neighbour Bylaw #4980

At their regular meeting of 9 October, 2018 Council noted receipt of an email enquiry related to the Good Neighbour Bylaw #4980, as to what can be left on City of Vernon boulevards (ie. waste materials). Council requested review of the email and a response back through an Administration Update.

The individual inquiring recommended removing the wording “containing weeds” from the section to prevent deposition of matter that doesn’t appear to contain weeds onto boulevards or lanes.

5.6 No owner or occupier of real property adjacent to a boulevard or lane, or any other person, shall deposit or cause, suffer or permit the deposit of any garden or vegetation waste materials **containing weeds** on or upon a boulevard or lane adjacent to the real property.

Schedule “E” of Good Neighbour Bylaw 4980 defines weeds as follows:

“*weed*” means and shall include brush, trees, noxious weeds and other growth that is allowed to come to a state of causing, or about to cause, a nuisance and any vegetation that may by its root system, limbs, shoots or leaves intrude into a lane in a manner that may impact travel, construction, maintenance levels, longevity or esthetics of the said lane.

Schedule “A” of Good Neighbour Bylaw 4980 defines nuisance as follows:

“*nuisance*” means anything that annoys or gives trouble, or that which is offensive, irritating or a pest to anyone residing within the City;

The definition of “*weed*” and “*nuisance*” is broad enough in its current state to prevent the deposition of any garden waste onto the boulevard or lane. No amendment is necessary to obtain compliance with the bylaw.

Seasonal Enforcement – End of Season Update

The Protective Services Seasonal Enforcement Program ran from 3 April to 4 November 2018. The Seasonal Enforcement Program consists of two units:

Seasonal Downtown Enforcement Unit (SDEU) - (Two Officers Wed to Sun, 7:30 Am to 11:30 AM) confines its foot and vehicle patrols to the Downtown Core, Polson and Linear Parks and the area surrounding the People Place, Upper Room Mission and Gateway Shelter.

Seasonal Enforcement Unit (SEU) – (Two Officers Mon and Tues 7:30 AM to 3:30 PM and Wed to Fri 11:30 AM to 6:30 PM) patrols on foot and with vehicle in the Downtown Core, Polson and Linear Parks and the area surrounding the People Place, Upper Room Mission and Gateway Shelter. Patrols are also conducted to all other Parks as well as Kin Race Track, Kal Tire Place complex and investigates complaints related to street entrenched and homelessness throughout the city.

The files investigated by the SEU/SDEU consisted of public and officer generated files relating to pan-handlers, temporary overnight sheltering, garbage and debris and abandoned items left on city property. Bylaw Compliance Officers also collected sharps (needles) in parks, downtown streets and alleys and responded to public requests to attend for pick up.

Bylaw Compliance Officers recorded a record number of people on the street contact list with 276 persons dealt with. The Street Contact List is a record of persons who came into contact with Bylaw Compliance Officers at least once in the course of their duties. The SDEU 4 hour morning shift (Wed to Sun) investigated 672 files. The SEU 7 hour shift (Mon to Fri) completed 757 files for a total of 1429 files investigated relating directly to homelessness and street entrenched issues. 165 Violation tickets were issued for a variety of offences with the majority being Parks and Public Places Bylaw #5057.

Both Bylaw units worked closely with the Vernon/North Okanagan Detachment RCMP Downtown Enforcement Unit as well as “E” Watch members. Bylaw Officers located more than 10 persons on the RCMP’s warrant list and assisted with their arrest. SEU/SDEU officers worked closely with the Interior Health overdose prevention program, Turning Points Collaborative Society, Gateway Shelter, Upper Room Mission and COOL Team providing support and helping connect clients with services available. SEU/SDEU officers liaised with MOTI and RDNO where temporary shelters were located outside of the city.

COMMUNITY INFRASTRUCTURE AND DEVELOPMENT SERVICES

International Walk and Wheel to School (iWalk/iWheel) Month

During October 2018 the City of Vernon partnered with three elementary schools to host International Walk and Wheel to School Month celebrations to encourage students to choose active transportation to school (walking, cycling, skateboarding, or scootering). A total of 414 students from Harwood Elementary, Bearsto Elementary, and Mission Hill Elementary participated in these events.

Vernon families were also encouraged to participate in iWalk/iWheel on their own by using active transportation to get to school at least once per week. iWalk/iWheel was advertised through a press release, radio ads, handouts and posters at participating schools, and a social media campaign which reached 12,822 people.

iWalk/iWheel is one of several programs that the City uses to encourage active school travel. The City of Vernon began school travel planning in 2010 to increase the number of children walking and biking to school in our community. At that time, all participating schools fell below the already low national average for active transportation reported by ParticipACTION.

According to the 2018 ParticipACTION Report on Physical Activity for Children and Youth, all children should be physically active on a regular basis and in addition to physical health benefits, activity also improves cognition, brain function, and mental health. In addition to public health improvements, active school travel can benefit our community by lowering greenhouse gas emissions and reducing traffic congestion near schools

Bella Vista Road Shoulder (West of Skyview Road)

Following the work completed for the installation of the sanitary service on the southern side of the road right of way in Bella Vista Road, west of Skyview Road for a distance of 175m, shoulder widening was made possible. However, as the trench fill material was not a suitable road base for a paved shoulder the Operations crew had to remove and replace it to allow a 1.5m shoulder to be paved. This work was completed on Tuesday, October 31, 2018 and funded from the Transportation Safety Budget. The line painting of the shoulder will take place once the road has dried out (weather permitting).

Development Approvals and Timelines

As a follow up to the September 4, 2018 Administration Update and questions raised by Councillor Quiring, the main outstanding concern is the timing of approvals related to subdivision. The concern arises primarily due to the time involved with having consultants complete the required work set out in subdivision approvals (i.e. geo-tech reports) as well as the overall desire of the development community to test the market for their product prior to making the final decision to proceed. The primary concern is that one year approval plus a one year extension is not long enough for many projects especially those being on complex sites (i.e. lakeshore, hillside, environmentally sensitive areas).

The Subdivision and Development Servicing Bylaw #3843, Section 8.2.3 sets out the following subdivision approval timeframes. *"The approval period for Preliminary Layout Approvals (PLA) shall be based upon the number of new fee simple or bareland strata lots created by the subdivision and shall be granted on the following basis (Feb 1/99, Bylaw 4484)*

a) For subdivisions with up to 20 new fee simple or bareland strata lots being created, the PLA approval period shall be a maximum of one (1) year with a maximum one (1) year re-approval period permitted wherein the re-approval conditions may vary from the initial approval conditions;

b) For subdivisions with between 21 and 100 new fee simple or bareland strata lots being created, the PLA approval period shall be a maximum of three (3) years with a maximum one (1) year re-approval period permitted wherein the re-approval conditions may vary from the initial approval conditions; or

c) For subdivisions with more than 100 new fee simple or bareland strata lots being created, the PLA approval period shall be a maximum of ten (10) years with a maximum one (1) year re-approval period permitted wherein the re-approval conditions may vary from the initial approval conditions."

For ease of reference, the previous September 4, 2018 Administration Update is noted below “At its Regular Meeting of August 13, 2018, Council inquired about timelines and renewals for various application types, including development permits and subdivisions. Development Application Procedures Bylaw #4103 delegates approval, issuance, amending and cancelling of certain permits (development permits, heritage alteration permits) to the Approving Officer. Development variance permits require Council authorization prior to issuance.

The timeline for issuance of development variance permits is currently one year from the date of Council authorization, with a two year time limit for substantial start of construction, as outlined below. Similarly, applicants who have secured approval for a development permit have two years to commence the approved development. Development permits and development variance permits may have a one year extension at no charge. When an approval has expired and not been extended by Council, an application fee to renew the application is charged in accordance with the Fees and Charges Bylaw (Section 9.B Development Application Procedure Bylaw).

After issuance of the permit, the *Local Government Act* Section 504(1) allows two years for the “substantial start” of construction. Note that no extension option is provided in the *Local Government Act*, however as long as some activity is commenced, the permit does not lapse.

ads Up Pedestrian Safety Campaign

The City of Vernon has partnered with ICBC and the Vernon North Okanagan RCMP to launch the “Heads Up!” pedestrian safety campaign throughout November. This campaign targets high risk locations and intersections with a history of pedestrian collisions. RCMP officers and City of Vernon volunteers will be on site at these locations distributing reflectors and safety information for drivers and pedestrians. The on-street campaign will be complemented by a social media and radio advertising campaign reminding drivers and pedestrians that safety is a shared responsibility.

Campaign Dates and Locations:

Date	Time	Location
Monday, November 5, 2018	10AM - 11AM	Downtown Transit Exchange
	11AM - 12PM	32nd Street at 30th Avenue
Wednesday, November 7, 2018	2PM - 3PM	34th Street at 25th Avenue
	3PM - 4PM	33 Street at 39th Avenue
Tuesday, November 13, 2018	10AM - 11AM	27th Street at 43rd Avenue
	11AM - 12PM	32nd Street at 41st Avenue
Thursday, November 15, 2018	2PM - 3PM	27th Street at 48th Avenue
	3PM - 4PM	33rd Street at 30th Avenue
Wednesday, November 21, 2018	10AM - 11AM	34th Street at 25th Avenue
	11AM - 12PM	32nd Street at 30th Avenue
Friday, November 23, 2018	2PM - 3PM	Downtown Transit Exchange
	3PM - 4PM	32nd Street at 30th Avenue

Tuesday, November 27, 2018	10AM - 11AM	37th Street at 30th Avenue
	11AM - 12PM	33rd Street at 33rd Avenue
Thursday, November 29, 2018	2PM - 3PM	27th Street at 43rd Avenue
	3PM - 4PM	32nd Street at 41st Avenue





THE CORPORATION OF THE CITY OF VERNON

INTERNAL MEMORANDUM

TO: Will Pearce, Chief Administrative Officer

FILE: 4200-03

PC:

DATE: October 22, 2018

FROM: Susan Blakely, Chief Elections Officer

SUBJECT: OFFICIAL ELECTION RESULTS – 2018 LOCAL GOVERNMENT ELECTION

Pursuant to Section 158 of the Local Government Act, the Chief Elections Officer is to submit a report to the local government regarding the information of the ballot accounts for the election.

The City of Vernon hosted special voting opportunities at Heron Grove, Vernon Restholm, Creekside Landing, and Carrington Place. Three Advance Voting Opportunities were held on October 10, 17, and 18, 2018. On October 20, 2018 the Recreation Centre, Vernon Secondary School and Ellison School hosted voting locations from 8:00 am to 8:00 pm. A breakdown of the ballots cast at the locations is attached for your information.

MAYOR

CUMMING, Victor	<input checked="" type="checkbox"/> 4,928 votes
TAYLOR, Darrin	3,608 votes
OLESEN, Erik	990 votes
GOURLEY, Art	229 votes

COUNCIL

QUIRING, Brian	<input checked="" type="checkbox"/> 4,120 votes
ANDERSON, Scott	<input checked="" type="checkbox"/> 4,108 votes
NAHAL, Dalvir	<input checked="" type="checkbox"/> 3,891 votes
GARES, Kari	<input checked="" type="checkbox"/> 3,878 votes
MUND, Akbai	<input checked="" type="checkbox"/> 3,626 votes
FEHR, Kelly	<input checked="" type="checkbox"/> 3,512 votes
DURNING, Teresa	3,105 votes
TUCKER, Dawn	2,733 votes
FINLAY, Jasmine	2,592 votes
LEPP, Kevin	2,289 votes
LEE, Shawn	2,221 votes
MORROW, Jamie	2,101 votes
FRANKS, Sherrilee	1,944 votes
LEIGHTON, Gord	1,801 votes
LAVIN, Rick	1,467 votes
DESHANE, David	1,287 votes
KERR, Lily	1,061 votes
VULCANO, Terry	879 votes
JEFCOAT, Don	821 votes
ZAHARIA, Sam	448 votes

Total Ballots Issued to voting places		<u>16499</u>
Total Ballots issued to Electors	9927	
Total Ballots Spoiled and reissued	104	
Total Ballots Unused at voting places	6465	
Total Ballots Invalid	<u>3</u>	<u>16499</u>

Recommendation:

THAT Council receives the Official Election Results – 2018 Local Government Elections, as provided in the memo dated October 22, 2018, from Susan Blakely, Chief Elections Officer.

Respectfully submitted;



THE CORPORATION OF THE CITY OF VERNON
2018 BALANCE SHEET OF BALLOTS

Ballots issued to each voting place	300	TEST BALLOTS	
<i>Rec Centre</i>	6600		
<i>Ellison School</i>	3300		
<i>VSS</i>	3250		
<i>Special Opportunity</i>	100		
<i>Advance October 10th</i>	1050		
<i>Advance October 17th</i>	1050		
<i>Advance October 18th</i>	849		16499
TOTAL ballots issued at voting places (as per Summary Sheet)		VALID BALLOTS PER VOTING TAPE	INVALID BALLOTS
<i>Rec Centre</i>	3094	3093	
<i>Ellison School</i>	2447	2446	
<i>VSS</i>	2163	2162	
<i>Special Opportunity</i>	57	57	
<i>Advance October 10th</i>	727	727	
<i>Advance October 17th</i>	808	808	
<i>Advance October 18th</i>	634	634	
	9930	9927	0
TOTAL ballots spoiled at voting places (as per Summary Sheet)			
<i>Rec Centre</i>	38		
<i>Ellison School</i>	29		
<i>VSS</i>	10		
<i>Special Opportunity</i>	0		
<i>Advance October 10th</i>	12		
<i>Advance October 17th</i>	10		
<i>Advance October 18th</i>	5	104	
TOTAL Ballots unused at voting places (As per each final ballot calculation)	300	(Test Ballots)	
<i>Rec Centre</i>	3468		
<i>Ellison School</i>	824		
<i>VSS</i>	1077		
<i>Special Opportunity</i>	43		
<i>Advance October 10th</i>	311		
<i>Advance October 17th</i>	232		
<i>Advance October 18th</i>	210	6465	
	TOTAL		16496
			3

1 Ballot left VSS without being cast
1 Ballot left Ellison without being cast
1 Ballot left Rec Centre without being cast


Chief Elections Officer


Deputy Chief Elections Officer

THIS FORM MUST BE COMPLETED IN DUPLICATE

Mel Arnold, MP
North Okanagan - Shuswap



October 31, 2018.

City of Vernon
3400 30 Street
Vernon, BC V1T 5E6

Sent via email

**Attention: His Worship Victor Cumming,
Mayor of the City of Vernon**

Dear Mayor Cumming and Council:

As Member of Parliament for the North Okanagan-Shuswap, I am pleased to congratulate you on being elected as Mayor and Council for the City of Vernon on October 20, 2018.

It takes courage to run for public office and I acknowledge your willingness to do so as well as all of the time, energy and effort you invested to gain the respect and votes of your constituents. Thank you for your dedication to your community and your commitment to public service.

I will be in riding the week of November 12-16 and would enjoy the opportunity to meet to with you and council for an introductory meeting. Further, I am currently preparing for my federal budget submission to the Minister of Finance which includes consulting with local governments to identify the needs and priorities of the communities they represent. If you would like to schedule a meeting, please contact the consistency office with your availability at 250-260-5020 or Mel.Arnold.C1A@parl.gc.ca. If you are unable to meet in person, there is also the opportunity to provide a written summary.

I look forward to working with you on behalf of those we serve in the North Okanagan-Shuswap. Once again, congratulations and I wish you all the very best for your tenures and the work ahead.

Yours Sincerely,

A handwritten signature in blue ink that reads "Mel Arnold".

Mel Arnold, M.P.
North Okanagan-Shuswap

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House of Commons
Ottawa ON K1A 0A6
Tel: (613) 995-9095
Fax: (613) 992-3195
Mel.Arnold@parl.gc.ca



WWW.MELARNOLD.CA

Constituency
1-3105-29th St.
Vernon BC V1T 5A8
Tel: (250) 260-5020
Fax: (250) 260-5025
Toll Free: 1-800-665-5040
Mel.Arnold.c1@parl.gc.ca



THE CORPORATION OF THE CITY OF VERNON

INTERNAL M E M O R A N D U M

TO: Will Pearce, CAO

FILE: 6970-20

PC: Kim Flick, Director, Community Infrastructure and Development

DATE: October 30, 2018

FROM: Kevin Poole, Manager, Economic Development and Tourism, and
Carie Liefke, Planning Assistant

SUBJECT: 2018 PLANNING AND BUILDING THIRD QUARTER STATISTICS SUMMARY

The following summary provides Council with an overview of the planning and building applications processed by the Community Infrastructure and Development Division during the third quarter (Q3) of 2018. The figures highlight building permits by type and value, applications by type and volume, a summary of Development Cost Charges (DCCs) along with revenue received to August 31, 2018 from the Municipal Regional District Tax (MRDT). Data from previous years have been included for comparison purposes.

Figure 1 provides an overview of the values and types of building permits issued up until the end of Q3 (September 30) for 2018. Total building permit value reached \$116.8 million, which is up 29% over the \$90.9 million in 2017. The increase is primarily attributable to several new multifamily developments which have accounted for \$48.2 million of the total building permit value as compared to \$14.5 million in 2017.

Figure 1: Building Permit Issuance Summary – Year to Date (September 30)

Type of Application	2015		2016		2017		2018	
	YTD #	YTD Value	YTD #	YTD Value	YTD #	YTD Value	YTD #	YTD Value
Single Family Dwelling								
New	99	\$38,608,510.40	86	\$32,931,733.51	118	\$49,487,680.54	100	\$41,361,800.00
Addition/Reno/Upgrade/Suite	65	\$2,627,057.81	64	\$2,571,841.59	69	\$3,868,871.98	54	\$3,291,411.03
Multi-Family Dwelling								
New	20	\$8,798,940.04	22	\$21,229,457.04	24	\$14,518,598.46	41	\$48,176,564.40
Addition/Reno/Upgrade	7	\$69,180.00	3	\$1,145,685.68	4	\$362,000.00	5	\$700,800.00
Commercial								
New	8	\$31,096,664.00	3	\$19,387,000.00	2	\$798,000.00	2	\$1,245,000.00
Addition/Reno/Upgrade	35	\$2,179,800.00	56	\$6,749,633.61	41	\$8,988,098.00	35	\$6,101,475.67
Industrial								
New	0	\$0.00	1	\$160,000.00	0	\$0.00	2	\$1,540,000.00
Addition/Reno/Upgrade	1	\$60,000.00	2	\$180,000.00	0	\$0.00	2	\$18,000.00
Institutional								
New	1	\$1,000.00	2	\$19,300,000.00	1	\$11,500,000.00	1	\$2,513,000.00
Addition/Reno/Upgrade	5	\$1,477,000.00	6	\$78,000.00	3	\$75,000.00	5	\$10,077,500.00
Other								
Total Other	55	\$361,129.30	60	\$3,025,382.38	65	\$1,270,377.62	76	\$1,815,688.36
Total # of BP's	296		305		327		323	
Total Value of BP's		\$85,279,281.55		\$106,758,733.81		\$90,868,626.60		\$116,841,239.46

Figure 2 provides an overview of applications and building permit values for Q3 of 2018. The building permit value was \$30.3 million, which is a 34% increase over the \$22.6 million in Q3 of 2017. A total of 110 building permits were issued in Q3, which is similar to the 105 permits issued in Q3 of 2017.

Notable building permits issued in Q3 include:

- 52 unit residential project, My Place (3500 27th Ave, \$2.5m)
- internal renovation at Vernon Jubilee Hospital (2101 32nd Ave, \$2.4m)
- internal renovation at Wholesale Club (2501 34th St, \$1.2m)

Figure 2: Building Permit Issuance Summary – Q3 Only

	2015		2016		2017		2018	
	Q3 #	Q3 - Value	Q3 #	Q3 - Value	Q3 #	Q3 - Value	Q3 #	Q3 - Value
Single Family Dwelling								
New	32	\$12,161,221.44	22	\$8,399,113.56	29	\$13,098,123.79	33	\$13,216,000.00
Addition/Reno/Upgrade/Suite	19	\$626,718.20	20	\$843,187.83	26	\$1,693,581.09	21	\$911,702.00
Multi-Family Dwelling								
New	6	\$2,869,962.66	7	\$3,039,594.37	5	\$4,086,875.00	11	\$6,684,500.00
Addition/Reno/Upgrade	2	\$3,700.00	1	\$395,000.00	1	\$25,000.00	3	\$459,800.00
Commercial								
New	3	\$23,597,971.00	0	\$0.00	2	\$798,000.00	0	\$0.00
Addition/Reno/Upgrade	13	\$1,380,000.00	18	\$1,481,000.00	17	\$2,231,108.00	13	\$3,147,550.00
Industrial								
New	0	\$0.00	1	\$160,000.00	0	\$0.00	0	\$0.00
Addition/Reno/Upgrade	0	\$0.00	1	\$150,000.00	0	\$0.00	0	\$0.00
Institutional								
New	0	\$0.00	0	\$0.00	0	\$0.00	1	\$2,513,000.00
Addition/Reno/Upgrade	3	\$152,000.00	1	\$78,000.00	0	\$0.00	2	\$2,475,000.00
Other								
Total Other	21	\$185,226.83	21	\$385,371.52	25	\$644,133.62	26	\$848,309.61
Total # of BPs	99		92		105		110	
Total Value of BPs		\$40,976,800.13		\$14,931,267.28		\$22,576,821.50		\$30,255,861.61

Figure 3 highlights the number of applications received in Q3 and YTD. 2018 continues to be busy with 814 applications received, which is marginally lower than 2017 and up significantly from 2015.

