



CORPORATION OF THE CITY OF VERNON

ADVISORY PLANNING COMMITTEE

TUESDAY, JULY 10, 2018

4:00 pm – OKANAGAN LAKE ROOM

A G E N D A

1. **ADOPTION OF AGENDA**

2. **ADOPTION OF MINUTES**

June 26, 2018 (attached)

3. **NEW BUSINESS**

- a) **DVP00432** – Development Variance Permit application for 216 Silversage Ridge Lane
- b) **OCP00077/ZON00294** – Official Community Plan and Rezoning applications for 901 39 Avenue (Highlands of East Hill)

4. **INFORMATION ITEMS**

- a) An update of APC related items discussed at the July 9, 2018 Council meeting will be provided.

5. **NEXT MEETING**

The next meeting is tentatively scheduled for Tuesday, July 24, 2018.

6. **ADJOURNMENT**



THE CORPORATION OF THE CITY OF VERNON

MINUTES OF ADVISORY PLANNING COMMITTEE MEETING

HELD

TUESDAY, JUNE 26, 2018

PRESENT: VOTING

Mark Longworth, Chair
Doug Neden, Vice-Chair
Jamie Paterson
Joanne Georgeson
Phyllis Kereliuk
Ian Murphy
Don Schuster

NON VOTING

Councillor Cunningham

ABSENT: Monique Hubbs-Michiel
Vicki Topping
Corbin Kelley, Youth Member

STAFF: Craig Broderick, Manager, Current Planning
Cleo Corbett, Acting Manager, Long Range Planning & Sustainability
Ed Stranks, Manager, Engineering Development
Ellen Morrison, Transportation Planner
Janice Nicol, Legislative Committee Clerk

ORDER

The Chair called the meeting to order at 4:00 p.m.

Councillor Cunningham noted with great sadness the passing of Councillor Bob Spiers – his dedication and attention to detail on behalf of the Advisory Planning Committee will be greatly missed.

ADOPTION OF AGENDA

Moved by Joanne Georgeson, seconded Jamie Paterson;

THAT the agenda of the Advisory Planning Committee meeting for Tuesday, June 26, 2018 be adopted.

CARRIED.

ADOPTION OF MINUTES

Moved by Doug Neden, seconded by Phyllis Kereliuk;

THAT the minutes for the Advisory Planning Committee meeting of Tuesday, June 12, 2018 be adopted.

CARRIED.

NEW BUSINESS:

**OFFICIAL COMMUNITY
PLAN AND REZONING
APPLICATIONS – CITY
OWNED PARKS AND
FUTURE PARKS
(VARIOUS
PROPERTIES)**

The Advisory Planning Committee reviewed official community plan and rezoning applications for various City owned parks and future parks (OCP00077/ZON00304). Properties includes 11 lots on Lakeshore Road, 9657 Eastside Road (Camp Hurlburt), three lots on 39th Street (West Vernon Future Park, 9192 Tronson Road and four properties on 35th Avenue (Recreation Centre). The Acting Manager, Long Range Planning and Sustainability provided an overview of the application. The Committee made the following points:

Lakeshore

- There are homes in between the designated park areas, these are intended to be incorporated into the park eventually.
- In the Waterfront Plan, a trail from Kin Beach to Paddlewheel Park is designated and land will be acquired over time.

Camp Hurlburt

- Improvements are underway this year.
- This will double the amount of publicly accessible lakefront.

West Vernon

- Area is park deficient.

Deer Park

- This is the only active park in area.

The Committee made the additional following points:

- Question regarding the decision to have no further public consultation. Staff noted the previous consultation done is recommended as adequate but there will be an additional public hearing process.
- It was felt that the park bordering Maven Lane daycare would make a better park area as there is redevelopment potential with the City's proposed park area.

Moved by Doug Neden, seconded by Jamie Paterson;

THAT the Advisory Planning Committee recommends that Council support the Official Community Plan land use designation amendments and Zoning Bylaw amendments prepared for public properties that are currently used as City parks, or are intended to be parks, as outlined in the report titled

“Official Community Plan and Zoning Amendments for City Parks”, dated June 21, 2018 from the Long Range Planner;

AND FURTHER, that the Advisory Planning Committee recommends that Council considers public participation conducted by the City in relation to the Parks Master Plan as meeting the requirements of Section 475 of the Local Government Act – Consultation during OCP Development and the City’s OCP Amendment Applications Policy, and requires no further consultation beyond the required Public Hearing.