Figure 3: Application Summary (Q3 and YTD)

	2015		2016		2017		2018	
	Q3	YTD (Q1,Q2,Q3)	Q3	YTD (Q1,Q2,Q3)	Q3	YTD (Q1,Q2,Q3)	Q3	YTD (Q1,Q2,Q3)
Building Permits	99	296	92	305	105	327	110	323
Land Use Applications	51	112	44	135	59	156	55	162
Miscellaneous Applications	81	259	132	336	128	363	102	329
Total	231	667	268	776	292	846	267	814

Figure 4 provides an overview of the types and number of land use applications received for Q3 over the last several years. The number of applications received in Q3 of 2018 is slightly lower than 2017 while YTD applications are also similar at 162 compared to 156 in 2017.

Figure 4: Land Use Application Summary

Type of Application	2015		2016		2017		2018	
	Q3	YTD (Q1,Q2,Q3)	Q3	YTD (Q1,Q2,Q3)	Q3	YTD (Q1,Q2,Q3)	Q3	YTD (Q1,Q2,Q3)
ALR Exclusion	1	1	0	0	2	2	0	0
Boundary Extension	0	0	0	0	0	0	0	0
Board of Variance	0	0	1	4	2	5	0	0
Development Permit	13	28	10	35	22	53	10	39
Development Variance Permit	12	22	15	33	6	24	8	22
Heritage Revitalization / Alteration	0	0	0	0	2	2	0	0
Liquor Licensing	0	1	1	2	3	7	5	17
LUC Amendment / Discharge	0	1	0	0	0	0	0	1
OCP Amendment	1	3	0	4	0	1	0	4
Revitalization Tax Exemption	0	1	1	3	0	0	1	2
Rezoning	7	13	3	14	2	11	15	29
Subdivision	11	27	9	25	9	32	5	23
Tree Removal Permit	6	15	4	15	11	19	11	25
Total Applications	51	112	44	135	59	156	55	162

Figure 5 provides a breakdown of the miscellaneous applications received in Q3 of 2018 and YTD. Miscellaneous applications are down compared to 2017 and 2016.

Figure 5: Miscellaneous Application Summary

Type of Application	2015		2016		2017		2018	
	Q3	YTD (Q1,Q2,Q3)	Q3	YTD (Q1,Q2,Q3)	Q3	YTD (Q1,Q2,Q3)	Q3	YTD (Q1,Q2,Q3)
External Referrals	0	1	2	3	1	6	3	4
Hoarding	22	62	33	79	28	80	17	73
Property Info Request	17	60	37	84	57	135	40	123
Sidewalk / Blvd Area use	2	2	0	3	0	1	0	0
Sign Permit	40	134	62	169	42	141	42	129
TOTAL Applications	81	259	134	338	128	363	102	329

Figure 6 provides a summary of the DCCs received in 2018 YTD including Coldstream Sewer DCCs. The table shows a negative amount for the Transportation DCCs in Q2 as two DCC projects along Silver Star Road near the Foothills are proceeding (the DCC cash payment was replaced with a Letter of Credit for the projects); the Park and Open Space DCC in Q3 is lower than usual due to some refunds for overpayments.

Figure 6: Development Cost Charges – Q3

Type of DCC	2018				
	Q1	Q2	Q3	Q4	YTD
Sanitary Disposal	\$140,901	\$65,978	\$35,707		\$242,586
Sanitary Collection	\$89,967	\$49,698	\$20,531		\$160,196
Sanitary Treatment	\$69,857	\$35,191	\$16,631		\$121,679
Water Facilities	\$238,792	\$131,727	\$56,677		\$427,196
Transportation	\$613,823	-\$288,392	\$279,050		\$604,481
Stormwater	\$55,323	\$32,918	\$16,995		\$105,236
Parks and Open Space	\$547,023	\$325,422	\$48,395		\$920,840
Total Value of DCCs	\$1,755,686	\$349,542	\$473,986		\$2,582,214

Room Revenue for the accommodators located in the city continues to set records since enacted in March 2010. Room revenue and the corresponding hotel tax for 2017 was up 6.5% over 2016, with six of the twelve months setting records since collection began. This trend has continued the first eight months of 2018 which is up 3.7% with four of the months setting new records. Note that January 2018 marked the first month of accommodators collecting a 3% MRDT (Figure 7).

Figure 7: Municipal Regional District Tax

Month	2017 Room Revenue	2017 2% MRDT	2018 Room Revenue	2018 3% MRDT*	% Change Room Revenue
January	\$ 1.13 M	\$ 22,675	\$1.40 M	\$ 39,259	25.3%
February	\$ 1.70 M	\$ 34,066	\$2.15 M	\$ 59,773	26.4%
March	\$ 2.01 M	\$ 41,568	\$2.22 M	\$ 61,597	6.7%
April	\$ 2.45 M	\$ 49,031	\$2.28 M	\$ 63,211	- 7.1%
May	\$ 3.28 M	\$ 65,502	\$3.47 M	\$ 96,600	5.9%
June	\$ 4.45 M	\$ 88,916	\$4.51 M	\$125,757	1.4%
July	\$ 5.63 M	\$112,682	\$5.62 M	\$156,731	-0.3%
August	\$ 4.85 M	\$ 97,088	\$4.85 M	\$135,348	0.0%
September	\$ 4.42 M	\$ 88,381			
October	\$ 2.64 M	\$ 52,740			
November	\$ 2.11 M	\$ 42,124			
December	\$ 2.16 M	\$ 43,201			
	\$36.83 M	\$737,974	\$26.50 M	\$738,276	3.7%

*Although a 3% MRDT is collected, the City of Vernon receives 2.8% of the tax with the remaining 0.2% going to the provincial Tourism Events Program.

The Community Infrastructure and Development Division is to provide planning and building application statistics to Council on a quarterly and yearly basis; the year end statistics shall be reported at the February 12, 2019 Council meeting.

Recommendation:

THAT Council receive the memorandum titled “2018 Planning and Building Third Quarter Statistics Summary” dated October 30, 2018 from the Manager, Economic Development and Tourism and Current Planning Assistant, for information.

Respectfully submitted by:



Kevin Poole
 Manager, Economic Development and Tourism



Carie Liefke
 Current Planning Assistant



THE CORPORATION OF THE CITY OF VERNON

INTERNAL M E M O R A N D U M

TO: Will Pearce, CAO **FILE:** 5350 – Asset Management
PC: Patti Bridal, Deputy CAO **DATE:** October 29, 2018
FROM: Shirley Koenig, Director, Operations
SUBJECT: Asset Management Plan for Vernon Water Reclamation Centre and Spray Irrigation

During 2018 budget deliberations, Council approved \$100,000 from the Sewer Operating Reserves to develop an Asset Management Plan for the Vernon Water Reclamation Centre (VWRC) and Spray Irrigation (SI) Program.

Subsequent to the budget approval, Administration applied for a grant in the amount of \$15,000 to assist with the project through the Asset Management Planning Program sponsored by UBCM. The project as identified in the grant application, will include condition assessment and a lifecycle replacement analysis for the major components of the VWRC, SI program and the outfall structure to Okanagan Lake.

Administration received approval in principle for this grant on October 16, 2018, (Attachment A) subject to receiving a resolution from Council supporting the project and committing to providing overall grant management.

RECOMMENDATION:

THAT Council support the development of an Asset Management Plan & Condition Assessment for the Vernon Water Reclamation Centre, Spray Irrigation Program & Outfall and direct staff to provide overall grant management for this project.

Respectfully submitted:



October 16, 2018

Shirley Koenig, Director of Operations
City of Vernon
1900-48th Avenue
Vernon, BC, V1T 8Y7

OCT 16 2018

The Corporation of
the City of Vernon

RE: 2018 Asset Management Planning program – Approval in Principle

Dear Ms. Koenig,

Thank you for submitting an application under the 2018 Asset Management Planning grant program.

I am pleased to inform you that your project, *Asset Management Plan & Condition Assessment for Vernon Water Reclamation Centre, Spray Irrigation Program & Outfall*, has been approved in principle for funding.

Pending satisfactory receipt of the following item, your application will be eligible for full approval:

- Current local government resolution indicating support for the proposed project and a willingness to provide overall grant management.

On behalf of the Evaluation Committee, I would like to congratulate you for responding to this opportunity to advance asset management in your local government.

If you have any questions, please contact Local Government Program Services at 250 356-5193 or lgps@ubcm.ca.

Sincerely,

A handwritten signature in cursive script, appearing to read 'Danyta Welch', is written in black ink.

Danyta Welch
Manager, Local Government Program Services

The Asset Management Planning program is funded by the Province of BC



THE CORPORATION OF THE CITY OF VERNON

INTERNAL M E M O R A N D U M

TO: Will Pearce, CAO **FILE:** 4000-01-03
PC: **DATE:** October 31, 2018
FROM: Geoffrey Gaucher, Manager Protective Services
SUBJECT: **Parking Agreement – Okanagan Regional Library (ORL) Parking Lot**

The existing Parking Agreement to monitor, patrol and enforce public parking at the Okanagan Regional Library building parking lot has expired. The working relationship between the City of Vernon and the Okanagan Regional Library is excellent. The previous agreement expired 1 January, 2014 however services to the library parking lot have continued in accordance with the agreement.

The 2017 income from parking pass sales was \$8,689.00 with a payment of \$2,172.00 made to the Okanagan Regional Library as per the previous agreement. 2018 revenues are strong and on the rise with revenues of \$9,353.00 collected to date.

For your information and review we are attaching the Existing Parking Agreement dated 14 May, 2012 and the Renewal Parking Agreement dated 16 October, 2018.

RECOMMENDATION:

THAT Council direct administration to renew the prior parking agreement with the Okanagan Regional Library for the period January 2, 2014 to December 31, 2023 with the same terms and conditions as the original agreement as presented in the memorandum titled "Parking Agreement – Okanagan Regional Library (ORL) Parking Lot" dated October 31, 2018 from the Manager, Protective Services.

Respectfully submitted:

Geoffrey Gaucher

PARKING AGREEMENT

THIS AGREEMENT dated for reference May 14, 2012

BETWEEN:

OKANAGAN REGIONAL LIBRARY
1430-KLO Road
Kelowna, British Columbia V1W 3P6

(the "Owner")

AND:

THE CORPORATION OF THE CITY OF VERNON
3400-30th Street
Vernon, British Columbia V1T 5E6

(the "City")

Background

- A. The Owner is the registered and beneficial owner of those lands located at 2800 30th Avenue, Vernon, British Columbia, and legally described as

Parcel Identifier:

Lot A, Plan KAP91659, Section 34, Township 9, Osoyoos Division, Yale District

(the "Lands").

- B. The Owner has agreed to permit the City to administer the Lands for the purpose of control of the public parking lot thereon, for a specified period of time.
- C. The City has agreed to manage the parking lot and remit 25% of the net income arising from the rental of parking space to the Owner.
- D. The Owner has agreed to permit the City to enforce the City's Parking Facility Bylaw #2746 as it applies to off-street parking, and to permit the City to retain 100% of the income generated through ticketing.

{00206716; 1}

Terms of Agreement

In consideration of the mutual covenants and agreements contained in this Agreement, the parties covenant and agree with each other as follows:

1. The Owner shall allow the City to administer the Lands for the exclusive purpose of public parking, from which revenues may be generated by the City through collection of periodic rental fees.
2. The term of this Agreement shall commence on the date of this Agreement and continue until January 1st, 2014, unless sooner terminated in accordance with the provisions of this Agreement (the "Term").
3. The City may recommend to the Owner whatever signage, fences, barriers, notices, lighting, ticket booths, ticket machines, and any other devices, advertising, or traffic control items as are reasonably necessary to operate the Lands as a parking lot.
4. The City shall manage all collection of revenue from parking equipment and all incidental paperwork, tasks, and obligations related to the operation of the Lands as a public parking lot.
5. The Owner shall notify the City of any matter which may disturb the City's administration of the Lands.
6. The Owner shall set parking rates, determine space use and availability, and shall be responsible for security functions and for the control of the opening and closing of the parking facility.
7. The City will administer the "City of Vernon Parking Facility Bylaw #2746, 1979" over the Lands and will provide periodic patrolling and enforcement of the Lands,
8. The City shall pay to the Owner 25% of net income arising from the rental of parking space on the Lands, which shall be payable December 31st of each year of the Term. For the purposes of this Agreement, "net income" means all gross income received by the City from parking rentals pursuant to this Agreement, less all costs incurred by the City in generating such rentals.
9. Either party may terminate this Agreement for any reason upon 60 days written notice provided to the other party, with or without cause, either in person, or via mail to the address listed on the first page of this Agreement. Any notice


{00206716; 1}

delivered by mail shall be deemed to be received by the other party three days after such notice has been mailed.

10. The Owner hereby acknowledges they have been advised by the City that the City's solicitors act solely for and on behalf of the City with respect to this Agreement, and that the Owner has been advised by the City to obtain independent legal representation with respect to these matters and have been given the opportunity to obtain such representation prior to signing this Agreement or documents contemplated hereby.
11. Should any provision of this Agreement be illegal or not enforceable such provision shall be considered separate and several from this Agreement and the remaining provisions of this Agreement shall remain in force and be binding upon the parties as though the illegal or unenforceable provision had never been included.
12. Time is of the essence of this Agreement.
13. This Agreement constitutes the entire agreement between the parties with respect to the transactions herein contemplated and cancels and supersedes any prior understandings, agreements, negotiations and discussions, written or oral, between the parties with respect thereto. There are no representations, warranties, terms, conditions, undertakings or collateral agreements or understandings, express or implied, among the parties other than those expressly set out in this Agreement.
14. This Agreement shall be construed, interpreted and enforced in accordance with, and the rights of the parties shall be governed by, the laws of the Province of British Columbia, and each party irrevocably submits to the exclusive jurisdiction of the courts of British Columbia with respect to any matter arising hereunder or relating hereto.
15. This Agreement shall enure to the benefit of and be binding upon the parties and their respective heirs, executors, administrators, successors and permitted assigns.

AS EVIDENCE OF THEIR AGREEMENT the parties have executed this Agreement as of the date first above written.

OKANAGAN REGIONAL LIBRARY

Per: 
Authorized Signatory

CORPORATION OF THE CITY OF VERNON

Per: 
Authorized Signatory

RENEWAL PARKING AGREEMENT

THIS AGREEMENT dated for reference October 16, 2018

BETWEEN:

OKANAGAN REGIONAL LIBRARY
1430 – KLO Road
Kelowna, British Columbia V1W 3P6

(the “Owner”)

AND:

THE CORPORATION OF THE CITY OF VERNON
3400 – 30th Street
Vernon, British Columbia V1T 5E6

(the “City”)

Background

- A. The Owner and the City entered into an agreement dated May 14, 2012 (the “Parking Agreement”) and is attached for reference as Schedule “A”.
- B. The Owner and the City have mutually agreed to extend the term of the Parking Agreement.
- C. All other terms and conditions contained in the Parking Agreement shall remain the same.

Terms of Agreement

In consideration of the mutual covenants and agreements contained in this Agreement and the Parking Agreement, the parties covenant and agree with each other as follows:

1. The Owner and the City have mutually agreed to extend the term of the Parking Agreement that expired on January 1, 2014.
2. The term of this Agreement shall commence on January 2, 2014 and continue until December 31, 2023, unless sooner terminated in accordance with the provisions of the Parking Agreement (the "Renewal Term").
3. All other terms and conditions contained in the Parking Agreement shall remain the same excepting that all references referring to City of Vernon Parking Facility Bylaw #2746 are replaced with City of Vernon Traffic Bylaw #5600 as adopted 24 September, 2018.

AS EVIDENCE OF THEIR AGREEMENT the parties have executed this Agreement as of the date first above written.

OKANAGAN REGIONAL LIBRARY

Per: _____
Authorized Signatory

CORPORATION OF THE CITY OF VERNON

Per: _____
Authorized Signatory

See Schedule "A"

As attached the Parking Agreement



REPORT/RECOMMENDATION TO COUNCIL

SUBMITTED BY: Luana Kaleikini, EP / ESS Coordinator **DATE:** October 30, 2018

FILE: 7130-08

SUBJECT: Union of BC Municipalities (UBCM) 2018 Community Emergency Preparedness Fund (CEPF) Emergency Social Services (ESS) grant funding application

PURPOSE:

To receive Council authorization and support of the City of Vernon's Emergency Program application for the UBCM 2018 CEPF ESS grant funding.

RECOMMENDATION:

THAT Council authorize the \$ 25,000 UBCM 2018 CEPF ESS grant funding application as attached to the report titled *Union of BC Municipalities (UBCM) 2018 Community Emergency Preparedness Fund (CEPF) Emergency Social Services (ESS) grant funding application, dated October 30, 2018 and respectfully submitted by the EP/ESS Coordinator;*

AND FURTHER, that Council support for the proposed activities;

AND FURTHER, that Council authorize Administration to assume overall grant management.

ALTERNATIVES & IMPLICATIONS:

1. THAT Council not support the grant funding application for the UBCM 2018 CEPF ESS.

Note: This funding is one-time in nature and requires Council resolution to receive grant funding.

ANALYSIS:

A. Committee/Board Recommendations:

N/A

B. Rationale:

1. Grant funding, if approved, will augment the current Emergency Support Services (ESS) plans for training, exercises, supplies, uniforms and evacuee management. The comprehensive five part application will address areas for continued improvement identified in the 2017 Wildfire After Action review process and support the City of Vernon Emergency Plan (June 2018).

2. Successful grant funding will provide additional software to further assist volunteers in scheduling evacuee appointments for the provision and renewal of services and referrals reducing line ups, host a regional conference to provide training and develop regional response capacity, acquire signage for Reception Centre and Group Lodging facilities, acquire portable pet fencing to enhance the delivery of pet services and provide identifying clothing for coordinators and volunteers.
3. If not approved, the identified projects will not be undertaken.

C. Attachments:

1. UBCM 2018 CEPF ESS completed application, budget, conference details and project timeline.

D. Strategic Plan Objectives:

The recommendation meets the following objectives in Council's Strategic Plan:

- Effective Protective Services

E. Policy (Existing/Relevance/None):

N/A

F. Relevant History:

1. In 2017 the Province began distribution of \$4.2 million to bolster training and equipment to support local ESS teams, primarily public safety lifeline volunteers.
2. This application is the second offering to apply for these funds and was announced in August 2018.
3. ESS teams provide residents up to 72 hours or more of lodging, clothing, food, emotional support and other specialized services following an emergency. These teams are essential to the well-being of British Columbians in times of need. While ESS teams in BC are equipped to respond to smaller events in their own communities, this funding support will assist in building our local government capacity to effectively respond to larger or catastrophic events.

G. Applicants Response:

N/A

H. Reasons for Bylaw:

N/A

I. Resources:

N/A

BUDGET IMPLICATIONS:

➤ *The projects will only be undertaken if the subject grant of \$25,000 is approved.*

Prepared by:

Approved for submission to Council:

Luana Kaloikini, EP/ESS Coordinator
Scott Hemsted/OC

Will Pearce, CAO

Date: 3.10.2018

APPROVALS	DATE	COUNCIL AGENDA INFORMATION:	
Supervisor _____	_____	<input checked="" type="checkbox"/> Regular	Date: <u>November 13, 2018</u> Item # _____
Division Manager _____	_____	<input type="checkbox"/> In-Camera/COW	Date: _____ Item # _____
		<input type="checkbox"/> Information Item	Date: _____ Item # _____
		<input type="checkbox"/> Agenda Addenda	Date: _____ Item # _____

<u>REVIEWED WITH</u>	<u>REVIEWED WITH</u>	<u>REVIEWED WITH</u>	<u>REVIEWED WITH</u> Committees
<input type="checkbox"/> Bylaw Services	<input type="checkbox"/> Environment	<input type="checkbox"/> Public Works	<input type="checkbox"/> _____
<input type="checkbox"/> Clerk	<input type="checkbox"/> Facilities	<input type="checkbox"/> Planning	<input type="checkbox"/> _____
<input type="checkbox"/> Economic Dev.	<input type="checkbox"/> Finance	<input type="checkbox"/> Engineering	<input type="checkbox"/> _____
<input type="checkbox"/> RCMP	<input type="checkbox"/> Fire	<input type="checkbox"/> Operations	<input type="checkbox"/> _____
<input type="checkbox"/> Building & Licensing	<input type="checkbox"/> GVS – Parks	<input type="checkbox"/> GVS - Water	
<input type="checkbox"/> Human Relations	<input type="checkbox"/> Utilities	<input type="checkbox"/> Recreation Services	
		<input type="checkbox"/> Other _____	

NOTE: City Administrator's comments will be provided if required as an addendum to the report

h:\planning\msword\reports\report form.doc

**Community Emergency Preparedness Fund
Emergency Social Services
2018 Application Form**

AMENDED

Please complete and return the application form by **October 5, 2018**. All questions are required to be answered by typing directly in this form. If you have any questions, contact cepf@ubcm.ca or (250) 387-4470.

SECTION 1: Applicant Information	AP <small>(for administrative use only)</small>
Applicant: City of Vernon Emergency Program	Date of Application: 2018-10-05
Contact Person*: Luana Kaleikini	Position: Emergency Program & ESS Coordinator
Phone: 250.550.7832	E-mail: lkaleikini@vernon.ca

* Contact person must be an authorized representative of the applicant.

SECTION 2: For <u>Regional Projects Only</u>
<p>1. Identification of Partnering Local Authorities. For all regional projects, please list all of the partnering local authorities included in this application. Refer to Section 2 of the Program & Application Guide for eligibility.</p> <p>No partnering local authorities</p>

SECTION 3: Project Summary
<p>2. Name of the Project:</p> <p>City of Vernon 2018-2019 ESS Capacity building</p>
<p>3. Project Cost & Grant Request:</p> <p>Total Project Cost: \$ 25,000.00 Total Grant Request: \$ 25,000.00</p> <p>Have you applied for or received funding for this project from other sources?</p> <p>No</p>
<p>4. Project Summary. Provide a summary of your project in 150 words or less.</p> <p>A combination of projects to address the needs identified in the Vernon Emergency Plan and in the 2017 After Action Review and Improvement plan after the Host Community activation. We are committed to identifying gaps and areas for improvement in our ESS Program. Fostering respectful relationships with our neighbouring communities and First Nations is of utmost importance. Building capacity and efficiencies are our top priorities. ESS Team members are being supported in their commitment to the ESS Program.</p>

5. Design, conduct and evaluate a table top exercise and subsequent functional exercise to test the functionality of 1, 2, 3 and 4 above.

- 7. Transferability.** Describe the extent to which the proposed project may offer transferable resources and supplies to other local governments and First Nations (i.e. ESS volunteers, training resources, cots, blankets, etc.).

The effectiveness of the Evacuee (client) management software application can be shared throughout the region, and will be conducted with our neighbouring communities' participation. We would like to report to the Province on the software's successes and challenges in the implementation, compatability, support and useability for staff, volunteers and evacuees and quality of support from the provider. This may provide other ESS groups in the Province with the first hand experience to successfully transition to electronic evacuee management.

The opportunity to participate in CRESST Conference will be offered to our neighbours in the Central Region, including our First Nations Peoples in an effort to create relationships and regional capacities.

- 8. Partnerships.** Identify any other authorities you will collaborate with on the proposed project and specifically outline how you intend to work together.

The Salvation Army (TSA) is currently an active support organization to the Emergency Program and specifically to ESS. There is an existing informal agreement to be inclusive of TSA in all ESS and human consequences trainings and exercises with the intention of strengthening their participation in the Vernon ESS program and the ability to build capacity quickly.

North Okanagan RCMP Victim Services is currently an active support organization. Inclusion in training and exercises continues to be extended to their staff and volunteers in order to build capacity in the ESS Program. Their support functions to ESS are to provide crisis intervention, assessment and referrals as required during activations.

Okanagan Indian Band - Inclusion of our neighbours in trainings and exercises in order to develop relationships and expand capacity for both ESS Programs.

Formed in February 2018, the Vernon Emergency Program Subcommittee consists of five working groups: neighbourhood groups, business and industry, government offices, NGO's and subject matter experts. This subcommittee informs and receives information from the Emergency Program and has been key in our community preparedness projects.

Describe how a collaborative approach will leverage efficiencies and be a cost effective approach to the maintaining or improving ESS operations.

Building a broader base to draw from when required to build capacity quickly. With time, as skills training and experience continue to develop, efficiencies will develop naturally throughout the region in both program understanding and geographically closer experienced personnel.

- 9. Capacity Building.** Describe how the proposed project will increase emergency response capacity (i.e. having the physical resources and the skills to respond to emergencies) in your community.

Additional software will enhance ESS Services where evacuees can choose to schedule appointments for registration and referral as opposed to waiting in line ups. This will permit already traumatized individuals to engage in other activities while waiting for service and reducing long line ups. The software also allows for mass communications allowing updates to evacuees. These benefits will increase our level of effectiveness in supporting evacuees

City of Vernon ESS Program

October 5, 2018

UBCM Community Emergency Preparedness Fund 2018 ESS grant funding application budget

Below is a detailed budget for the proposed project associated with the accompanying ESS grant funding application.

PLEASE NOTE: The requested Local Government resolution indicating support for the current proposed activities and willingness to provide overall grant management will go before council in November 2018. This resolution will be forwarded to UBCM at cepf@ubcm.ca immediately upon receipt.

PROJECT EXPENSES

EVACUEE MANAGEMENT SOFTWARE	AMOUNT
Client Impact software fee	\$660.00
Staff and volunteer software training	\$500.00
Total	\$1,160.00

CENTRAL REGION ESS TRAINING CONFERENCE	AMOUNT
See attached details	
Disability Alliance BC - A functional needs framework for every community	\$200.00
Working Effectively with Indigenous Peoples	\$5,200.00
Group Lodging Functional Exercise	\$750.00
Reception Centre Functional Exercise	\$750.00
Psychological First Aid, DPS Program, PHSA	\$100.00
ESS Directors regional capacity building round table	\$100.00
World café to share best training practices	\$100.00
Venue, nourishment, net of nominal fee charged to participants	\$1,200.00
Incremental staffing costs	\$2,500.00
Total	\$10,900.00

SIGNAGE and FENCING	AMOUNT
Portable fencing for pet services provision	\$1,000.00
Reception Centre and directional signage	\$1,750.00
Total	\$2,750.00

CLOTHING	AMOUNT
7 ESS Coordinators full uniform. Identifying Hi-Vis, 3 season jackets, vests and pants (7* \$ 396)	\$2,772.00
14 ESS identifying polo shirts for 7 ESS Coordinators (1 regular and 1 spare, 14 * \$ 35)	\$490.00
Identifying polo / t-shirts and jackets for 85 Volunteers (79 * \$ 22)	\$1,738.00

City of Vernon ESS Program

October 5, 2018

Amended

Central Region ESS Training Conference

Bringing together ESS staff and volunteers to train, share best practices, lessons learned and to foster capacity building in the EMBC Central Region.

Proposed

Dates: Friday - Sunday May 31 - June 2, 2019

Time: Friday, May 31, 2019;

Venue 1 - 5:30 pm - 6:30 Meet & Greet (includes light dinner)

Venue 1 - 6:45 pm - 8:30 pm RC/GL Functional exercise

Time: Saturday, June 1, 2019;

Venue 1 - Registration and light snacks

Venue 1 - 8:30 am - 4:30 pm - Working Effectively with Indigenous Peoples, ICT Inc.

Venue 2 - 8:30 am - 4:30 pm - Psychological First Aid, DPS Program

Venue 1 - 12:00 noon - 1:00 pm - Lunch

Venue 1 - 5:30 pm - ? - Social

Time: Sunday, June 2, 2019;

Venue 1 - Registration and light snacks

Venue 1 - 9:00 am - 4:00 pm - A Functional Needs Framework for every Community, Disability Alliance BC

Venue 2 - 9:00 am - 12:00 noon - World Café to share Best Practices

Venue 1 - 12 noon - 1:00 pm - Lunch

Venue 2 - 1:00pm - 4:00 pm - ESS Directors/Coordinators Regional Capacity round table

Venues

Venue 1 - City of Vernon Okanagan Landing ESS Centre

7210 Okanagan Landing Road, Vernon BC V1H 1G6

Venue 2 - City of Vernon, Lakers Clubhouse

7000 Cummins Road, Vernon BC V1H 1M2

City of Vernon 2018 ESS Capacity building

Projects Timeline

October 2018

- UBCM CEPF 2019 ESS application deadline

December 2019

- Award of grant funding

January 2019

- Order signage
- Order portable pet fencing
- Order clothing
- Purchase Client Impact Software
- Initial Central Region ESS Training (CRESST) Conference planning meeting
- Secure CRESST Conference venue

February 2019

- Client Impact Software training
- Distribution of registration for CRESST Conference

March 2019

- Confirm training, facilitators, catering and materials for CRESST Conference

April 2019

- Preparations for CRESST Conference

May 2019

- CRESST Conference

September 2019

- ESS Table top exercise

October 2019

- ESS Functional Exercise

THE CORPORATION OF THE CITY OF VERNON

BYLAW NUMBER 5715

A bylaw to amend the City of Vernon
Zoning Bylaw Number 5000

WHEREAS the Council of The Corporation of the City of Vernon has determined to amend the City of Vernon Zoning Bylaw Number 5000 to add text amendments to zoning districts A3 – Rural Small Holdings and R4 – Small Lot Residential;

AND WHEREAS all persons who might be affected by this amendment bylaw have, before the passage thereof, been afforded an opportunity to be heard on the matters herein before the said Council, in accordance with the provisions of Section 464 of the Local Government Act, and all amendments thereto;

NOW THEREFORE the Council of The Corporation of the City of Vernon, in open meeting assembled, enacts as follows:

1. This bylaw may be cited as the **"Zoning Text (Secondary Suites / Semi-Detached Housing) Amendment Bylaw Number 5715, 2018"**
2. The City of Vernon Zoning Bylaw Number 5000 be, and is hereby amended, as follows:
 - (i) **AMENDING** Section 8.3 – A3 : Rural – Small Holdings, 8.3.3 – Secondary Uses to ADD **'secondary suites'** as shown in **RED** on attached Schedule 'A';
 - (ii) **AMENDING** Section 9.5 – R4 : Small Lot Residential, 9.5.2 – Primary Uses to ADD **'semi-detached housing'** as shown in **RED** on attached Schedule 'B';
 - (iii) **AMENDING** Section 9.5 – R4 : Small Lot Residential, 9.5.6 – Other Regulations to ADD **'or one semi-detached unit'** as shown in **RED** on attached Schedule 'B';

3. Zoning Bylaw Number 5000 is hereby ratified and confirmed in every other respect.


READ A FIRST TIME this 13th day of August, 2018.

READ A SECOND TIME this 13th day of August, 2018.

PUBLIC HEARING held this 24th day of September, 2018

READ A THIRD TIME this 24th day of September, 2018.

Approved pursuant to section 52(3)(a) of the *Transportation Act* this 4 day of October, 2018



for Minister of Transportation & Infrastructure
Bylaw 5715/6450

ADOPTED this day of , 2018.

Mayor

Corporate Officer

A3

8.3 A3 : Rural – Small Holdings

8.3.1 Purpose

The purpose is to provide a **zone** for rural areas and agricultural **uses**, as well as other complementary **uses** suitable in a rural setting. The A3c sub-zoning district allows for **care centre, major** as an additional use. *(Bylaw 5467)*

8.3.2 Primary Uses

- **agriculture**
- **animal clinics, major**
- **animal clinics, minor**
- **aquaculture**
- **campsites, tourist**
- **care centre, major** *(use is only permitted with the A3c sub-zoning district)*
- **emergency protective services**
- **farmers' market**
- **golf courses**
- **greenhouses and plant nurseries**
- **guide and tour services**
- **single detached housing**
- **stables and riding academies**
- **utility services, minor impact**
- **zoo or botanical gardens**

8.3.3 Secondary Uses

- **agricultural or garden stands**
- **agricultural dwellings, additional**
- **bed and breakfast homes** (in single detached housing only) **or agri-tourist accommodation**
- **boarding rooms** *(Bylaw 5440)*
- **brewing or distilling, Class A**
- **care centres, minor**
- **home based businesses, rural**
- **home based businesses, minor**
- **home based businesses, major**
- **kennels**
- **second kitchens**
- **secondary suites**
- **wineries and cideries**

R4

9.5 R4 : Small Lot Residential

9.5.1 Purpose

The purpose is to provide a **zone** for **single detached housing**, and compatible uses, on smaller urban serviced **lots**. The R4c sub-zoning district allows for **care centre, major** as an additional use. The R4h sub-zoning district allows for **home based business, major** as an additional use. *(Bylaw 5467)*

9.5.2 Primary Uses

- **care centre, major** *(use is only permitted with the R4c sub-zoning district)*
- **single detached housing**
- **semi-detached housing**

9.5.3 Secondary Uses

- **boarding rooms**
- **bed and breakfast homes** *(in single detached housing only) (Bylaw 5498)*
- **care centres, minor**
- **home based businesses, minor**
- **home based businesses, major** *(use is only permitted with the R4h sub-zoning district)*
- **secondary suites (in single detached housing only)**

9.5.4 Subdivision Regulations

- Minimum **lot width** is 10.0m, except it is 14.0m for a **corner lot**.
- Minimum **lot area** is 320m², or 10,000m² if not serviced by a **community sewer system**.

9.5.5 Development Regulations

- Maximum **site coverage** is 40% and together with driveways, parking areas and **impermeable surfaces** shall not exceed 50%.
- Maximum **height** is the lesser of 10.0m or 2.5 **storeys**, except it is 4.5m for **secondary buildings and structures**.
- Minimum **front yard** is 3.5m.
- Minimum **side yard** is 1.2m for a 1 or 1.5 **storey** portion of a **building** and 1.5m for a 2 or 2.5 **storey** portion of a **building**, except it is 3.5m from a **flanking street**. Where there is no direct vehicular access to the **rear yard** or to an attached garage or **carport**, one **side yard** shall be at least 3.0m.
- For **party wall semi-detached housing** one **side yard**, not **flanking** a **street**, may be reduced to 0.0m. There shall be no windows or doors on the side of the **dwelling** without the **side yard**.
- Minimum **rear yard** is 6.0m for a 1 or 1.5 **storey** portion of a **building** and 7.5m for a 2 or 2.5 **storey** portion of a **building**, except it is 1.0m for **secondary buildings**. Where the **lot width** exceeds the **lot depth**, the minimum **rear yard** is 4.5m provided that one **side yard** shall have a minimum width of 4.5m.

SCHEDULE 'B'

Attached to and Forming Part of Bylaw 5715
“Zoning Text (Secondary Suites / Semi-Detached Housing) Amendment Bylaw
Number 5715, 2018”

- The maximum **height** of any vertical wall element facing a **front, flanking** or **rear yard** (including **walkout basements**) is the lesser of 6.5m or 2.5 **storeys**, above which the **building** must be **set back** at least 1.2m.

9.5.6 Other Regulations

- There shall be no more than one **single detached house or one semi-detached unit per lot**.
- Where **development** has access to a rear **lane**, vehicular access to the **development** is only permitted from the rear **lane**.
- One garage or **carport**, or the location for one, shall be provided on the **lot**.
- For strata developments, common recreation buildings, facilities and amenities may be included in the strata plan. Recreational buildings shall be treated as **secondary buildings** for the purpose of determining the **height** and **setbacks** of the **building** as specified in each **zone**.
- In addition to the regulations listed above, other regulations may apply. These include the general **development** regulations of Section 4 (secondary **development, yards**, projections into **yards**, lighting, agricultural setbacks, etc.); the specific use regulations of Section 5; the **landscaping** and fencing provisions of Section 6; and, the parking and loading regulations of Section 7.
- As per Section 4.10.2 - All **buildings and structures, excluding perimeter fencing (garden walls and fences) on lots abutting** City Roads as identified on Schedule "B" shall not be sited closer to the City Road than the setback as per the appropriate zone measured from the offset Rights of Way as illustrated on Schedule "B".
(Bylaw 5440)

THE CORPORATION OF THE CITY OF VERNON

BYLAW NUMBER 5659

A bylaw to authorize the discharge of Land Use
Contract Bylaw Number 2640, 1977

WHEREAS the owner of Lot 1, Sec 3, Twp 8, ODYD, Plan 28777 (4215 – 32nd Street) has requested that Council of The Corporation of the City of Vernon discharge Land Use Contract Bylaw Number 2640, 1977, registered as N11481 and all amendments thereto;

AND WHEREAS Section 546 of the *Local Government Act* permits a municipality to discharge a Land Use Contract by bylaw, with the agreement of the local Council and the owner of any parcel that is described in the bylaw as being covered by the Land Use Contract;

NOW THEREFORE the Council of The Corporation of the City of Vernon, in open meeting assembled, enacts as follows:

1. This bylaw may be cited for all purposes as “**4215 – 32nd Street Land Use Contract Number 2640, 1977, (N11481) Discharge Bylaw Number 5659, 2017**”.
2. That The Corporation of the City of Vernon be and is hereby authorized to discharge Land Use Contract Bylaw Number 2640, 1977 registered as N11481, being registered against the following described lands in the Land Title Office, Kamloops, B.C.:

<p>Lot 1, Sec 3, Twp 8, ODYD, Plan 28777 (4215 – 32nd Street)</p>
--

as shown outlined on the plan attached hereto as Schedule “A”.

BYLAW NUMBER 5659


3. That the Mayor and Corporate Officer be and are hereby authorized to execute the necessary discharge documents on behalf of The Corporation of the City of Vernon, and generally to do all things necessary to give effect to the matters set out herein.

READ A FIRST TIME this 23rd day of October, 2017.

READ A SECOND TIME this 23rd day of October, 2017.

PUBLIC HEARING held in accordance with the requirements of the *Local Government Act* this 27th day of November, 2017.

READ A THIRD TIME this 27th day of November, 2017.

Approved pursuant to section 546(4) of the *Local Government Act* this
26 day of October, 2018

for Minister of Transportation & Infrastructure
BYLAW 5659

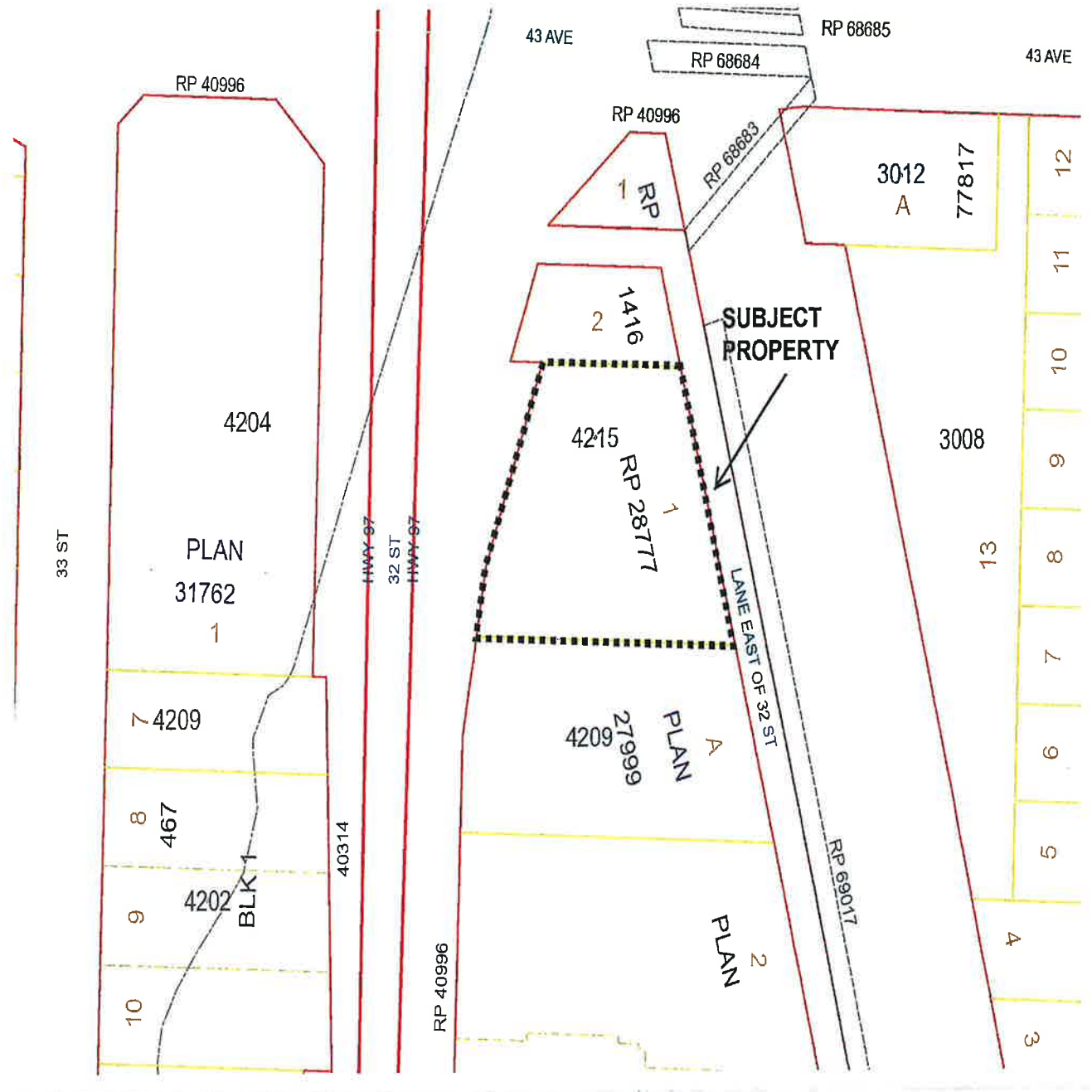
ADOPTED THIS day of , 201.