CARRIED, with Don Schuster opposed.

**DEVELOPMENT
VARIANCE
APPLICATION FOR
9361 EASTSIDE ROAD**

The Advisory Planning Committee reviewed development variance permit application DVP00415 for 9361 Eastside Road. The Manager, Current Planning provided a model and an overview of the application. The Committee made the following points:

- Concern regarding the lack of lakeshore access
- Concerns about geotechnical information above Eastside Road. Staff noted a geotechnical assessment was submitted beforehand. Further information will be required from the developer at building permit stage for drainage.
- Geotechnical reports need to consider climate change and storm frequency.
- Is there a ‘save harmless’ in favour of the City covenant for potential damage? The development will be signed off by Certified Professionals.
- Possibility of requiring a design covenant for this building.

Moved by Don Schuster, seconded by Doug Neden;

THAT the Advisory Planning Committee recommends that Council support Development Variance Permit Application #DVP00415 to vary the following sections of Zoning Bylaw #5000 in order to construct a single detached house on Lot 3, Plan EPP64932, Sec 10, Twp 13, ODYD (9361 Eastside Road):

- a) to vary Section 4.16.1. to allow the construction of a building, structure or swimming pool on slopes of 30% or greater;
- b) to vary Section 9.7.6. to increase the maximum height from the lesser of 2.5 storeys or 10.0 m, to 3.0 storeys or 21.5 m; and

- c) to vary Section 9.7.6. to increase the maximum height of any vertical wall element facing a front, flanking or rear yard from the lesser of 6.5 m or 2.5 storeys, above which the building must be set back at least 1.2 m, to 3.0 storeys or 21.5 m.

AND FURTHER, that Council support of DVP00415 is subject to the following:

- a) That the site and elevation plans, intended to illustrate the general form, character and massing of the proposed residence, and noted as Attachments 1 and 2 in the report titled "Development Variance Permit Application for 9361 Eastside Road" and dated June 18, 2018 by the Manager, Current Planning be attached to and form part of DVP00415 as Schedule 'A'.

AND FURTHER, that Council considers the design of the proposed single detached house to be sensitive to the hillside nature of the subject property being Lot 3, Plan EPP64932, Sec 10, Twp 13, ODYD (9361 Eastside Road), and to meet the requirements of Section 219 Covenant CA5697707;

AND FURTHER, that the conditions of DVP00297, approved by Council at its Regular Meeting of June 23, 2014, which allowed for the subdivision of the parent Parcel A (DD226047F) of the fractional South West ¼ of the Northeast ¼ Sec 10, Twp 13, ODYD (SUB00581) into three lots, be reaffirmed by Council.

CARRIED.

Don Schuster left the meeting at 4:42 pm

INFORMATION ITEMS:

The Committee reviewed the information for APC related items discussed at the June 25 Council meeting as follows:

- DVP#00428 – 5545 27th Avenue – issued once all conditions are satisfied
- ZON#00301 – 6473 Okanagan Landing Road – first and second readings, Public Hearing scheduled for July 23, 2018
- ZON#00293 – 7818 Okanagan Landing Bench Road – third reading
- DVP#00421/LUC#00013 – 9238 Chinook Road Land Use Contract Number Discharge – third reading.

NEXT MEETING

The next regular meeting of the Advisory Planning Committee is scheduled for Tuesday, July 10, 2018.

ADJOURNMENT

The meeting of the Advisory Planning Committee adjourned at 4:45 p.m.

CERTIFIED CORRECT:

_____ Chair



THE CORPORATION OF THE CITY OF VERNON REPORT TO COUNCIL

SUBMITTED BY: Keltie Chamberlain,
Planning Assistant

COUNCIL MEETING: REG COW I/C
COUNCIL MEETING DATE: August 13, 2018
REPORT DATE: June 26, 2018
FILE: DVP00432

SUBJECT: DEVELOPMENT VARIANCE PERMIT APPLICATION FOR 216 SILVERSAGE RIDGE LANE

PURPOSE:

To review the Development Variance Permit application to vary sections of Zoning Bylaw #5000 in order to permit a two-tiered, stacked rock retaining wall over 1.2m in height on the property located at 216 Silversage Ridge Lane.