Mayor

Corporate Officer

Schedule 'A'

Attached to and forming part of Bylaw 5659
 "4215 – 32nd Street Land Use Contract Number 2640, 1977, (N11481) Discharge
 Bylaw Number 5659, 2017"





THE CORPORATION OF THE CITY OF VERNON

INTERNAL M E M O R A N D U M

TO: W. Pearce, CAO **FILE:** LUC00012/DVP00381

PC: K. Flick, Director, Community Infrastructure and Development
P. Bridal, Director, Corporate Services **DATE:** October 29, 2018

FROM: C. Liefke, Planning Assistant, Current Planning

SUBJECT: **LAND USE CONTRACT DISCHARGE AND DEVELOPMENT VARIANCE APPLICATION FOR 4215 – 32ND STREET**

The existing Food Primary Establishment, Kelly O'Bryans, is a permitted use within the C10 zoning district. There is an existing unenclosed patio seating area located within the front yard setback area that is permitted by Zoning Bylaw #5000 and by Land Use Contract #2640, 1977. The applicant would like to enclose the existing patio seating area in order to use the space for a longer season and provide an attractive street presence that is compatible with the existing neighbourhood development. In order to allow the patio to be enclosed, the applicant has requested that the Land Use Contract be discharged and that the zoning bylaw be varied.

The following resolution was adopted by Council at the October 23, 2017 Regular Open Meeting:

THAT Council support the application to discharge Bylaw #2640 Land Use Contract (LTO #N11481) from the title of Lot 1, Sec 3, Twp 8, ODYD, Plan 28777 (4215 – 32nd Street) and allow the property to be governed by Zoning Bylaw #5000;

AND FURTHER, that Bylaw #2640, being a bylaw to authorize the Corporation of the City of Vernon to enter into a Land Use Contract, be repealed;

AND FURTHER, that Council support the Development Variance Permit application (DVP00381) for Lot 1, Sec 3, Twp 8, ODYD, Plan 28777 (4215 – 32nd Street) to vary the minimum front yard setback from 6.0 m to 0.0 m. subject to the following:

- a) That the site plan and building elevation plans generally shown as Attachment 1 in the report titled Land Use Contract Discharge for 4215 – 32nd Street, dated October 12, 2017 by the Manager, Current Planning, be attached to and form part of Development Variance Permit DVP00381 as Schedule 'A'; and*

THE CORPORATION OF THE CITY OF VERNON

BYLAW NUMBER 5730

A bylaw to amend the City of Vernon
Zoning Bylaw Number 5000

WHEREAS the Council of The Corporation of the City of Vernon has determined to amend the City of Vernon Zoning Bylaw Number 5000 to make it consistent with the Master Transportation Plan, Official Community Plan Bylaw #5151, as amended and Subdivision and Development Servicing Bylaw #3843, as amended.

AND WHEREAS all persons who might be affected by this amendment bylaw have, before the passage thereof, been afforded an opportunity to be heard on the matters herein before the said Council, in accordance with the provisions of Section 464 of the Local Government Act, and all amendments thereto;

NOW THEREFORE the Council of The Corporation of the City of Vernon, in open meeting assembled, enacts as follows:

1. This bylaw may be cited as the "**Zoning Text (Additional Setbacks from City Roads) Amendment Bylaw Number 5730, 2018**".
2. The City of Vernon Zoning Bylaw Number 5000 be, and is hereby amended, as follows:
 - (i) **DELETING, in its entirety**, Schedule B: Additional Setbacks to Major City Roads, and **REPLACING** Schedule B – Additional Setbacks to Major City Roads, as shown on attached Schedule A (enlarged inset second page), attached to and forming part of this bylaw.

BYLAW 5730

PAGE 2

3. Zoning Bylaw Number 5000 is hereby ratified and confirmed in every other respect.

READ A FIRST TIME this day of , 2018.

READ A SECOND TIME this day of , 2018.

PUBLIC HEARING held this day of , 2018

READ A THIRD TIME this day of , 2018.

Approved pursuant to section 52(3)(a) of the *Transportation Act* this _____ day of
_____, 20____

for Minister of Transportation & Infrastructure
Bylaw 5730








ADOPTED this day of , 2018.

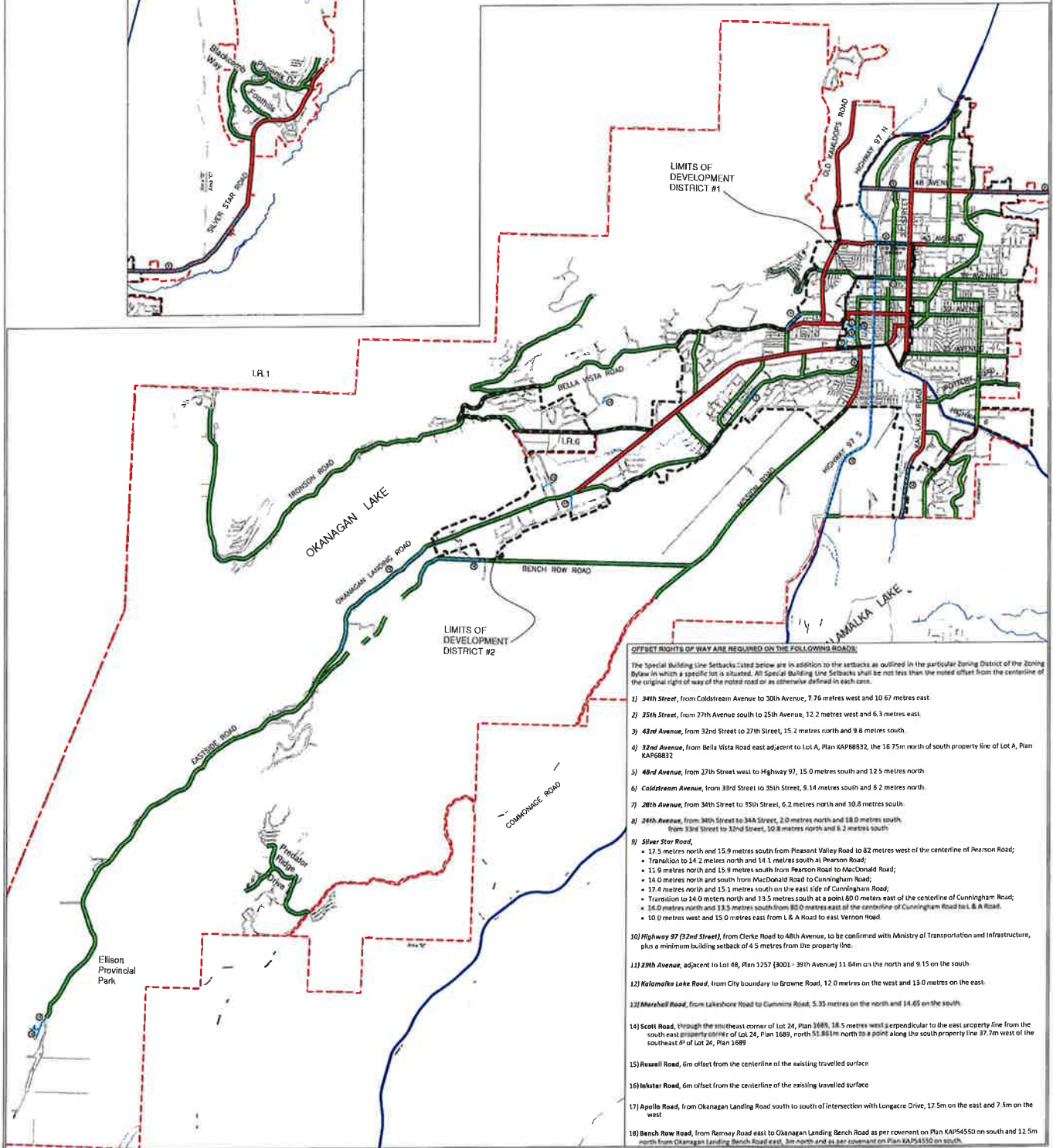
Mayor

Corporate Officer

THE CORPORATION OF
 THE CITY OF VERNON
ZONING BYLAW
SCHEDULE B ADDITIONAL
ADJACENT TO CITY ROADS
 SCHEDULE 'B' FORMING PART OF AND ATTACHED TO
 ZONING BYLAW No. 5000 AS AMENDED

LEGEND

-  COLLECTOR: 18.3M (60') DEVELOPMENT DISTRICT (DD) 1 AND 2; 18.5M IN DD 3.
 -  ARTERIAL: 21M R/W IN DD 1 AND 2; 25M R/W IN DD 3
 -  MINIMUM BUILDING SETBACK AT ALL ARTERIAL AND COLLECTOR INTERSECTIONS BASED ON 6M X 6M CORNER CUT.
 -  MINIMUM BUILDING SETBACK AT LOCAL ROAD INTERSECTIONS WITH ARTERIAL OR COLLECTOR ROADS BASED ON A 3M X 3M CORNER CUT
 -  OFFSET RW REQUIRED (SEE NOTES BELOW)
 -  DEVELOPMENT DISTRICT BOUNDARIES
 -  PROVINCIAL HIGHWAY
- NOT TO SCALE



- OFFSET RIGHTS OF WAY ARE REQUIRED ON THE FOLLOWING ROADS:**
- The Special Building Line Setbacks listed below are in addition to the setbacks as outlined in the particular Zoning District of the Zoning Bylaw in which a specific lot is situated. All Special Building Line Setbacks shall be not less than the noted offset from the centerline of the original right of way of the noted road or as otherwise defined in each case.
- 1) 34th Street, from Coldstream Avenue to 30th Avenue, 7.76 metres west and 10.67 metres east.
 - 2) 35th Street, from 27th Avenue south to 25th Avenue, 12.2 metres west and 6.3 metres east
 - 3) 43rd Avenue, from 32nd Street to 27th Street, 15.2 metres north and 9.8 metres south.
 - 4) 32nd Avenue, from Bella Vista Road east adjacent to Lot A, Plan KAP68832, the 16.75m north of south property line of Lot A, Plan KAP68832
 - 5) 48rd Avenue, from 27th Street west to Highway 97, 15.0 metres south and 12.5 metres north
 - 6) Coldstream Avenue, from 33rd Street to 30th Street, 9.14 metres south and 6.2 metres north.
 - 7) 28th Avenue, from 34th Street to 35th Street, 6.2 metres north and 10.8 metres south.
 - 8) 24th Avenue, from 34th Street to 34A Street, 2.0 metres north and 18.0 metres south from 33rd Street to 32nd Street, 10.8 metres north and 8.2 metres south
 - 9) Silver Star Road,
 - 17.5 metres north and 15.9 metres south from Pleasant Valley Road to 82 metres west of the centerline of Pearson Road;
 - Transition to 14.2 metres north and 14.1 metres south at Pearson Road;
 - 15.8 metres north and 15.8 metres south from Pearson Road to MacDonald Road;
 - 14.0 metres north and south from MacDonald Road to Cunningham Road;
 - 17.4 metres north and 15.1 metres south on the east side of Cunningham Road;
 - Transition to 14.0 metres north and 13.5 metres south at a point 80.0 metres east of the centerline of Cunningham Road to L & A Road;
 - 16.0 metres north and 13.5 metres south from 82.0 metres east of the centerline of Cunningham Road to L & A Road;
 - 10.0 metres west and 15.0 metres east from L & A Road to east Vernon Road.
 - 10) Highway 97 (32nd Street), from Clerke Road to 48th Avenue, to be confirmed with Ministry of Transportation and Infrastructure, plus a minimum building setback of 4.5 metres from the property line.
 - 11) 29th Avenue, adjacent to Lot 46, Plan 1257 (3001 - 39th Avenue) 11.6m on the north and 9.15 on the south
 - 12) Kalamalka Lake Road, from City boundary to Browne Road, 12.0 metres on the west and 13.0 metres on the east.
 - 13) Marshall Road, from Lakeshore Road to Cummins Road, 5.35 metres on the north and 14.65 on the south
 - 14) Scott Road, through the northeast corner of lot 24, Plan 1688, 18.5 metres west perpendicular to the east property line from the south east property corner of Lot 24, Plan 1688, north 91.881m north to a point along the south property line 37.7m west of the southeast P of Lot 24, Plan 1689
 - 15) Russell Road, 6m offset from the centerline of the existing travelled surface
 - 16) Inkster Road, 6m offset from the centerline of the existing travelled surface
 - 17) Apollo Road, from Okanagan Landing Road south to south of intersection with Longacre Drive, 17.5m on the east and 7.5m on the west
 - 18) Bench Row Road, from Rainey Road east to Okanagan Landing Bench Road as per covenant on Plan KAP54550 on south and 12.5m north from Okanagan Landing Bench Road east, 3m north and as per covenant on Plan KAP54530 on south

" Zoning Text (Additional Setbacks from City Roads) Amendment Bylaw Number 5730, 2018"

ENLARGED INSET

OFFSET RIGHTS OF WAY ARE REQUIRED ON THE FOLLOWING ROADS:

The Special Building Line Setbacks listed below are in addition to the setbacks as outlined in the particular Zoning District of the Zoning Bylaw in which a specific lot is situated. All Special Building Line Setbacks shall be not less than the noted offset from the centerline of the original right of way of the noted road or as otherwise defined in each case.

- 1) **34th Street**, from Coldstream Avenue to 30th Avenue, 7.76 metres west and 10.67 metres east.
- 2) **35th Street**, from 27th Avenue south to 25th Avenue, 12.2 metres west and 6.3 metres east.
- 3) **43rd Avenue**, from 32nd Street to 27th Street, 15.2 metres north and 9.8 metres south.
- 4) **32nd Avenue**, from Bella Vista Road east adjacent to Lot A, Plan KAP68832, the 16.75m north of south property line of Lot A, Plan KAP68832
- 5) **48rd Avenue**, from 27th Street west to Highway 97, 15.0 metres south and 12.5 metres north.
- 6) **Coldstream Avenue**, from 33rd Street to 35th Street, 9.14 metres south and 6.2 metres north.
- 7) **28th Avenue**, from 34th Street to 35th Street, 6.2 metres north and 10.8 metres south.
- 8) **24th Avenue**, from 34th Street to 34A Street, 2.0 metres north and 18.0 metres south.
from 33rd Street to 32nd Street, 10.8 metres north and 6.2 metres south
- 9) **Silver Star Road**,
 - 17.5 metres north and 15.9 metres south from Pleasant Valley Road to 82 metres west of the centerline of Pearson Road;
 - Transition to 14.2 metres north and 14.1 metres south at Pearson Road;
 - 11.9 metres north and 15.9 metres south from Pearson Road to MacDonald Road;
 - 14.0 metres north and south from MacDonald Road to Cunningham Road;
 - 17.4 metres north and 15.1 metres south on the east side of Cunningham Road;
 - Transition to 14.0 meters north and 13.5 metres south at a point 80.0 meters east of the centerline of Cunningham Road;
 - 14.0 metres north and 13.5 metres south from 80.0 metres east of the centerline of Cunningham Road to L & A Road.
 - 10.0 metres west and 15.0 metres east from L & A Road to east Vernon Road.
 -
- 10) **Highway 97 (32nd Street)**, from Clerke Road to 48th Avenue, to be confirmed with Ministry of Transportation and Infrastructure, plus a minimum building setback of 4.5 metres from the property line.
- 11) **39th Avenue**, adjacent to Lot 48, Plan 1257 (3001 - 39th Avenue) 11.64m on the north and 9.15 on the south.
- 12) **Kalamalka Lake Road**, from City boundary to Browne Road, 12.0 metres on the west and 13.0 metres on the east.
- 13) **Marshall Road**, from Lakeshore Road to Cummins Road, 5.35 metres on the north and 14.65 on the south.
- 14) **Scott Road**, through the southeast corner of Lot 24, Plan 1689, 18.5 metres west perpendicular to the east property line from the south east property corner of Lot 24, Plan 1689, north 51.861m north to a point along the south property line 37.7m west of the southeast IP of Lot 24, Plan 1689
- 15) **Russell Road**, 6m offset from the centerline of the existing travelled surface
- 16) **Inkster Road**, 6m offset from the centerline of the existing travelled surface
- 17) **Apollo Road**, from Okanagan Landing Road south to south of intersection with Longacre Drive, 17.5m on the east and 7.5m on the west
- 18) **Bench Row Road**, from Ramsay Road east to Okanagan Landing Bench Road as per covenant on Plan KAP54550 on south and 12.5m north
from Okanagan Landing Bench Road east, 3m north and as per covenant on Plan KAP54550 on south.

THE CORPORATION OF THE CITY OF VERNON

BYLAW NUMBER 5731

A bylaw to amend the City of Vernon
Zoning Bylaw Number 5000

WHEREAS the Council of The Corporation of the City of Vernon has determined to amend the City of Vernon Zoning Bylaw #5000;

AND WHEREAS all persons who might be affected by this amendment bylaw have, before the passage thereof, been afforded an opportunity to be heard on the matters herein before the said Council, in accordance with the provisions of Section 464 of the Local Government Act, and all amendments thereto;

NOW THEREFORE the Council of The Corporation of the City of Vernon, in open meeting assembled, enacts as follows:

1. This bylaw may be cited as the "**Zoning Text (Cannabis) Amendment Bylaw Number 5731, 2018**"

2. The City of Vernon Zoning Bylaw #5000 be, and is hereby amended, as follows:

(i) **ADDING** the following wording as shown in **red** to Section 2.0 – Interpretation, 2.3 – General Definitions:

CANNABIS means all parts of the genus cannabis, whether growing or not, and the seed or clone of such plants, as well as any products containing cannabis.

CANNABIS CULTIVATION FACILITIES means a facility licensed by Health Canada for the indoor and/or outdoor cultivation of cannabis. These facilities may include, but shall not be limited to, cultivation, micro cultivation, hemp, and nurseries.

CANNABIS PROCESSING FACILITIES means the processing, micro processing, analytical testing and research of cannabis and cannabis products.

RETAIL CANNABIS SALES means a **premise** for the retail sale of **cannabis** that has been licensed by the Government of British Columbia.

- (ii) **REMOVING** the following wording as shown in **red** from Section 2.0 – Interpretation, 2.3 – General Definitions:

MARIHUANA means all parts of the genus *cannabis* whether growing or not and the seed or clone of such plants.

MEDICAL MARIHUANA PRODUCTION FACILITY means a facility, licenced by the Federal Government under the Marihuana for Medical Purposes Regulation used solely for the production, manufacturing, processing, testing, packaging, and shipping of marihuana and marihuana products for medical purposes.

- (iii) **REMOVING** the word **marihuana** shown in **red** from Section 2.0 – Interpretation, 2.3 – General Definitions and replacing with the word **cannabis**:

RETAIL STORE, CONVENIENCE means **development** used for the retail sales of those goods required by area residents or employees on a day-to-day basis, from **business premises** that do not exceed 300m² in **gross floor area**. Typical **uses** include but are not limited to small food stores, drug stores, florists and variety stores selling confectionery tobacco, groceries, beverages, pharmaceutical and personal care items or hardware, or printed matter, or the rental of audio/visual products. In the case of the **W2 zone**, this includes items normally required by those using **marina** facilities. This **use** does not include a **licensee retail store**, or the sale of **marihuana** or **marihuana** products.

RETAIL STORE, GENERAL means a **premise** where goods, merchandise, other materials, and personal services are offered for sale at retail to the general public and includes limited on-site and **outdoor storage** or limited seasonal outdoor sales to support that store's operations. Typical **uses** include but are not limited to grocery, hardware, pharmaceutical, appliance and sporting goods stores. This **use** excludes **warehouse sales** and the sale of gasoline, heavy agricultural and industrial equipment, alcoholic beverages, or second-hand goods, or retail stores requiring **outdoor storage**, or the sale of **marihuana** or **marihuana** products.

RETAIL STORE, LICENSEE means a retail store licensed by the *Province of British Columbia Liquor Control and Licensing Branch* to sell beer, wine, cider, coolers and spirits to the public. This use does not include the retail sale of **marihuana** or **marihuana** products.

RETAIL STORE, SERVICE COMMERCIAL means **premises** where goods, merchandise or other materials are offered for sale at retail to the general public and require extensive on-site storage to support the store's operations, either for product storage, or for processing, manufacturing or repairing goods sold on-site. Typical **uses** include but are not limited to sales of automotive parts, bakeries and butchers that process on **site**. This use does not include the sale of **marihuana** or **marihuana** products.

RETAIL STREET SALES means selling chattels or prepared meals or snacks from a mobile vending unit. This use does not include the retail sale of **marihuana** or **marihuana** products.

- (iv) **REMOVING** the following wording as shown in **red** from Section 3.0 Enforcement, 3.3 – Prohibitions:

3.3.9 The sale of **marihuana** or **marihuana** products is prohibited in all zones.

- (v) **REMOVING** the following wording as shown in **red** from Section 7.0 Parking & Loading, Table 7.1 – Parking Schedule – Agricultural Uses and Industrial Uses:

Medical Marihuana Production Facility 1 per employee on duty

- (vi) **ADDING** the following wording as shown in **red** to Section 7.0 Parking & Loading, Table 7.1 – Parking Schedule – Agricultural Uses and Industrial Uses:

Cannabis Cultivation Facility 1 per employee on duty
Cannabis Processing Facility 1 per employee on duty

- (vii) **REMOVING** the following wording as shown in **red** from Section 7.0 Parking & Loading, Table 7.2 – Loading Schedule – Agricultural Uses and Industrial Uses:

Medical Marihuana Production Facility 1 per facility

- (viii) **ADDING** the following wording as shown in **red** from Section 7.0 Parking & Loading, Table 7.2 – Loading Schedule – Agricultural Uses and Industrial Uses:

Cannabis Cultivation Facility 1 per facility

Cannabis Processing Facility 1 per facility

- (ix) **ADDING** the following wording as shown in **red** to sections:

- a. 10.3.2 Primary Uses, 10.3 – C3 Mixed-Use Commercial;
- b. 10.4.2 Primary Uses, 10.4 – C4 Street-Oriented Commercial;
- c. 10.5.2 Primary Uses, 10.5 – C5 Community Commercial;
- d. 10.6.2 Primary Uses, 10.6 – C6 Village Commercial;
- e. 10.7.2 Primary Uses, 10.7 – C7 Heritage Business District;
- f. 10.8.2 Primary Uses, 10.8 – C8 Central Business District;
- g. 10.9.2 Primary Uses, 10.9 – C9 Regional Commercial;
- h. 10.10.2 Primary Uses, 10.10 – C10 Tourist Commercial;
- i. 10.11.2 Primary Uses, 10.11 – C11 Service Commercial;
- j. 10.12.2 Primary Uses, 10.12 – C12 Convention Hotel Commercial;
- k. 10.13.2 Primary Uses, 10.13 – RTC Resort Commercial;
- l. 13.1.2 Primary Uses, 13.1 – CD1 Comprehensive Development Area; and
- m. 13.5.2 Primary Uses, 13.5 – CD5 Comprehensive Development Area;

RETAIL CANNABIS SALES

- (x) **REMOVING** the following wording as shown in **red** from Sections:
- a. 8.1.2 Primary Uses, 8.1 – A1 Agricultural; and
 - b. 11.1.2 Primary Uses, 11.1 – I1 Light Industrial;

MEDICAL MARIHUANA PRODUCTION FACILITY

- (xi) **ADDING** the following wording as shown in **red** to Sections:
- a. 8.1.2 Primary Uses, 8.1 – A1 Agricultural; and
 - b. 11.1.2 Primary Uses, 11.1 – I1 Light Industrial;

CANNABIS CULTIVATION FACILITIES

- (xii) **REMOVING** the following wording as shown in **red** from Section 8.1.5 Development Regulations, 8.1 – A1 Agricultural:

a medical marihuana production facility shall only be located in a separate detached building which contains no other uses.

- (xiii) **ADDING** the following wording as shown in **red** to Section 8.1.5 Development Regulations, 8.1 – A1 Agricultural:

a cannabis cultivation facility shall be setback a minimum of 50.0 m from lands zoned RR, R1, R2, R3, R4, R5, R5A, R6, R7, RTR, RM1, RM2, RH1, RH2, RH3, HR1, HR2, HR3, RST1, and RST2 or any other residential zones.

- (xiv) **ADDING** the following wording as shown in **red** to Sections:
 - a. 11.1.6 Other Regulations, 11.1 – I1 Light Industrial

a cannabis cultivation facility shall be located in an enclosed building with odour controls so that any odour associated with the cannabis cultivation facility use cannot be detected beyond the parcel line of the parcel on which the cannabis cultivation facility is located.

- (xv) **ADDING** the following wording as shown in **red** to Sections:
 - a. 11.1.2 Primary Uses, 11.1 – I1 Light Industrial; and
 - b. 11.4.2 Primary Uses, 11.4 – I4 Business Park:

CANNABIS PROCESSING FACILITIES

- 3. Zoning Bylaw Number 5000 is hereby ratified and confirmed in every other respect.

READ A FIRST TIME this	day of	, 2018.
READ A SECOND TIME this	day of	, 2018.
PUBLIC HEARING held this	day of	, 2018
READ A THIRD TIME this	day of	, 2018.

BYLAW 5731

PAGE 6

ADOPTED this day of , 2018.

Mayor

Corporate Officer



THE CORPORATION OF THE CITY OF VERNON

INTERNAL M E M O R A N D U M

TO: W. Pearce, CAO **FILE:** 6445-03
PC: P. Bridal, Director, Corporate Services **DATE:** October 31, 2018
FROM: K. Flick, Director, Community Infrastructure and Development
SUBJECT: Cannabis Bylaw Amendments

At its Regular Meeting of September 24, 2018, Council endorsed a proposed direction to regulating the sale, cultivation and processing of cannabis (Attachment 2). If adopted, the Zoning Bylaw #5000 amendments will permit the retail sales, cultivation and processing of cannabis as permitted uses in multiple commercial, industrial and agricultural zoning districts. This means:

- Applications for cannabis cultivation and processing will be processed by permit and will not be considered by Council unless a rezoning or variance is required.
- Under the new provincial regulations, which came into effect October 17, 2018, cannabis retail sales **must** receive a license from the provincial government in order to legally operate. In order to be eligible for a provincial license, the application **must** have local government concurrence on the location. As such, as a permitted use in multiple commercial zoning districts, every application will be considered by Council which will include required community consultation.
- Cannabis retail sales, processing and commercial cultivation are not permitted as home based businesses.

Further to Council's direction, the associated Zoning Bylaw #5000 amendments have been prepared for Council's consideration and First and Second Reading (Attachment 1).

RECOMMENDATION:

That Council consider granting Zoning Text Cannabis Amendment Bylaw #5731, 2018 First and Second Readings and schedule the Public Hearing for November 26, 2018.

Respectfully submitted:

Kim Flick
Director, Community Infrastructure and Development

Attachment 1 – Zoning Text Cannabis Amendment Bylaw
Attachment 2 – Report Endorsed by Council September 24, 2018

THE CORPORATION OF THE CITY OF VERNON

BYLAW NUMBER 5731

A bylaw to amend the City of Vernon
Zoning Bylaw Number 5000

WHEREAS the Council of The Corporation of the City of Vernon has determined to amend the City of Vernon Zoning Bylaw #5000;

AND WHEREAS all persons who might be affected by this amendment bylaw have, before the passage thereof, been afforded an opportunity to be heard on the matters herein before the said Council, in accordance with the provisions of Section 464 of the Local Government Act, and all amendments thereto;

NOW THEREFORE the Council of The Corporation of the City of Vernon, in open meeting assembled, enacts as follows:

1. This bylaw may be cited as the "**Zoning Text Cannabis Amendment Bylaw Number 5731, 2018**"

2. The City of Vernon Zoning Bylaw #5000 be, and is hereby amended, as follows:

(i) **ADDING** the following wording as shown in **red** to Section 2.0 – Interpretation, 2.3 – General Definitions:

CANNABIS means all parts of the genus cannabis, whether growing or not, and the seed or clone of such plants, as well as any products containing cannabis.

CANNABIS CULTIVATION FACILITIES means a facility licensed by Health Canada for the indoor and/or outdoor cultivation of cannabis. These facilities may include, but shall not be limited to, cultivation, micro cultivation, hemp, and nurseries.

CANNABIS PROCESSING FACILITIES means the processing, micro processing, analytical testing and research of cannabis and cannabis products.

RETAIL CANNABIS SALES means a **premise** for the retail sale of **cannabis** that has been licensed by the Government of British Columbia.

- (ii) **REMOVING** the following wording as shown in **red** from Section 2.0 – Interpretation, 2.3 – General Definitions:

MARIHUANA means all parts of the genus cannabis whether growing or not and the seed or clone of such plants.

MEDICAL MARIHUANA PRODUCTION FACILITY means a facility, licenced by the Federal Government under the Marihuana for Medical Purposes Regulation used solely for the production, manufacturing, processing, testing, packaging, and shipping of marihuana and marihuana products for medical purposes.

- (iii) **REMOVING** the word **marihuana** shown in **red** from Section 2.0 – Interpretation, 2.3 – General Definitions and replacing with the word **cannabis**:

RETAIL STORE, CONVENIENCE means **development** used for the retail sales of those goods required by area residents or employees on a day-to-day basis, from **business premises** that do not exceed 300m² in **gross floor area**. Typical **uses** include but are not limited to small food stores, drug stores, florists and variety stores selling confectionery tobacco, groceries, beverages, pharmaceutical and personal care items or hardware, or printed matter, or the rental of audio/visual products. In the case of the W2 **zone**, this includes items normally required by those using **marina** facilities. This **use** does not include a **licensee retail store**, or the sale of **marihuana** or **marihuana** products.

RETAIL STORE, GENERAL means a **premise** where goods, merchandise, other materials, and personal services are offered for sale at retail to the general public and includes limited on-site and **outdoor storage** or limited seasonal outdoor sales to support that store's operations. Typical **uses** include but are not limited to grocery, hardware, pharmaceutical, appliance and sporting goods stores. This **use** excludes **warehouse sales** and the sale of gasoline, heavy agricultural and industrial equipment, alcoholic beverages, or second-hand goods, or retail stores requiring **outdoor storage**, or the sale of **marihuana** or **marihuana** products.

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RETAIL STREET SALES means selling chattels or prepared meals or snacks from a mobile vending unit. This use does not include the retail sale of **marihuana** or **marihuana** products.

- (iv) **REMOVING** the following wording as shown in **red** from Section 3.0 Enforcement, 3.3 – Prohibitions:

3.3.9 The sale of marihuana or marihuana products is prohibited in all zones.

- (v) **REMOVING** the following wording as shown in **red** from Section 7.0 Parking & Loading, Table 7.1 – Parking Schedule – Agricultural Uses and Industrial Uses:

Medical Marihuana Production Facility 1 per employee on duty

- (vi) **ADDING** the following wording as shown in **red** to Section 7.0 Parking & Loading, Table 7.1 – Parking Schedule – Agricultural Uses and Industrial Uses:

Cannabis Cultivation Facility 1 per employee on duty
Cannabis Processing Facility 1 per employee on duty

- (vii) **REMOVING** the following wording as shown in **red** from Section 7.0 Parking & Loading, Table 7.2 – Loading Schedule – Agricultural Uses and Industrial Uses:

Medical Marihuana Production Facility 1 per facility

- (viii) **ADDING** the following wording as shown in **red** from Section 7.0 Parking & Loading, Table 7.2 – Loading Schedule – Agricultural Uses and Industrial Uses:

Cannabis Cultivation Facility 1 per facility
Cannabis Processing Facility 1 per facility

- (ix) **ADDING** the following wording as shown in **red** to sections:

- a. 10.3.2 Primary Uses, 10.3 – C3 Mixed-Use Commercial;
- b. 10.4.2 Primary Uses, 10.4 – C4 Street-Oriented Commercial;
- c. 10.5.2 Primary Uses, 10.5 – C5 Community Commercial;
- d. 10.6.2 Primary Uses, 10.6 – C6 Village Commercial;
- e. 10.7.2 Primary Uses, 10.7 – C7 Heritage Business District;
- f. 10.8.2 Primary Uses, 10.8 – C8 Central Business District;
- g. 10.9.2 Primary Uses, 10.9 – C9 Regional Commercial;
- h. 10.10.2 Primary Uses, 10.10 – C10 Tourist Commercial;
- i. 10.11.2 Primary Uses, 10.11 – C11 Service Commercial;
- j. 10.12.2 Primary Uses, 10.12 – C12 Convention Hotel Commercial;
- k. 10.13.2 Primary Uses, 10.13 – RTC Resort Commercial;
- l. 13.1.2 Primary Uses, 13.1 – CD1 Comprehensive Development Area; and
- m. 13.5.2 Primary Uses, 13.5 – CD5 Comprehensive Development Area;

RETAIL CANNABIS SALES

- (x) **REMOVING** the following wording as shown in **red** from Sections:
- a. 8.1.2 Primary Uses, 8.1 – A1 Agricultural; and
 - b. 11.1.2 Primary Uses, 11.1 – I1 Light Industrial;

MEDICAL MARIHUANA PRODUCTION FACILITY

- (xi) **ADDING** the following wording as shown in **red** to Sections:
- a. 8.1.2 Primary Uses, 8.1 – A1 Agricultural; and
 - b. 11.1.2 Primary Uses, 11.1 – I1 Light Industrial;

Mayor

Corporate Officer



THE CORPORATION OF THE CITY OF VERNON REPORT TO COUNCIL

ORIGINAL

SUBMITTED BY: Kim Flick, Director, Community Infrastructure and Development

COUNCIL MEETING: REG COW I/C
COUNCIL MEETING DATE: September 24, 2018
REPORT DATE: September 13, 2018
FILE: 6445-03

SUBJECT: PROPOSED CANNABIS ZONING BYLAW AMENDMENTS

PURPOSE:

To propose an approach to amendments to Zoning Bylaw #5000 to permit retail sales of non-medical cannabis and cannabis cultivation, processing, testing and research.

RECOMMENDATION:

THAT Council direct Administration to bring forward draft amendments to Zoning Bylaw #5000 for its consideration to permit non-medical cannabis sales as a permitted primary use in the following zoning districts:

- C3 – Mixed Use Commercial
- C4 – Street Oriented Commercial
- C5 – Community Commercial
- C6 – Village Commercial
- C7 – Heritage Business District
- C8 – Central Business District
- C9 – Regional Commercial
- C10 – Tourist Commercial
- C11 – Service Commercial
- C12 – Convention Hotel Commercial
- RTC – Resort Commercial
- CD 1 – Comprehensive Development District
- CD 5 – Comprehensive Development District

AND FURTHER, that Council direct Administration to bring forward draft bylaw amendments to Zoning Bylaw #5000 for its consideration which will permit cannabis cultivation facilities (medical, non-medical, micro cultivation, hemp and nurseries) in the A1 – Agriculture within the ALR (a minimum of 50 m from any property where residential is the principal use) and I1 – Light Industrial (in enclosed buildings only) zoning districts, pursuant to licensing by the federal government under the applicable and prevailing regime;

AND FURTHER, that Council direct Administration to bring forward draft bylaw amendments to Zoning Bylaw #5000 for its consideration which will permit cannabis processing, micro processing, analytical testing and research in the I1 – Light Industrial and I4 – Business Park zoning districts;

AND FURTHER, that Council direct Administration to bring forward bylaw amendments for its consideration to Business License Bylaw #5480 and Fees and Charges Bylaw #3909 to accommodate cannabis cultivation, processing, testing and research.

ALTERNATIVES & IMPLICATIONS:

1. THAT Council direct Administration to bring forward draft amendments to Zoning Bylaw #5000 for its consideration to permit non-medical cannabis sales as a permitted primary use in the following zoning districts: *(as cited by Council)*;

AND FURTHER, that Council direct Administration to bring forward draft bylaw amendments to Zoning Bylaw #5000 for its consideration which will permit cannabis cultivation facilities (medical, non-medical, micro cultivation, hemp and nurseries) in the A1 – Agriculture within the ALR (a minimum of 50 m from any property where residential is the principal use) and I1 – Light Industrial (in enclosed buildings only) zoning districts, pursuant to licensing by the federal government under the applicable and prevailing regime;

AND FURTHER, that Council direct Administration to bring forward draft bylaw amendments to Zoning Bylaw #5000 for its consideration which will permit cannabis processing, micro processing, analytical testing and research in the I1 – Light Industrial and I4 – Business Park zoning districts;

AND FURTHER, that Council direct Administration to bring forward bylaw amendments for its consideration to Business License Bylaw #5480 and Fees and Charges Bylaw #3909 to accommodate cannabis cultivation, processing, testing and research.

Note: This alternative would have Council identify specific zoning districts in which it would entertain non-medical cannabis sales.

2. THAT Council direct Administration to bring forward draft amendments to Zoning Bylaw #5000 for its consideration to permit non-medical cannabis sales as a permitted primary use in the following zoning districts:

- C3 – Mixed Use Commercial
- C4 – Street Oriented Commercial
- C5 – Community Commercial
- C6 – Village Commercial
- C7 – Heritage Business District
- C8 – Central Business District
- C9 – Regional Commercial
- C10 – Tourist Commercial
- C11 – Service Commercial
- C12 – Convention Hotel Commercial
- RTC – Resort Commercial
- CD 1 – Comprehensive Development District
- CD 5 – Comprehensive Development District

AND FURTHER, that Council direct Administration to bring forward draft bylaw amendments to Zoning Bylaw #5000 for its consideration which will permit cannabis cultivation facilities (medical, non-medical, micro cultivation, hemp and nurseries) in the A1 – Agriculture within the ALR (a minimum of 50 m from any property where residential is the principal use) and I1 – Light Industrial (in enclosed buildings only) zoning districts, pursuant to licensing by the federal government under the applicable and prevailing regime;

AND FURTHER, that Council direct Administration to bring forward draft bylaw amendments to Zoning Bylaw #5000 for its consideration which will permit cannabis processing, micro processing, analytical testing and research in the I1 – Light Industrial and I4 – Business Park zoning districts;

AND FURTHER, that Council direct Administration to bring forward bylaw amendments for its consideration to Business License Bylaw #5480 and Fees and Charges Bylaw #3909 to accommodate cannabis cultivation, processing, testing and research;

AND FURTHER, that Council direct Administration to seek public input on the proposed approach to amendments to Zoning Bylaw #5000 to permit the retail sales of non-medical cannabis and cannabis cultivation, processing, testing and research.

Note: This alternative would result in Administration seeking public participation at this stage of the bylaw development process in addition to the Public Hearing (which is required for all text amendments to the Zoning Bylaw). As Administration is recommending that each application for a non-medical cannabis sales use be presented to Council for consideration, which would include public participation on each and every application, additional public participation at this time is not required.

ANALYSIS:

A. Committee Recommendations:

Should Council endorse the proposed approach, the draft bylaw amendments would be presented to the Advisory Planning Committee for review and comment prior to bringing forward to Council for its consideration.

B. Rationale:

1. Background

In April 2017, the federal government introduced Bill C-45 (the *Cannabis Act*) and Bill C-46 (amending the Criminal Code impaired driving provisions) which will come into force on October 17, 2018, making non-medical cannabis legal as of that date. Under Bill C-45, provinces and territories will regulate the distribution and sale of non-medical cannabis, subject to minimum federal conditions (medical cannabis will continue to be regulated and distributed through the federal government). The federal government is responsible for supply, setting industry wide standards related to the product, labelling and marketing, and criminal penalties.

The Province of BC's guiding cannabis legislation is the *Cannabis Control and Licensing Act*. Modelled after the province's approach to liquor licensing, the Liquor Control and Licensing Branch has been renamed the Liquor and Cannabis Regulation Branch (LCRB). The Act provides for both government and private sector storefront sales of non-medical cannabis, establishes licensing requirements and limitations on personal possession, personal cultivation and public consumption.

Local government is responsible for land use, business licensing and other local government bylaws (such as nuisance odour, etc.). At its Regular Meeting of October 23, 2017, Council directed Administration to draft bylaw amendments for its consideration following the introduction of the provincial legislation. The intent of this report is to outline an approach to regulating non-medical cannabis sales as well as cannabis cultivation and related industries in the community. Should Council endorse this approach, Administration will draft the related amendments for consideration of First and Second Readings and scheduling of the required Public Hearing.

2. Non-Medical Cannabis Sales

The Province's *Cannabis Control and Licensing Act* (<https://www.leg.bc.ca/parliamentary-business/legislation-debates-proceedings/41st-parliament/3rd-session/bills/third-reading/gov30-3>) provides the framework and regulatory authority for the licensing of non-medical cannabis sales. Any cannabis sales use requires a license from the Province. The Province will not issue a license if the local

government does not support the application (the process can be delegated to Administration but this is not recommended at this time).