RECOMMENDATION:

THAT Council support the Development Variance Permit Application #DVP00432 to vary the following sections of Zoning Bylaw #5000 in order to permit a two-tiered, stacked rock walls over 1.2m in height on the property located on Lot 21, Plan KAS3178, Sec 31, Twp9, ODYD (216 Silversage Ridge Lane):

- a) To vary Section 6.5.11, from a maximum retaining wall height of 1.2m to permit two stacked rock walls of 2.4m and 1.8m in height.

AND FURTHER, that Council's support of DVP00432 is subject to the following:

- a) That the survey plan and elevation plan intended to illustrate the height of the stacked rock retaining wall and noted as Attachment 1 and 2 in the report titled "Development Variance Permit Application for 216 Silversage Ridge Lane" and dated June 26, 2018 by the Planning Assistant be attached to and form part of DVP00432 as Schedule 'A'.

ALTERNATIVES & IMPLICATIONS:

1. THAT Council support the Development Variance Permit Application #DVP00432 to vary the following sections of Zoning Bylaw #5000 in order to permit a two-tiered, stacked rock retaining wall over 1.2m in height on the property located on Lot 21, Plan KAS3178, Sec 31, Twp9, ODYD (216 Silversage Ridge Lane):

- a) To vary Section 6.5.11, from a maximum retaining wall height of 1.2m to permit two stacked rock walls of 2.4m and 1.8m in height.

AND FURTHER, that Council's support of DVP00432 is subject to the following:

- a) That the survey plan and elevation plan intended to illustrate the height of the stacked rock retaining wall and noted as Attachment 1 and 2 in the report titled "Development Variance Permit Application for 216 Silversage Ridge Lane" and dated June 26, 2018 by the Planning Assistant be attached to and form part of DVP00432 as Schedule 'A'.

AND FURTHER, that *(to be cited by Council)*.

Note: This alternative supports the development variance application as requested by the applicant, subject to any other conditions cited by Council.

2. THAT Council not support the Development Variance Permit Application #DVP00432 to vary the following sections of Zoning Bylaw #5000 in order to permit a two-tiered, stacked rock retaining wall over 1.2m in height on the property located on Lot 21, Plan KAS3178, Sec 31, Twp9, ODYD (216 Silversage Ridge Lane):
 - a) To vary Section 6.5.11, from a maximum retaining wall height of 1.2m to permit two stacked rock walls of 2.4m and 1.8m in height.

Note: This alternative does not support the requested variance and therefore the rock retaining wall could not be constructed as proposed.

ANALYSIS:

A. Committee Recommendations:

At its meeting of July 10, 2018, the Advisory Planning Committee passed the following resolution:

“ “

B. Rationale:

1. The subject property is located at 216 Silversage Ridge Lane, as shown on Figures 1 and 2. The land is designated as RLD – Residential Low Density within the Official Community Plan (OCP) and is in the RTR – Resort Residential zoning district of Zoning Bylaw #5000. The lot is currently developed with a Single Family Dwelling.
2. The two-tiered, stacked rock wall accommodates the existing pool on the subject property as shown in Attachment 1. The zoning bylaw provisions that would need to be varied include:
 - a. Section 6.5.11 – Retaining walls
3. The applicant is requesting to vary the maximum height of a two-tiered, stacked wall in Zoning Bylaw #5000 from 1.2m to 2.4m for the lower stacked wall, and 1.8m for the upper stacked wall. The stacked rock wall is constructed of individual blast rock measuring 1.0m to 1.5m diameter. As illustrated in Attachment 2 the walls are spaced to provide 2.1m horizontal separation between them.
4. As illustrated in Attachment 1 and 2, the stacked rock wall is on the south side of the property in the rear yard, and there is 4.4m change in elevation from the toe of the lower wall to the top of the upper wall with a horizontal separation of 2.1m.
5. Administration supports the subject development variance permit application for the following reasons:

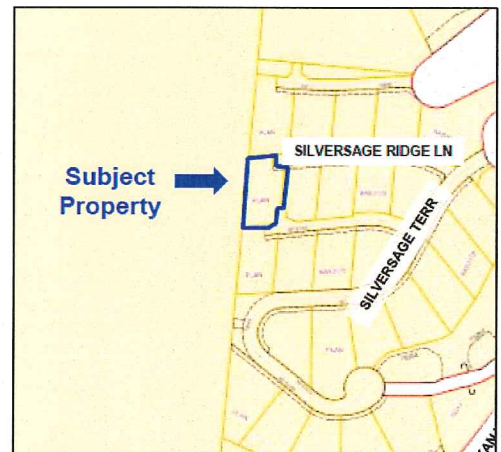


Figure 1 – Property Location Map



Figure 2 – Aerial View of Property

- a) The stacked rock wall is stepped with two tiers, and has been constructed to reduce the massing of the structure.
- b) The retaining wall is a required structure on the site to provide stabilization for the existing pool in the rear yard of the subject property.

C. Attachments:

Attachment 1 – Survey Plan
Attachment 2 – Elevation sketch

D. Council's Strategic Plan 2015 – 2018 Goals/Deliverables:

The subject application involves the following objectives in Council's Strategic Plan 2015 – 2018:

- Deliver efficient, effective and proactive municipal services.

E. Relevant Policy/Bylaws/Resolutions:

1. The subject property is designated Residential Low Density in the Official Community Plan (OCP)
2. The property is zoned RTR - Resort Residential in accordance with Zoning Bylaw #5000.
3. As per Section 6.5.11 in Zoning Bylaw #5000, the maximum height of a retaining wall is 1.2m.
4. The Local Government Act provides Council with the authority to vary local bylaws based on site specific considerations. The granting of such variances does not set precedence within the community for future variances to be based upon, as each variance application must be evaluated on its own merit and potential implications to the whole community and the specific neighbourhood.

BUDGET/RESOURCE IMPLICATIONS:

N/A

Prepared by:

Approved for submission to Council:

Right-click to sign
with **DocuSign**.

Keltie Chamberlain
Planning Assistant

Will Pearce, CAO

Date: _____

Right-click to sign
with **DocuSign**.

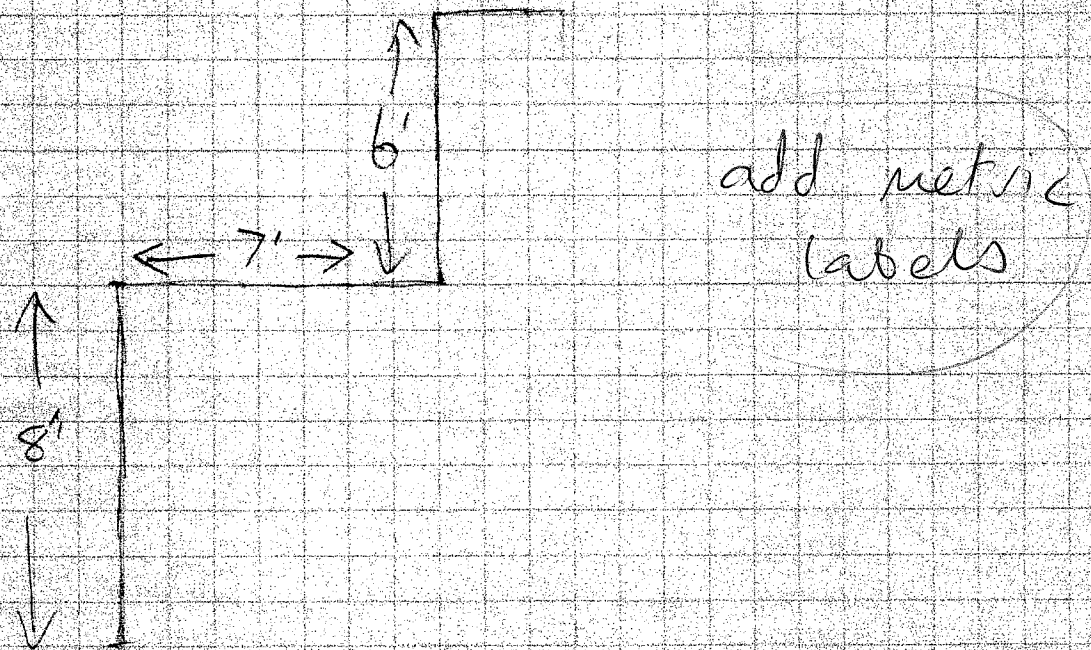
Amanda Watson
Acting Director, Community Infrastructure and Development