The provincial application process is as follows:

- Applicants must submit a license application to the LCRB.
- The LCRB will notify the local government of the area where the proposed store will be located.
- Upon receipt of the notice, local government may:
 - Choose not to make any recommendation (this would end the license application because the LCRB will not issue a license without the support of the local government).
 - Make a recommendation to deny the application (this would end the license application because the LCRB will not issue a license without the support of the local government).
 - Make a recommendation in favour of the application (the LCRB still retains the discretion whether or not to issue the license).
- If the local government chooses to make a recommendation, provincial legislation requires that the views of residents that may be impacted be gathered and considered. This can be through a public notice of the application and written submissions, a Public Hearing, referendum or other method that the local government considers appropriate.
- Each application must be considered separately. The process applies to new applications, the relocation of existing cannabis sales stores and to government stores.

If the local government chooses to provide a recommendation on an application, the following applies:

- The recommendation or comments must be in writing.
- The local government must demonstrate that it has considered the location of the proposed store and potential impacts on the community if the application is approved.
- The views of residents and a description of how the input was gathered must be provided.
- The local government's recommendation as to whether the application should be approved or rejected and the reasons upon which the recommendation is based, including any supporting documents that are referenced.
- If the local government desires conditions or restrictions for an application (such as hours of operation, for example), the recommendation must clearly state the rationale for such conditions or restrictions.

Local governments across the province are currently developing zoning regulations and development approval processes for cannabis sales. Many are favouring a special zoning district for cannabis sales, meaning that each store would require a rezoning process, bylaw readings and a Public Hearing. Some municipalities are pursuing a cap on the maximum number of cannabis sales stores that are permitted in the community.

Administration has considered these various approaches in light of how a cannabis sales store can operate under the new legislation. Under the new approach, only prepackaged product, purchased from the government distributor, can be sold (no bulk products permitted). No other product, save cannabis accessories (i.e. rolling papers, pipes, vaporizers, etc.) can be sold at the store (no food, drink, tobacco, liquor or non-cannabis items). No samples or consumption on site are permitted. In effect, it is expected to be similar to a liquor store in terms of neighbourhood impact.

Given this, Administration recommends that non-medical cannabis sales be a permitted primary use in the following commercial zoning districts:

- C3 – Mixed Use Commercial
- C4 – Street Oriented Commercial
- C5 – Community Commercial
- C6 – Village Commercial
- C7 – Heritage Business District
- C8 – Central Business District
- C9 – Regional Commercial

- C11 – Service Commercial
- C12 – Convention Hotel Commercial
- RTC – Resort Commercial
- CD 1 – Comprehensive Development District
- CD 5 – Comprehensive Development District

As a permitted use, no rezoning process would be required. A local government recommendation in favour of the application is required in order for the Province to issue a license. The legislated process also requires the views of neighbours that may be impacted to be gathered, very similar to the requirements for a liquor license application. Administration sees no benefit in adding the rezoning process on top of the requirements already identified by the Province. To be clear, there would be no Public Hearing in the approach proposed by Administration.

However, as a permitted use a business license would be required. Should Council endorse this approach, applicants would apply to the City for a business license when they applied to the Province for the provincial license. The City's process would include advertising and soliciting input from the nearby property owners and tenants, as well as agencies including School District #22, the Greater Vernon Chamber of Commerce and the Downtown Vernon Association (if in the downtown). This input would form the required input under provincial legislation and assist Council in its deliberations.

Key considerations for Council are expected to include the proximity to uses that children and youth frequent as well as the potential concentration of shops in one area. Many municipalities are considering set distances from specific uses and other similar stores by bylaw. While there are benefits to this approach, it also potentially limits Council's discretion. A property may meet the distance by bylaw, yet still be considered to be unacceptable given travel patterns or other considerations. Cannabis sales are new to the community landscape and care must be taken to site them with due consideration of the broader community. It is unknown at this time what the appropriate number of cannabis stores is for this community. By not setting an arbitrary cap, Council can balance community input and commercial interest. As we all gain experience with legalized cannabis, Council may wish to establish additional requirements or restrictions in the future.

Additional information that would be required for Council's consideration of a non-medical cannabis license would include:

- Distance from sensitive uses (schools, playgrounds, parks, community centres, daycares, library or other places that children and youth normally attend)
- Distance from other cannabis stores
- Proposed hours of operation
- Proposed security measures
- Other information that is required for the provincial license application, including proposed floor plan and building signage
- Reports from Bylaw Compliance, RCMP and Building and Licensing regarding past practices, if applicable

It is recommended that Council direct Administration to draft Zoning Bylaw amendments for its consideration to permit cannabis sales as a primary use in the following zoning districts:

- C3 – Mixed Use Commercial
- C4 – Street Oriented Commercial
- C5 – Community Commercial
- C6 – Village Commercial
- C7 – Heritage Business District
- C8 – Central Business District
- C9 – Regional Commercial
- C10 – Tourist Commercial

- C11 – Service Commercial
- C12 – Convention Hotel Commercial
- RTC – Resort Commercial
- CD 1 – Comprehensive Development District
- CD 5 – Comprehensive Development District

The recommended process would thus be as follows:

1. The applicant submits an application to the Province for a non-medical cannabis sales license.
2. The Province notifies the City that an application has been received.
3. The applicant submits an application for a business license to the City.
4. Once the notice and the application have been received by the City, Administration would process the application, as follows:
 - a. Evaluate application to ensure all information is provided (distance from sensitive uses (identified above), distance from other cannabis sales uses, proposed hours, proposed security measures, and any other information that is required for the provincial license application, including proposed floor plan and building signage);
 - b. Arrange for advertising and mailing of notification to adjacent residents and stakeholders;
 - c. Request reports from Bylaw Compliance, RCMP and Business and Licensing on any applicant past practices, if applicable; and
 - d. Prepare report to Council with all information and summary of public participation (with all public input attached).
5. Council can make a recommendation:
 - a. To deny the application. This would end the license application because the LCRB will not issue a license without the support of the local government; or
 - b. In favour of the application. The LCRB still retains the discretion whether or not to issue the license. Council can also make recommendations regarding conditions or restrictions pertaining to the license in some regards, if granted (for example, hours of operation). Any recommendations regarding conditions must be supplemented by the rationale.
6. If the Province issues a license, the City would issue a business license, subject to any other conditions that may be applicable or identified (e.g. Development Permit, Building Permit, etc.)

Given the anticipated number of applications expected, coupled with the current pace of development, additional staff resources will be required to process the applications in a timely fashion. Administration is currently assessing options for this, to be funded through operational savings created by vacant positions within the Community Infrastructure and Development Services Division.

3. Cannabis Cultivation Facilities

Zoning Bylaw #5000 contains provisions to permit cannabis cultivation facilities subject to licensing by the federal government specifically pursuant to the *Marijuana for Medical Purposes Regulation* (MMPR). As the MMPR is no longer in effect, having been replaced by the *Access to Cannabis for Medical Purposes Regulation* (ACMPR) as of August 24, 2016 and the *Cannabis Act* as of October 17, 2018, the Zoning Bylaw requires an amendment.

There are several different licensing options available under the new regulations for the commercial cultivation of cannabis, including:

- Medical cannabis, pursuant to ACMPR at present and the *Cannabis Act* (<http://laws-lois.justice.gc.ca/eng/acts/C-24.5/>) and the *Cannabis Regulations* (<http://laws-lois.justice.gc.ca/PDF/SOR-2018-144.pdf>) in future
- Non-medical cannabis, pursuant to the *Cannabis Act* and the *Cannabis Regulations*

- Micro cultivation, pursuant to the *Cannabis Act* and the *Cannabis Regulations*
- Hemp, pursuant to the *Cannabis Act* and the *Industrial Hemp Regulations*
- Nurseries, pursuant to the *Cannabis Act* and the *Cannabis Regulations*

Micro cultivation is now a permitted option under federal legislation. A micro cultivation license permits 200 square metres of plant canopy space (approximately 2,152 square feet), indoors or outdoors. Hemp is grown outdoors for either its seed (for hemp oil and protein) or fibre (for various products and industrial uses) and, as defined in the *Industrial Hemp Regulations*, must have a THC content of 0.3% or less in the flowering heads and leaves (THC stands for tetrahydrocannabinol and is the principal intoxicating agent of cannabis). Nurseries are for the production of seeds, seedlings and clones for sale to any other type of license holder. Nursery production is permitted indoors or outdoors.

There is speculation that the Province may introduce a special retail sales license specifically for licensed micro cultivators or processors of cannabis, presumably to sell their own products directly to consumers ("farmgate" sales). At such time as this may be supported by the Province, Administration would bring forward amendments to the Zoning and Business License Bylaws for Council's consideration.

On July 13, 2018, the Province amended the *Agricultural Land Reserve Use, Subdivision and Procedure Regulation* to accommodate all forms of federally licensed cannabis (including non-medical cannabis) and to designate the production of cannabis as a farm use if produced outdoors in a field or inside soil based structures (or structures that were pre-existing or under construction at the time of the amendment). Facilities that do not meet these conditions are considered a non-farm use and approval must be obtained for non-farm use from the Agricultural Land Commission. Local government cannot issue a building permit until a successful non-farm use application is made. Further, regardless of whether the production method is considered a farm or non-farm use, no placement of fill for any reason related to cannabis production is permitted without a successful non-farm use application to the Agricultural Land Commission.

The Zoning Bylaw currently permits the cultivation of medical cannabis in the A1 – Agriculture within the ALR and I1 – Light Industrial zoning districts. No additional zoning districts are recommended to be included. It is recommended that a new minimum setback be established in A1 of 50 m (164') from the edge of the facility or field to any property where residential is the principal use to provide separation due to potential odour or light issues. This would ensure a minimum distance from residents and still allow larger properties to accommodate cannabis cultivation. For the I1 zoning district, Administration recommends that cultivation be required to take place completely indoors with appropriate odour controls. Therefore the 50 m setback would not be applied to I1 properties.

It is recommended that Council direct Administration to bring forward draft bylaw amendments to Zoning Bylaw #5000 for its consideration which will permit cannabis cultivation facilities (medical, non-medical, micro cultivation, hemp and nurseries) in the A1 – Agriculture within the ALR (a minimum of 50 m from any property where residential is the principal use) and I1 – Light Industrial (in enclosed buildings only) zoning districts, pursuant to licensing by the federal government under the applicable and prevailing regime.

4. Other Cannabis Uses

Cannabis processing, micro processing, analytical testing and research are all licensed under the *Cannabis Regulations* as of October 17, 2018. Given that the industry is still in its infancy, little is known about the range of impacts that these uses may have. As a starting point, in anticipation of growth in this new industry, it is recommended that Council direct Administration to bring forward draft bylaw amendments to Zoning Bylaw #5000 for its consideration which will permit cannabis processing, micro processing, analytical testing and research in the I1 – Light Industrial and I4 – Business Park zoning districts.

5. Business Licensing

Business License Bylaw #5480 regulates the issuance of business licenses in the city. At its Regular Meeting of June 25, 2018, Council adopted amendments to include cannabis retail as a permitted license. Should Council support amendments to the Zoning Bylaw to permit cannabis cultivation, processing, testing and research, draft amendments to the Business License Bylaw and Fees and Charges Bylaw #3909 would also be brought forward for Council's consideration.

It is noted that the City's Business License Bylaw is predicated largely on the area of the commercial enterprise to calculate the annual fee (exceptions to this include home based business, special events, casinos and cannabis sales). It is recommended that the area-based fee calculation be used for all new cannabis uses (excluding cannabis sales). Any form of home based commercial cannabis cultivation would not be permitted, beyond the four plants permitted per household as per the *Cannabis Act* and the *Cannabis Control and Licensing Act* and the restrictions contained therein. Given the limited information available regarding the processing, research and other potential commercial applications of cannabis at this time, no home based business options are being contemplated.

6. Public Engagement

If supported by Council, the proposed Zoning Bylaw amendments would be brought forward for First and Second Readings and to schedule the required Public Hearing. This would provide an opportunity for the community to comment on the proposed amendments.

Given the proposal to bring all non-medical cannabis sales applications to Council for consideration, including a summary of the public engagement for each application (which would include the public engagement as required by the Province as well as that recommended by Administration), additional public engagement is not recommended at this time.

C. Attachments:

N/A

D. Council's Strategic Plan 2015 – 2018 Goals/Deliverables:

The proposed bylaw amendments involves the following goal in Council's Strategic Plan 2015 – 2018:

- Be a Leader in Economic Development

E. Relevant Policy/Bylaws/Resolutions:

At its Regular Meeting of October 23, 2017, Council declassified the following resolution:

"THAT Council direct Administration to bring forward a draft amendment to Zoning Bylaw #5000 for its consideration to prohibit the storefront sale of cannabis as a permitted use;

AND FURTHER, that Council direct Administration to pursue Zoning Bylaw amendments to permit the sale of cannabis following the introduction of appropriate legislation by the Province, expected in 2018, including a public participation (P2) process, if applicable;

AND FURTHER, that Council direct Administration to bring forward a draft amendment to Zoning Bylaw #5000 for its consideration that will permit cannabis growing facilities pursuant to licensing by the federal government under the applicable and prevailing regime;

AND FURTHER, that Council direct Administration to advise the dispensaries of their effective date of closure, and the option to pursue to temporary use permit until such time as Council has considered and endorsed amendments to Zoning Bylaw #5000 and Business License Bylaw #5480, as may be appropriate following the enactment of provincial legislation regulating the sale of cannabis;

AND FURTHER, that Council declassifies and removes from in camera the resolution and the staff report."

BUDGET/RESOURCE IMPLICATIONS:

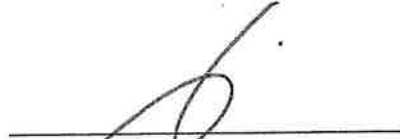
Additional staff resources to process the expected volume of non-medical cannabis sales applications can be accommodated through operational savings created by vacant positions within the Community Infrastructure and Development Services Division.

Prepared by:

Approved for submission to Council:

X 

Signer 1



Will Pearce, CAO
Date: 18.09.2018

Kim Flick, Director
Community Infrastructure and Development

REVIEWED WITH

- | | | |
|--|---|--|
| <input type="checkbox"/> Corporate Services | <input type="checkbox"/> Operations | <input checked="" type="checkbox"/> Current Planning |
| <input checked="" type="checkbox"/> Bylaw Compliance | <input type="checkbox"/> Public Works/Airport | <input checked="" type="checkbox"/> Long Range Planning & Sustainability |
| <input type="checkbox"/> Real Estate | <input type="checkbox"/> Facilities | <input checked="" type="checkbox"/> Building & Licensing |
| <input type="checkbox"/> RCMP | <input type="checkbox"/> Utilities | <input type="checkbox"/> Engineering Development Services |
| <input type="checkbox"/> Fire & Rescue Services | <input type="checkbox"/> Recreation Services | <input type="checkbox"/> Infrastructure Management |
| <input type="checkbox"/> Human Resources | <input type="checkbox"/> Parks | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Financial Services | | <input checked="" type="checkbox"/> Economic Development & Tourism |
| <input type="checkbox"/> COMMITTEE: | | |
| <input type="checkbox"/> OTHER: | | |



AETANI CENTRE

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Ack
pe mdc

0230-01
INFO ITEM
NOVEMBER
13

August 31, 2018

Mayor and Council
City of Vernon
3400 – 30th Street
Vernon, BC V1T 5E6



Dear Mayor Mund and Vernon City Council,

On behalf of the Board of Directors, staff, volunteers and membership of the Caetani Cultural Centre Society, we would like to thank you for your generous support of our Open House Project funding through the City of Vernon Council Discretionary Grant, and also for past support in the form of in kind infrastructure upgrades and grants.

We were thrilled and very grateful to receive this funding, which will help us with the transition of our organization into a new cultural and heritage facility for the citizens of the City of Vernon, and indeed, the North Okanagan. We are a small organization, and we very much appreciate the validation of the work we are doing to promote culture and heritage in this region.

We are on target to open the Caetani house this summer and fall, 2018, to additional community arts and heritage programming, events, concerts and more! We are finally realizing this project, which has been almost 25 years in the making, since the bequest to the community in 1994!

Also, the initial investments in infrastructure upgrades by the City of Vernon and the RDNO to the Caetani site allowed us to leverage over \$340,000 in total funding for this project. Thanks to funding from all levels of government, donations and support from community businesses, artists, volunteers, and our own fundraising efforts, we were able to complete the main necessary components of the Open House Project: the fire suppression system, the electrical upgrades, and the replacement of our aging HVAC system in 2018 as well as to complete smaller necessary repairs and upgrades.

As you may be aware, the project ran into unexpected delays encountered due to asbestos remediation, additional necessary electrical upgrades, as well as delays in the timing of segments of our funding being received, which meant that we had to do much of the project piece by piece, instead of all at once, so the availability of contractors also became an issue. Due to this, additional work to complete the project will continue on the house throughout the fall and winter, as contractors become available.

Due to the funding and construction delays, and in consultation with our heritage partner, the Vernon & District Museum & Archives, we have decided to postpone the opening of the heritage display itself until the spring of 2019, although the facility as a whole is open now for expanded community programming and events as planned. As well, the museum has also been challenged lately with the upcoming referendum project, as well as a change in staffing. This decision was made jointly, so that we could have additional time to work together to develop a more comprehensive and well-planned display for public access and to make it a truly one-of-a-kind heritage display.

The funding from the City of Vernon Discretionary Grant will go a long way towards realizing the objectives of the Caetani Cultural Centre Open House Project, that of opening the facility to greater public access.

We very much appreciate your support of this important project. Thank you once again.
Sincerely,

A handwritten signature in black ink that reads "Sherry Price". The signature is written in a cursive style and is positioned above a horizontal line that extends across the width of the signature.

Sherry Price
Acting President
on behalf of the Caetani Cultural Centre Board of Directors

A handwritten signature in black ink that reads "Susan Brandoli". The signature is written in a cursive style.

Susan Brandoli
Executive Director



THE CORPORATION OF THE CITY OF VERNON

MINUTES OF ADVISORY PLANNING COMMITTEE MEETING

HELD

WEDNESDAY, SEPTEMBER 25, 2018

PRESENT: VOTING

Mark Longworth, Chair
Joanne Georgeson
Phyllis Kereliuk
Monique Hubbs-Michiel
Ian Murphy
Don Schuster
Jamie Paterson

NON VOTING

Councillor Cunningham

ABSENT: Vicki Topping

Doug Neden
Lisa Biggs
Corbin Kelley, Youth Member

GUESTS: Seven (7)

STAFF: Craig Broderick, Manager, Current Planning
Ellen Croy, Transportation Planner
Ed Stranks, Manager, Engineering Development Services
Janice Nicol, Legislative Committee Clerk

ORDER

The Chair called the meeting to order at 4:01 p.m.

**ADOPTION OF
AGENDA**

Moved by Jamie Paterson, seconded by Don Schuster;

THAT the agenda of the Advisory Planning Committee meeting for Tuesday, September 25, 2018 be adopted.

CARRIED.

**ADOPTION OF
MINUTES**

Moved by Monique Hubbs-Michiel, seconded by Phyllis Kereliuk;

THAT the minutes for the Advisory Planning Committee meeting of Wednesday, September 5, 2018 be adopted.

CARRIED.

NEW BUSINESS:

**DEVELOPMENT
VARIANCE PERMIT
APPLICATIONS FOR
5350 SILVERSTAR
ROAD**

The Advisory Planning Committee reviewed the Development Variance Permit application DVP #00433 for 5350 Silver Star Road. The Manager, Current Planning reviewed the application. The following points were noted by the Committee:

- Concern about large bank of land at back of property.

Moved by Monique Hubbs-Michiel, seconded by Don Schuster;

THAT the Advisory Planning Committee recommends that Council support Development Variance Permit Application #DVP00433 to vary the following sections of Zoning Bylaw #5000 in order to construct two duplexes on four bareland strata lots on a portion of Lot A DL 51 ODYD Plan 40774, exc. Strata Plan EPS4330 (5350 Silver Star Road):

- a) For proposed Units 25 and 27:
 - i. to vary Section 9.16.6. to reduce the front yard setback from: a minimum of 6.0m from a garage or carport to the back of curb or sidewalk for vehicular entry, to a minimum of 5.3m; and
 - ii. to vary Section 9.16.6 to reduce the rear yard setback from: a minimum of 7.5m to a minimum of 6.0m; and
- b) For proposed Units 26 and 28:
 - i. to vary Section 9.16.6. to reduce the front yard setback from: a minimum of 6.0m from a garage or carport to the back of curb or sidewalk for vehicular entry, to a minimum of 5.2m; and
 - ii. to vary Section 9.16.6 to reduce the rear yard setback from: a minimum of 7.5m to a minimum of 7.0m;

AND FURTHER, that the Advisory Planning Committee recommends that Council support of DVP00433 is subject to the following:

- a) That the site plan and elevation plans, intended to illustrate the general form, character and massing of the proposed duplex units, and noted as Attachments 1 and 2 in the report titled "Development Variance Permit Application for 5350 Silver Star Road", dated September 20, 2018 by the Manager, Current Planning be attached to and form part of DVP00433 as Schedule 'A'.