REVIEWED WITH

- | | | |
|--|---|---|
| <input type="checkbox"/> Corporate Services | <input type="checkbox"/> Operations | <input checked="" type="checkbox"/> Current Planning |
| <input type="checkbox"/> Bylaw Compliance | <input type="checkbox"/> Public Works/Airport | <input type="checkbox"/> Long Range Planning & Sustainability |
| <input type="checkbox"/> Real Estate | <input type="checkbox"/> Facilities | <input checked="" type="checkbox"/> Building & Licensing |
| <input type="checkbox"/> RCMP | <input type="checkbox"/> Utilities | <input type="checkbox"/> Engineering Development Services |
| <input type="checkbox"/> Fire & Rescue Services | <input type="checkbox"/> Recreation Services | <input type="checkbox"/> Infrastructure Management |
| <input type="checkbox"/> Human Resources | <input type="checkbox"/> Parks | <input type="checkbox"/> Transportation |
| <input type="checkbox"/> Financial Services | | <input type="checkbox"/> Economic Development & Tourism |
| <input checked="" type="checkbox"/> COMMITTEE: APC (Jul.10/18) | | |
| <input type="checkbox"/> OTHER: | | |

Two Tier Retaining Wall 216 Silversage Ridge Lane

Cross-Section at center
(highest point)



- Constructed of Blast rock 3-5 foot size
- back filled with 6" minus fractured rock
- compacted on 1' lifts with 2000lb plate tamper



THE CORPORATION OF THE CITY OF VERNON REPORT TO COUNCIL

SUBMITTED BY: Cleo Corbett
Long Range Planner

COUNCIL MEETING: REG COW I/C
COUNCIL MEETING DATE: July 23, 2018
REPORT DATE: July 6, 2018
FILE: OCP00074, ZON00294

**SUBJECT: HIGHLANDS OF EAST HILL COMPREHENSIVE DEVELOPMENT REVIEW
PROCESS**

PURPOSE:

To review the proposed Highlands of East Hill development applications and to request direction in preparing the associated Official Community Plan (OCP) Amendment Bylaw (including land use designation and text amendments), Zoning Bylaw amendment and a Phased Development Agreement Bylaw to facilitate a residential small lot neighbourhood and small mixed use commercial node.

RECOMMENDATION:

THAT Council support the preparation of an Official Community Plan Amendment Bylaw, a Zoning Amendment Bylaw and a Phased Development Agreement Bylaw for a portion of the land legally described as LOT A SECTION 2 TOWNSHIP 8 OSOYOOS DIVISION YALE DISTRICT PLAN 23439 EXCEPT PLANS KAP46541 AND KAP47921 (901 39th Avenue) as outlined in the report titled "Highlands of East Hill Comprehensive Development Review Process", and dated July 6, 2018 from the Long Range Planner;

AND FURTHER, that Council specify a land grant in the amount of \$_____ (to be cited by Council) to support the proposed Attainable Housing program to be drafted in the Phased Development Agreement.

ALTERNATIVES & IMPLICATIONS:

1. THAT Council support the preparation of an Official Community Plan Amendment Bylaw, a Zoning Amendment Bylaw and a Phased Development Agreement Bylaw for a portion of the land legally described as LOT A SECTION 2 TOWNSHIP 8 OSOYOOS DIVISION YALE DISTRICT PLAN 23439 EXCEPT PLANS KAP46541 AND KAP47921 (901 39th Avenue) as outlined in the report titled "Highlands of East Hill Comprehensive Development Review Process", and dated July 6, 2018 from the Long Range Planner with the following changes: (to be cited by Council);

AND FURTHER, that Council specify a land grant in the amount of \$_____ (to be cited by Council) to support the proposed Attainable Housing program in the Phased Development Agreement.

Note: This option is dependant on changes made by Council.

2. THAT Council support the preparation of an Official Community Plan Amendment Bylaw, a Zoning Amendment Bylaw and a Phased Development Agreement Bylaw for a portion of the land legally described as LOT A SECTION 2 TOWNSHIP 8 OSOYOOS DIVISION YALE DISTRICT PLAN 23439 EXCEPT PLANS KAP46541 AND KAP47921 (901 39th Avenue) as outlined in the report titled "Highlands of East Hill Comprehensive Development Review Process", and dated July 6, 2018 from the Long Range Planner.

Note: This option does not include any commitment to Attainable Housing on behalf of the City.