CARRIED.

**REZONING
APPLICATION FOR
7250 HITCHCOCK
ROAD**

The Advisory Planning Committee reviewed rezoning application ZON #00296 for 7250 Hitchcock Road. The Manager, Current Planning reviewed the application and the Committee provided the following feedback:

- Concern that a high density area is being promoted on the edge of Vernon, there is no public transportation at this location.

Moved by Don Schuster, seconded by Jamie Paterson;

THAT the Advisory Planning Committee recommends that Council support the application to rezone the S ½ of the S ½ of the SW ¼ of Sec 19 Twp 5 ODYD (7250 Hitchcock Road) within the Foothills Neighbourhood from NU (NORD) to HR1 (Hillside Residential Single and Two Family), HR2 (Hillside Residential Multi-Family), and P1 (Parks and Open Space) in order to allow the subdivision of single or two family lots, a multi-family lot, the dedication of undisturbed open space and a remnant parcel subject to the following conditions:

- a) Registration of a Section 219 "No Disturb" Covenant on the remnant parcel that would restrict future subdivision or development until the approval of a pre-plan, consistent with the Foothills Neighbourhood Plan, that would identify the location of a future road network that respects sensitive areas including seasonal water bodies or drainage courses, ensures access to lands beyond, and provides for future parks and trail connections;
- b) Preparation of a phased servicing plan that identifies onsite and offsite servicing upgrades necessary to

support the development of the subject lands, including the first phase of development and the remnant parcel;

- c) The design of on-site and off-site works and services necessary to service the first phase of development and the remnant parcel; and
- d) Payment of water latecomer charges for use of reservoir capacity in the Sun Peaks Reservoir.

AND FURTHER, that prior to adoption of a zoning amendment bylaw:

- a) the applicant provide geotechnical information regarding slope and soil conditions along the edge of the ravine located along the east property line, including recommendations regarding the location of a no disturb covenant, a trail for public access, and safe building setbacks in this area; and
- b) security in the amount of 125% of estimated costs be provided for the construction of a fence to delineate the recommended no disturb area and trail location along the east property line.

CARRIED.

INFORMATION ITEMS:

The Manager, Current Planning reviewed the information for APC related items discussed at the September 24, 2018 Council meeting as follows:

- Public Hearing for Zoning Text Amendment (Secondary Suites/Semi-Detached Housing) – received third reading and will be sent to Ministry of Transportation/Infrastructure
- Public Hearing for Zoning Text Amendment (Parking and Loading) – deferred after more consultation, second PH to be held
- Public Hearing for 8000 Bench Row Road LUC Discharge – received third reading
- Public Hearing for 3607 27th Street – received third reading
- Rezoning and DVP for 2907 26 Street - first and second reading – PH for Nov. 13

- Rezoning for 5757 Okanagan Landing Road – first and second reading – PH for Nov. 13
- Text Amendments for RTR – Resort Residential – first and second reading – PH for Nov. 13
- OCP and Rezoning for 3903 30th Street – first and second reading – PH for Nov. 13
- Storm and road sections of amendments to Subdivision Servicing bylaw adopted.

NEXT MEETING

The next regular meeting of the Advisory Planning Committee is scheduled for **Wednesday, October 10, 2018.**

ADJOURNMENT

The meeting of the Advisory Planning Committee adjourned at 4:38 p.m.

CERTIFIED CORRECT:


Mark Longworth Chair



THE CORPORATION OF THE CITY OF VERNON

**MINUTES OF
TOURISM COMMISSION MEETING
HELD WEDNESDAY, SEPTEMBER 26, 2018
OKANAGAN LAKE ROOM**

PRESENT: VOTING:

Christine Kashuba, Arts & Culture
Kevin O'Brien, Attractions
Jacqueline Birk, Accommodation Provider
David Gibbs, Accommodation Provider
Matt Ball, Biking
Myles Johnson, Golf
Troy Hudson, Ski
Dione Chambers, Greater Vernon Chamber of Commerce
Councillor Dalvir Nahal
Cecilia Guerrero, Accommodation Provide
Susan Lehman, Downtown Vernon Association
Jenelle Brewer, Okanagan Indian Band

ABSENT: Gale Woodhouse, Arts & Culture
Claus Larsen, Accommodation Provider
Mary Jo O'Keefe, Restaurant
Ricardo Smith, Sports & Events

STAFF: Ange Chew, Staff Liaison, Manager, Tourism
Janice Nicol, Legislative Committee Clerk

ORDER The meeting was called to order at 8:07 a.m.

INTRODUCTION OF NEW MEMBER The Committee held roundtable introductions.

ADOPTION OF AGENDA Moved by Matt Ball, seconded by Kevin O'Brien:

THAT the agenda for Wednesday, September 26, 2018 Tourism Advisory Committee meeting be amended to include:

Under New Business, e.1) Wildfire Campaign with Thompson Okanagan Tourism Association

AND FURTHER that the agenda be adopted as amended.

TOURISM ADVISORY COMMITTEE MINUTES – SEPTEMBER 26, 2018

CARRIED.

ADOPTION OF MINUTES Moved by Dione Chambers, seconded by Christine Kashuba;

THAT the minutes of the Tourism Advisory Committee meeting held Wednesday, July 18, 2018 be adopted.

CARRIED.

UNFINISHED BUSINESS

**UPDATE ON
PROMOTIONAL VIDEO
AND PHOTOS OF THE
RAIL TRAIL**

Manager, Tourism is working with procurement to release a Request for Proposal for video and photos of the Rail Trail. Video and photography is already being received in anticipation.

**BUDGET PLANNING FOR
2019**

The Marketing Sub-Committee, consisting of:

- Kevin O'Brien
- Jacqueline Birk
- Mary Jo O'Keefe
- Claus Larsen
- Matt Ball
- Gale Woodhouse
- Troy Hudson

met on August 11, 2019. Sub-Committee will meet again in October. The Manager, Tourism reported that staff will be implementing changes to the Budget and will send out the revised file for Commission support following the October meeting. Amended budget and potential Commission support to be discussed at November meeting.

NEW BUSINESS

**TERMS OF REFERENCE
REVIEW**

The review of the Terms of Reference deferred until October meeting.

MRDT DISCUSSION

The Manager, Tourism noted the following:

- Clarification requested from Province on funding from AirBNB, there is currently a delay in getting numbers - challenging as it does not provide an opportunity to funnel extra funds toward target market in a timely manner;

TOURISM ADVISORY COMMITTEE MINUTES – SEPTEMBER 26, 2018

- A challenge with AirBNB collection of MRDT is that it was not considered when the Five Year Business Strategic Plan was drafted;
- MRDT table has been amended to reflect actual funds and not calculated using net funds;
- Suggestion to show total occupancy with MRDT numbers (have this info included on accommodation survey). Data showing what is affecting numbers (comparisons to previous years) would be advantageous and enable the tracking of trends, would allow funds to eventually be funneled toward attractions. Tourism Vernon working on getting these numbers, continuing challenges with those providers who neglect to submit;
- It was noted that figures provided by Stats Canada don't match those from the Province.

More information will follow as it becomes available.

EMERGENCY PLAN

Manager, Economic Development and Tourism was in Grand Forks assisting the B.C. Economic Development Association in putting together a long term disaster recovery plan for the region. There are a lot of lessons learned from Grand Forks along with High River and Fort McMurray in terms of what has worked and what has not. Meeting to be arranged with Vernon's ESS/EOC Coordinator to use this information to ensure business recovery and tourism promotion are included within our plans.

ACTION ITEM: Presentation for next meeting.

VERNON FALL FESTIVAL CAMPAIGN

Fall Festival is underway with live coverage from CTV and Global. Digital component is live as well, media stories for Fall Festival coming.

SUMMER MARKETING CAMPAIGN FOR 2019

- As per marketing committee direction, the Commission requests a summer marketing campaign be developed.
- It has not been done in the past as summer is typically a sell-out season.
- Must consider the budget and if there is an opportunity to shift some existing programs.

wildfire campaign

The Thompson Okanagan Tourism Association requested participation in the funding for a Wildfire Campaign. \$85,000 was pulled together, but one of the parties pulled out bringing total down to \$65,000 and the Province did not match funding. It now needs to be determined if the campaign be repurposed as a Spring Campaign with the message 'please come during the summer' or something similar.

TOURISM ADVISORY COMMITTEE MINUTES – SEPTEMBER 26, 2018

Destination B.C. will match dollar for dollar contributed to the Campaign. A request was made to have a Fall into Winter Campaign for 30% of funding with 70% dedicated to a Spring/Summer Campaign.

The Commission would like to investigate the budget prior to proceeding.

**QUESTIONS –
ROUNTABLE**

Summer – Is the City planning a connectivity event with Rail Trail? Will lighting be provided on the Trail?

The Manager, Tourism will discuss with the Transportation Department.

Moved by Kevin O'Brien, seconded by David Gibbs;

THAT Tourism Vernon promote and market a Festival, in late May/early June 2019 coinciding with Vernon Bike Fest, for the Grand Opening of the Rail Trail promoting connectivity.

CARRIED.

Moved by Susan Lehman, seconded by Dione Chambers;

THAT the Tourism Commission recommends that Council direct Administration to investigate the possibility of creating a staff or contractor position of an Events Coordinator.

CARRIED.

Moved by Christine Kashuba, seconded by Cecilia Guerrero;

THAT Tourism Vernon staff work with organizations to investigate the creation of an annual signature festival event for the end of August.

CARRIED.

INFORMATION ITEMS:

**ACCOMMODATION
TRACKING**

No report.

**VISITOR INFO CENTRE
STATISTICS**

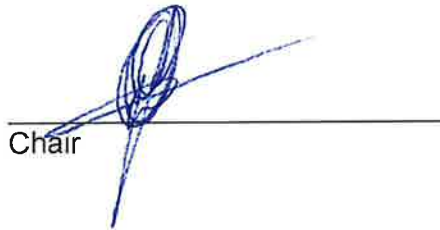
The Committee reviewed the statistics for the Visitor Info Centre.

TOURISM ADVISORY COMMITTEE MINUTES – SEPTEMBER 26, 2018

- MUNICIPAL & REGIONAL DISTRICT TAX (MRDT) UPDATE** The Committee reviewed the statistics attached to the agenda for the Municipal & Regional District Tax. Collection of the 3% began in January.
- TRAVEL TRADE** See below.
- MEDIA** The Manager, Tourism reviewed various media information including events, conferences, hosting opportunities and articles, etc. that have happened and are upcoming.
- DATE AND TIME OF NEXT MEETING** The next meeting of the Tourism Advisory Committee is tentatively scheduled for **Wednesday, October 24, 2018** at 8:00 a.m. in the Okanagan Lake Room.
- ADJOURNMENT** The Tourism Advisory Committee meeting adjourned at 9:10 a.m.

CERTIFIED CORRECT:

Chair



THE CORPORATION OF THE CITY OF VERNON

BYLAW NUMBER 5723

A bylaw to amend the City of Vernon
Zoning Bylaw Number 5000

WHEREAS the Council of The Corporation of the City of Vernon has determined to amend the City of Vernon Zoning Bylaw Number 5000 to allow for a new form of stacked row housing in the RTR – Resort Residential Zone;

AND WHEREAS all persons who might be affected by this amendment bylaw have, before the passage thereof, been afforded an opportunity to be heard on the matters herein before the said Council, in accordance with the provisions of Section 464 of the Local Government Act, and all amendments thereto;

NOW THEREFORE the Council of The Corporation of the City of Vernon, in open meeting assembled, enacts as follows:

1. This bylaw may be cited as the "**Zoning Text (RTR – Resort Residential) Amendment Bylaw Number 5723, 2018**".
2. The City of Vernon Zoning Bylaw Number 5000 be, and is hereby amended, as follows:
 - (i) **AMENDING** Section 9: Residential, 9.9 RTR – Resort Residential, as shown in **red** on attached Schedule 'A', attached to and forming part of this bylaw.

BYLAW 5723

PAGE 2

3. Zoning Bylaw Number 5000 is hereby ratified and confirmed in every other respect.

READ A FIRST TIME this 24th day of September, 2018.

READ A SECOND TIME this 24th day of September, 2018.

PUBLIC HEARING held this 13th day of November, 2018

READ A THIRD TIME this _____ day of _____, 2018.

Approved pursuant to section 52(3)(a) of the *Transportation Act* this _____ day of _____, 20____

for Minister of Transportation & Infrastructure
Bylaw 5723

ADOPTED this _____ day of _____, 2018.

Mayor

Corporate Officer



9.9 RTR : Resort Residential

9.9.1 Purpose

The purpose is to provide a **zone** for the **development** of a variety of housing forms for use within a comprehensively planned resort residential community. The RTRc sub-zoning district allows for **care centre, major** as an additional use. *(Bylaw 5467)*

9.9.2 Primary Uses

- **care centre, major** *(use is only permitted with the RTRc sub-zoning district)*
- **cottages**
- **duplex housing**
- **four-plex housing**
- **row housing**
- **semi-detached housing**
- **single detached housing**
- **stacked row housing**
- **three-plex housing**

9.9.3 Secondary Uses

- **bed and breakfast homes** *(in single detached housing or semi-detached housing or duplex housing only) (Bylaw 5498)*
- **care centres, minor**
- **docks, private**
- **home based businesses, minor**
- **office**
- **parks, public**
- **real estate sales centres**

9.9.4 Subdivision Regulations

Lot Type	Minimum Lot area		Minimum Lot Width	
	interior	corner	interior	corner
Cottage Lot	125m ²	N/A	7.0m	7.0m

Single Detached Housing	300m ²	340m ²	10.0m	11.3m
Duplex Housing	300m ²	340m ²	10.0m	11.3m
Semi-Detached Housing	450m ²	500m ²	15.5m	16.8m
Three-Plex Housing	450m ²	500m ²	19.5m	20.8m
Four-Plex Housing	600m ²	650m ²	26.0m	27.8m
Row Housing Stacked Row Housing	800m ²	850m ²	26.0m	27.8m

- Minimum lot area is 10,000m² if not serviced by **community sewer system**.

9.9.5 Party Wall Subdivision Regulations

Lot Type	Minimum Lot area		Minimum Lot Width	
	interior	corner	interior	corner
Semi-Detached Housing	225m ²	275m ²	7.8m	9.0m
Three-Plex Housing	150m ²	200m ²	6.5m	7.8m
Four-Plex Housing	150m ²	200m ²	6.5m	7.8m
Row Housing	135m ²	185m ²	6.5m	7.8m

- Minimum lot area is 10,000m² if not serviced by **community sewer system**.

9.9.6 Development Regulations

- The **office use** is limited to one **office** for the management and operation of the resort and/or multi-unit residential **developments**.
- Maximum site coverage is **50%**, **except it is 65% for Stacked Row Housing greater than 2.5 storeys**, and together with driveways, parking areas and impermeable surfaces shall not exceed **65% except it shall not exceed 65% for Stacked Row Housing greater than 2.5 storeys**.
- Maximum height is the lesser of 12.0m or 2.5 storeys, **except it is the lesser of 15.0m or 3.5 storeys for Stacked Row Housing, except and** it is 4.5m for secondary buildings and secondary structures.
- Minimum **front yard** is 4.0m, **except it is 6.0m for buildings greater than 2.5 storeys, for buildings 2.5 storeys or less it is 6.0m** from a garage or carport to the back of curb or sidewalk for vehicular entry, or it is 0.6m to the side of the garage and 2.6m to the front building façade for side-entry garage and driveway layouts.
- Minimum **side yard** is 1.2m, **except it is 6.0m for buildings greater than 2.5 storeys**, or 0.0m for shared interior **party walls**, except it is 2.6m from a **flanking street for buildings 2.5 storeys or less and 6.0m for buildings greater than 2.5 storeys** and 6.0m from the back of curb or sidewalk to the garage where driveway access is from the **flanking street**.

- Minimum **rear yard** is 6.0m, except it is **9.0m for buildings greater than 2.5 storeys**, and it is 1.0m for **secondary buildings**. Where the **lot width** exceeds the **lot depth**, the minimum **rear yard** is 4.5m **for buildings 2.5 storeys or less**.
- Maximum six dwelling units located in a **building**, with each unit having a minimum width of **6.5m**, **except it is twelve dwelling units for buildings greater than 2.5 storeys, with each unit having a minimum width of 6.5m**.
- Maximum **density** is 30.0 units per gross hectare (12 units/gross acre).
- **Where parking spaces are provided completely beneath habitable space of a primary building or beneath useable common amenity areas, providing that in all cases the parking spaces are screened from view, the maximum density shall be 37.0 units per gross hectare (15 units/gross acre). Where all the required parking is not accommodated completely beneath the habitable space of a primary building or useable common amenity areas, the additional density permitted shall be determined through multiplying the additional 7.0 units per gross hectare (3 units/gross acre) by the percentage of parking proposed to be provided beneath habitable space of a primary building or useable common amenity areas.**
- **The maximum height of any vertical wall element is 2.5 storeys facing front, flanking or rear yard (including walkout basements) and must be set back at least 1.2m in addition to the required setbacks.**

9.9.7 Other Regulations

- In order for bareland strata **development** to be consistent with the character of the surrounding neighborhood, the strata plan shall be considered as one **site** for defining the overall use, **density** and **site coverage**.
- The above noted **subdivision** and **development** regulations shall be applied to each strata **lot** within the strata plan.
- A minimum area of 5.0m² of private open space shall be provided per **bachelor dwelling** or group home **bedroom**, 10.0m² of private open space shall be provided per 1 **bedroom dwelling**, and 15.0m² of private open space shall be provided per **dwelling** with more than 1 **bedroom**.
- No continuous **building frontage** shall exceed 40.0m for a **2.5-storey 3.5 storey building**. If the frontage is interrupted by an open courtyard equivalent in depth and width to the **building height**, the maximum continuous **2.5-storey 3.5 storey building frontage** may be 80.0m provided that no **building** section exceeds 12.0m.
- Where **development** has access to a rear **lane**, vehicular access to the **development** is only permitted from the rear **lane**.
- In addition to the regulations listed above, other regulations may apply. These include the general **development** regulations of Section 4 (secondary **development**, **yards**, projections into **yards**, lighting, agricultural setbacks, etc.); the specific use regulations of Section 5; the **landscaping** and fencing provisions of Section 6, **except that buildings greater than 2.5 storeys require a Level 1 Landscape Buffer for the Front Yard, Rear Yard and Side Yard, as according to Section 6**; and, the parking and loading regulations of Section 7.
- As per Section 4.10.2 - All **buildings** and **structures, excluding perimeter fencing (garden walls and fences)** on **lots abutting** City Roads as identified on Schedule "B" shall not be sited closer to the City Road than the setback as per the appropriate zone measured from the offset Rights of Way as illustrated on Schedule "B".
(Bylaw 5440)

THE CORPORATION OF THE CITY OF VERNON

BYLAW NUMBER 5722

A bylaw to amend the City of Vernon
Zoning Bylaw Number 5000

WHEREAS the Council of The Corporation of the City of Vernon has determined to amend the City of Vernon Zoning Bylaw Number 5000;

AND WHEREAS all persons who might be affected by this amendment bylaw have, before the passage thereof, been afforded an opportunity to be heard on the matters herein before the said Council, in accordance with the provisions of Section 464 of the *Local Government Act*, and all amendments thereto;

NOW THEREFORE the Council of The Corporation of the City of Vernon, in open meeting assembled, enacts as follows:

1. This bylaw may be cited as the **"5757 Okanagan Landing Road Rezoning Amendment Bylaw Number 5722, 2018"**.

2. Pursuant to the Official Zoning Map, Schedule "A" attached to and forming part of Bylaw Number 5000, is hereby amended as follows:

That the following legally described lands be rezoned from **"A3 – Rural Small Holdings"** to **"R1 – Rural Small Holdings"** and **"R5 – Four-plex Housing Residential"**.

Legal Description:

**LOT A PL 22582 DL 66 ODYD
(5757 Okanagan Landing Road)**

and by changing the Zoning Map accordingly, all in accordance with the bolded area as shown on Schedule "A" attached to and forming part of this bylaw.

BYLAW NUMBER 5722

3. Zoning Bylaw Number 5000 is hereby ratified and confirmed in every other respect.

READ A FIRST TIME this 24th day of September, 2018

READ A SECOND TIME this 24th day of September, 2018

PUBLIC HEARING held this 13th day of November, 2018

READ A THIRD TIME this day of , 2018

ADOPTED this day of , 2018.

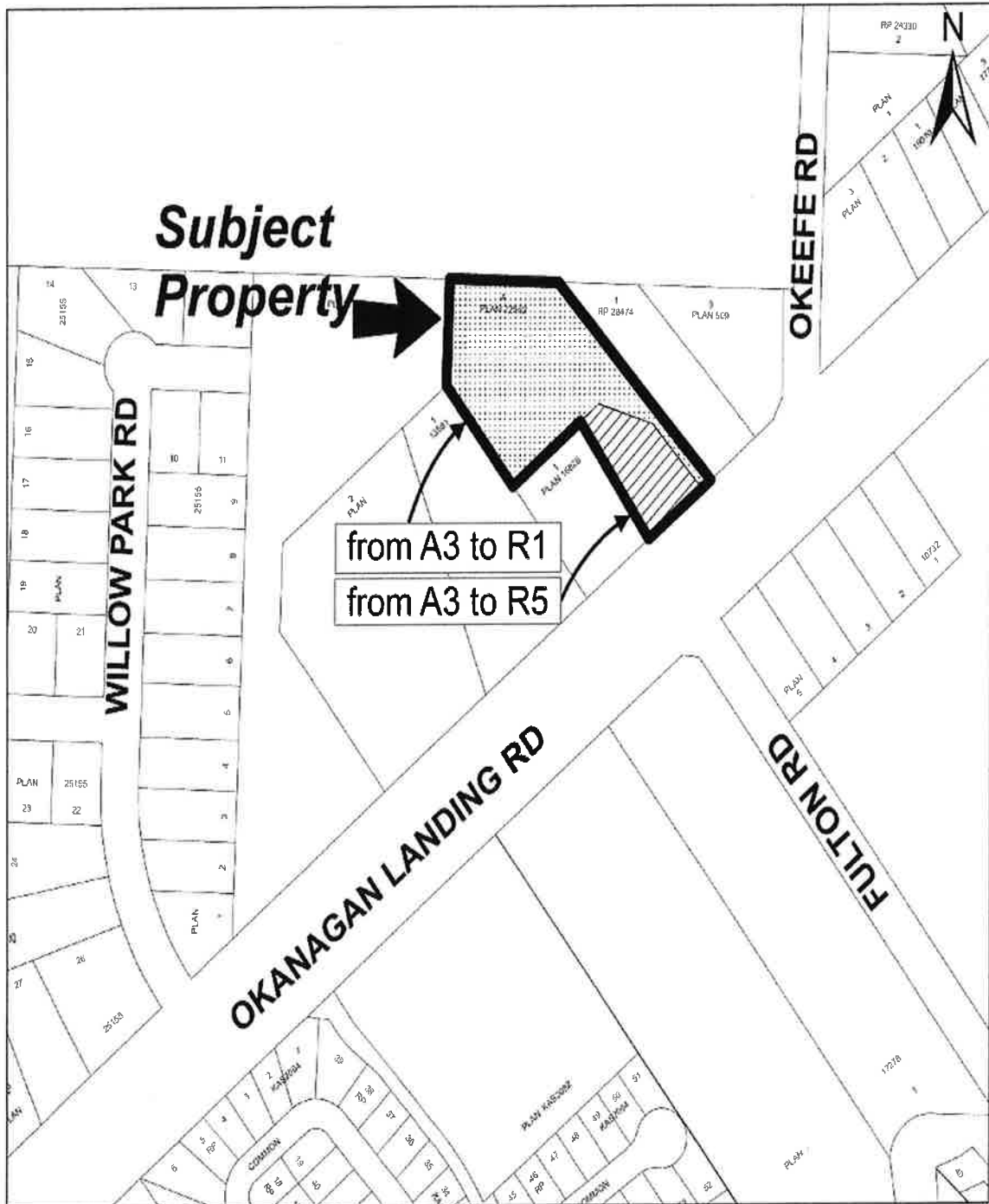
Mayor:

Corporate Officer:

SCHEDULE 'A'

Attached to and Forming Part of Bylaw 5722

"5757 Okanagan Landing Road Rezoning Amendment Bylaw Number 5722, 2018"



THE CORPORATION OF THE CITY OF VERNON

BYLAW NUMBER 5721

A bylaw to amend the City of Vernon
Zoning Bylaw Number 5000

WHEREAS the Council of The Corporation of the City of Vernon has determined to amend the City of Vernon Zoning Bylaw Number 5000;

AND WHEREAS all persons who might be affected by this amendment bylaw have, before the passage thereof, been afforded an opportunity to be heard on the matters herein before the said Council, in accordance with the provisions of Section 464 of the *Local Government Act*, and all amendments thereto;

NOW THEREFORE the Council of The Corporation of the City of Vernon, in open meeting assembled, enacts as follows:

1. This bylaw may be cited as the **"2907 26th Street Rezoning Amendment Bylaw Number 5721, 2018"**.

2. Pursuant to the Official Zoning Map, Schedule "A" attached to and forming part of Bylaw Number 5000, is hereby amended as follows:

That the following legally described lands be rezoned from **"R3 – Medium Lot Residential"** to **"R3h – Medium Lot Residential"**.

Legal Description:

**LOT 11, BLOCK 19, PLAN 327, SEC 34, TWP 9, ODYD
(2907 26th Street)**

and by changing the Zoning Map accordingly, all in accordance with the bolded area as shown on Schedule "A" attached to and forming part of this bylaw.

BYLAW NUMBER 5721

3. Zoning Bylaw Number 5000 is hereby ratified and confirmed in every other respect.

READ A FIRST TIME this 24th day of September, 2018

READ A SECOND TIME this 24th day of September, 2018

PUBLIC HEARING held this 13th day of November, 2018

READ A THIRD TIME this day of , 2018

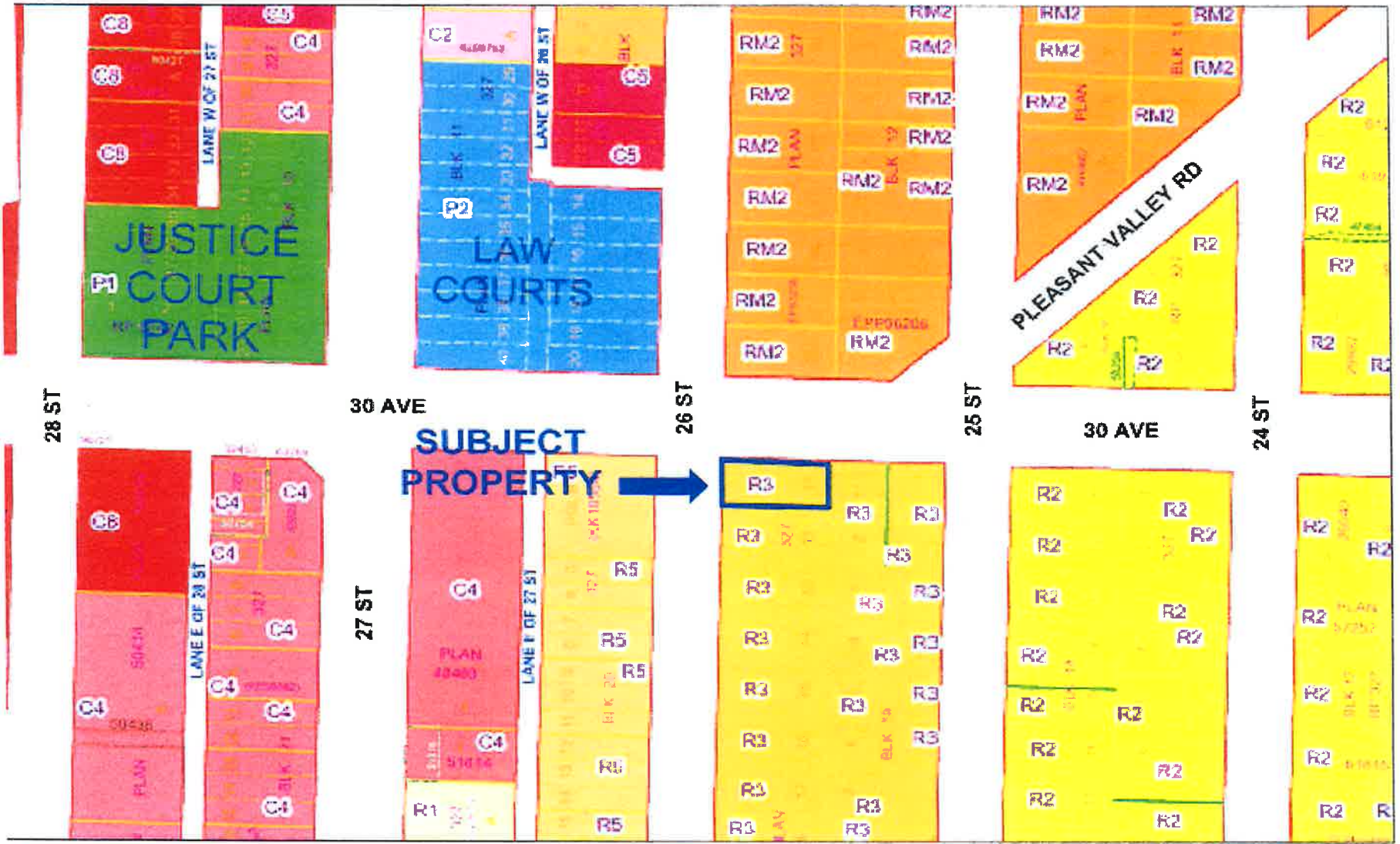
Approved pursuant to section 52(3)(a) of the <i>Transportation Act</i> this _____ day of _____, 20____ _____ for Minister of Transportation & Infrastructure ZON00303/2018-03357/Bylaw 5721
--

ADOPTED this day of , 2018.

Mayor:

Corporate Officer:

SCHEDULE 'A'
Attached to and Forming Part of Bylaw 5721
"2907 26th Street Rezoning Amendment Bylaw Number 5721, 2018"



THE CORPORATION OF THE CITY OF VERNON

BYLAW NUMBER 5596

A bylaw to amend the City of Vernon's Official
Community Plan Bylaw Number 5470

WHEREAS the Council of The Corporation of the City of Vernon has determined to amend the "Official Community Plan Bylaw Number 5470, 2013";

AND WHEREAS all persons who might be affected by this amending bylaw have, before the passage thereof, been afforded an opportunity to be heard on the matters herein before the said Council, in accordance with the provisions of Section 464 of the *Local Government Act*, and all amendments thereto;

NOW THEREFORE the Council of The Corporation of the City of Vernon, in open meeting assembled, enacts as follows:

1. This bylaw may be cited as **"3903 - 30th Street Official Community Plan Amendment Bylaw Number 5596, 2018"**.

2. That Schedule "A" of Official Community Plan Bylaw Number 5470 is hereby amended as follows:

That the following legally described lands be redesignated from **"Mixed Use – Medium Density Commercial and Residential"** to **"Residential - Medium Density"**.

Legal Description:

**LOT A, PLAN KAP50281, SEC 3, TWP 8, ODYD
(3903 30th Street)**

as shown on Schedule "A" attached hereto and forming part of this bylaw.

BYLAW NUMBER 5596

3. Official Community Plan Bylaw Number 5470 is hereby ratified and confirmed in every other respect.

READ A FIRST TIME this 24th day of September, 2018.

READ A SECOND TIME this 24th day of September, 2018.

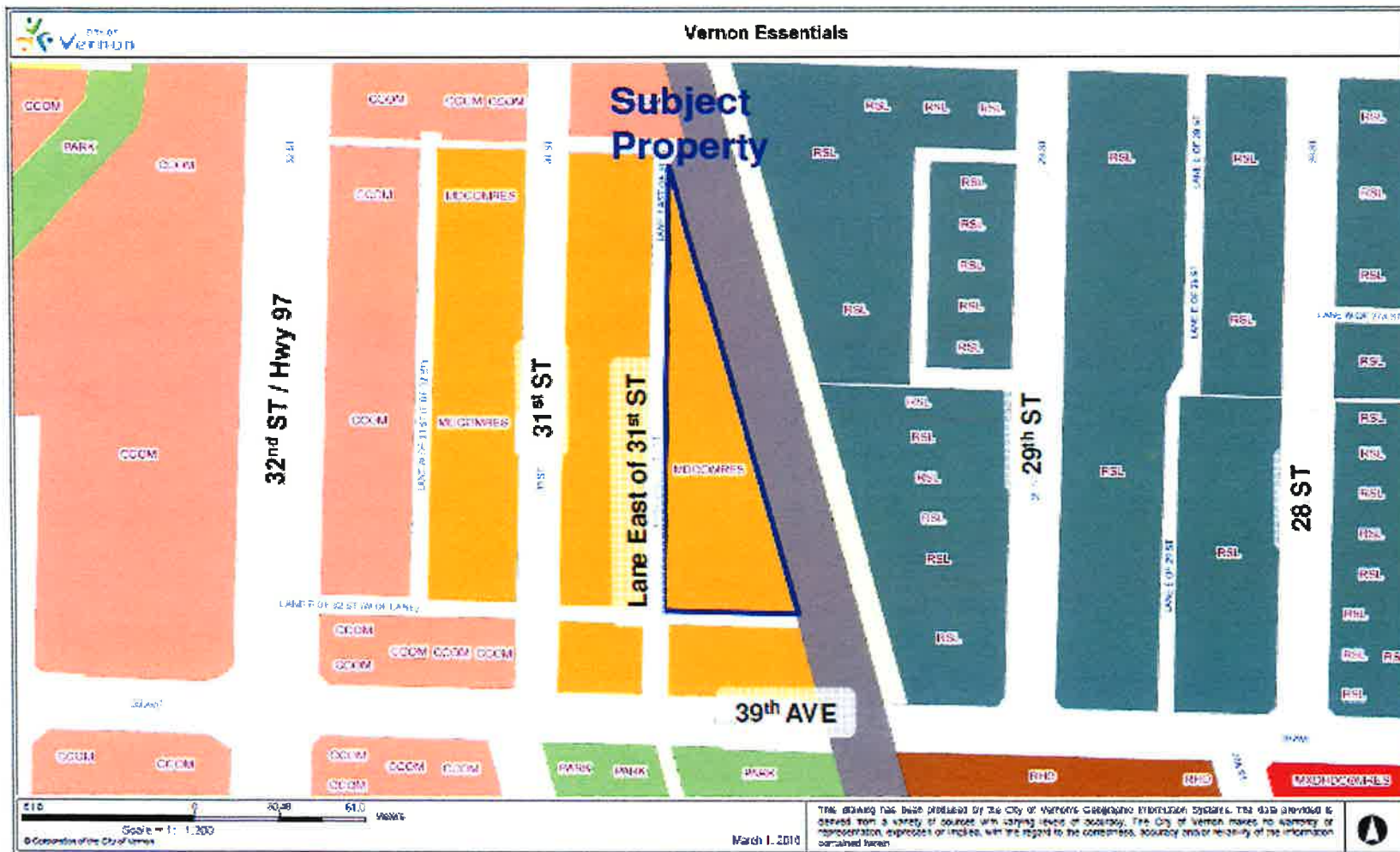
PUBLIC HEARING held 13th day of November, 2018.

READ A THIRD TIME this day of , 2018.

ADOPTED this day of , 2018.

Mayor

Corporate Officer



OCP Designation

THE CORPORATION OF THE CITY OF VERNON

BYLAW NUMBER 5597

A bylaw to amend the City of Vernon
Zoning Bylaw Number 5000

WHEREAS the Council of The Corporation of the City of Vernon has determined to amend the City of Vernon Zoning Bylaw Number 5000;

AND WHEREAS all persons who might be affected by this amendment bylaw have, before the passage thereof, been afforded an opportunity to be heard on the matters herein before the said Council, in accordance with the provisions of Section 464 of the *Local Government Act*, and all amendments thereto;

NOW THEREFORE the Council of The Corporation of the City of Vernon, in open meeting assembled, enacts as follows:

1. This bylaw may be cited as the **"3903 – 30th Street Rezoning Amendment Bylaw Number 5597, 2018"**.
2. Pursuant to the Official Zoning Map, Schedule "A" attached to and forming part of Bylaw Number 5000, is hereby amended as follows:

That the following legally described lands be rezoned from **"R2 – Large Lot Residential"** to **"RM1 – Row Housing Residential"**.

Legal Description:

**LOT A, PLAN KAP50281, SEC 3, TWP 8, ODYD
(3903 30th STREET)**

BYLAW NUMBER 5597

and by changing the Zoning Map accordingly, all in accordance with the area as outlined on Schedule "A" attached to and forming part of this bylaw.

3. Zoning Bylaw Number 5000 is hereby ratified and confirmed in every other respect.

READ A FIRST TIME this 24th day of September, 2018

READ A SECOND TIME this 24th day of September, 2018.

PUBLIC HEARING held this 13th day of November, 2018.

READ A THIRD TIME this _____ day of _____, 2018.

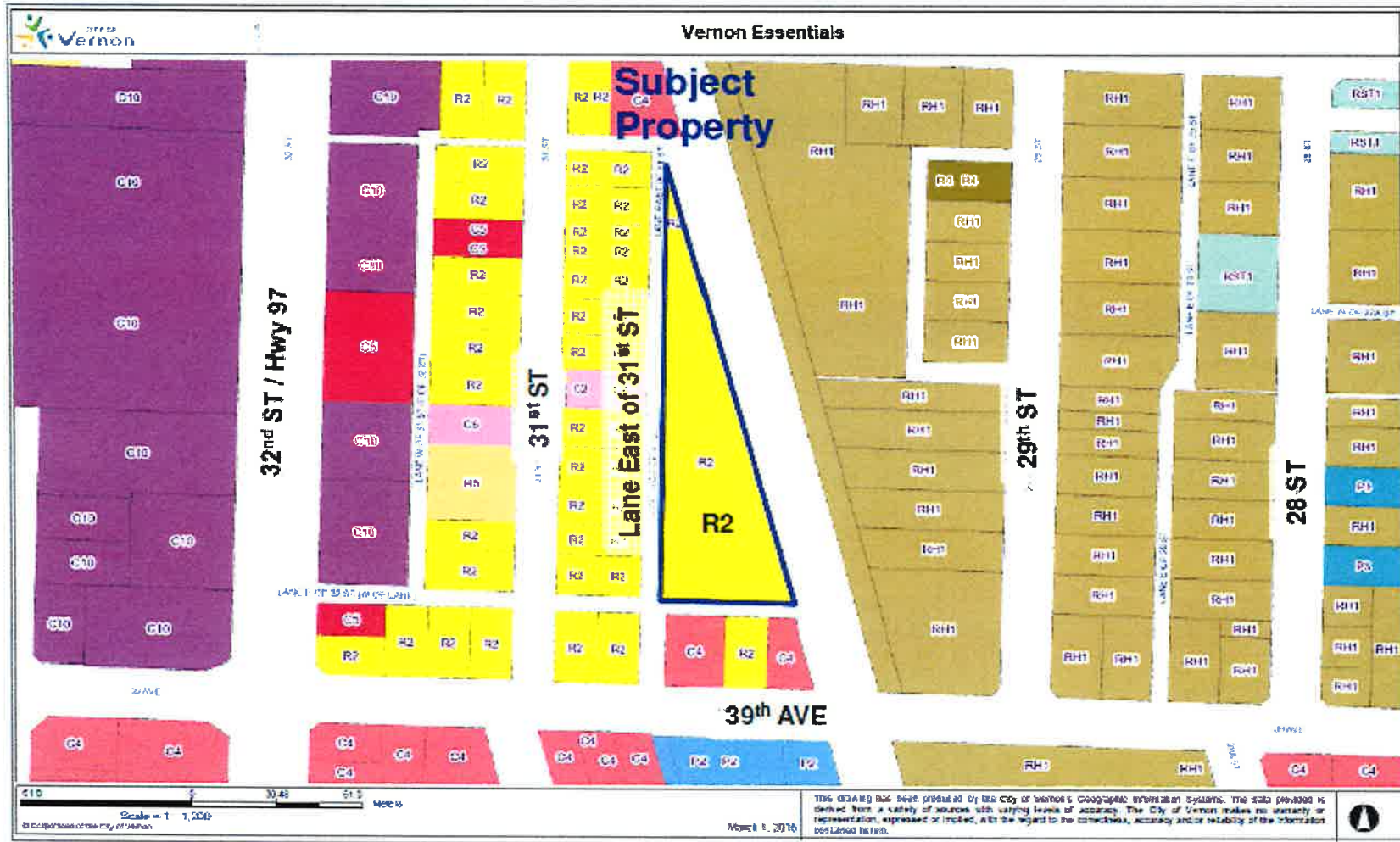
<p>Approved pursuant to section 52(3)(a) of the <i>Transportation Act</i> this _____ day of _____, 20____</p> <p>_____</p> <p>for Minister of Transportation & Infrastructure</p> <p>BYLAW 5597 – ZON00266/2016-01074</p>

ADOPTED this _____ day of _____, 2018.

Mayor:

Corporate Officer:

SCHEDULE 'A'
Attached to and Forming Part of Bylaw 5597
"3903 – 30th Street Rezoning Amendment Bylaw Number 5597, 2018"



Zoning Bylaw #5000 Map