ANALYSIS:

A. Committee Recommendations:

At its meeting of July 10, 2018, the Advisory Planning Committee adopted the following resolution:

Forthcoming

At its meeting of June 28, 2018, the Affordable Housing Advisory Committee adopted the following resolution:

“THAT the Affordable Housing Advisory Committee recommends that Council support the proposed attainable housing program at the Highlands of East Hill by providing the following funding:

- \$70,000 land grant per unit
- \$17,405 Small Lot Development Cost Charge waiver for affordable housing

Subject to the following criteria to be outlined in a Housing Agreement:

- A minimum of seven and a maximum of ten ~112 square metre (~1200 square feet) floor area (not including garage) Attainable Housing Units comprised of 3 bedrooms, one bath, one covered parking garage Single Detached Small Lot Dwelling free hold ownership units to be sold to the Vernon and District Community Land Trust for \$155,000 each;
- That the Attainable Units be constructed to the same exterior finish of other homes in the development; and
- That occupancy be restricted to perpetual rental housing geared towards families with an annual household income of \$50,000 to \$60,000."

B. Rationale:

1. Background

The site located at 901 39th Avenue (Figures 1 and 2) known as McMechan Reservoir site was formerly used as open air water reservoir cells until it was decommissioned in 2006. Since the reservoir lands were decommissioned, the City has explored a variety of ways to prepare the site for sale and development, all of which required the City to make a significant investment. After being approached by a potential developer, Council supported a sales agreement with Vernon Reservoir Developments Ltd. to sell a 20 acre portion of the site for ~\$6.5 million in December 2017. Vernon Reservoir Developments Ltd. has since applied for an OCP Amendment Application, a Zoning Amendment Application and a Phased Development Agreement to facilitate the proposed development. Over the last number of months, a comprehensive review process has been undertaken regarding the associated development applications to build a small lot residential neighbourhood and a small mixed use commercial node. Administration has been working with the potential developer and their team of professionals to refine the development proposal.



Figure 1: Subject Property

The site offers a tremendous opportunity to create a modern, compact residential neighbourhood that fulfils many policies in the OCP – a neighbourhood built using alternative development standards, that provides park space and trails, and provides smaller home options (often referred to as the “missing middle”) on a property close to existing services and amenities. The following report outlines the recommended process for Council to consider the development proposal.

2. The Highlands of East Hill Neighbourhood Development Proposal

The development proposal consists of 172 residential dwelling units, not including secondary suites, and a small mixed use commercial node (Attachment 1). To facilitate the development proposal, the following bylaw amendments and preparations are required and recommended.

A. Official Community Plan Amendment Application

Although most of the subject land is designated as Residential Small Lot – Single and Two Family, which is consistent with the proposal, the future water reservoir location is proposed to change (Attachment 2). This is because of the site layout considerations and avoiding cul-de-sac and dead-end road network designs. The change also offers a suitable location for a second water reservoir and Greater Vernon Water has supported the proposed location change.



Figure 2: South Facing View

The second part of the proposed OCP amendment would be to designate this area as a Development Permit Area for intensive residential development as permitted in the *Local Government Act*. This would allow for the implementation of Design Guidelines (Attachment 3) for the form and character of development in the neighbourhood, including the small mixed use commercial node. The Design Guidelines would form part of the proposed Comprehensive Development Area 6 Zone (Attachment 4). The creation of a form and character Development Permit process allows for design to remain consistent throughout the life of the project.

B. Rezoning Application Amendments

Comprehensive Development Area 6 (CD6) Zone (Attachment 4) for the Highlands of East Hill was prepared to control use and density of the site (currently zoned P4 – Utilities). The CD6 Zone provides required density ranges and minimum and maximum lots sizes. The housing types encouraged under the Small Lot Residential OCP land use designation, and enabled through the CD6 Zone, include three types of ground oriented small lot single detached housing (Figure 3). These housing forms are all considered single detached dwellings because of the form of proposed British Columbia Building Code approved firewall construction between units that have a zero lot line setback. To provide rental opportunities, mortgage helpers and unit type diversity, secondary uses such as secondary suites and carriage houses are enabled where a side yard setback exists for access to the unit.

The design and architecture of a neighbourhood impacts resident and visitor behaviour, community pride, transportation choices and perceived safety. Design Guidelines (Attachment 3) would form part of the proposed CD6 Zone and aims to guide quality development while giving architects enough freedom to be creative. The Design Guidelines would be implemented as part of a Development Permit process prior to issuing building permits.

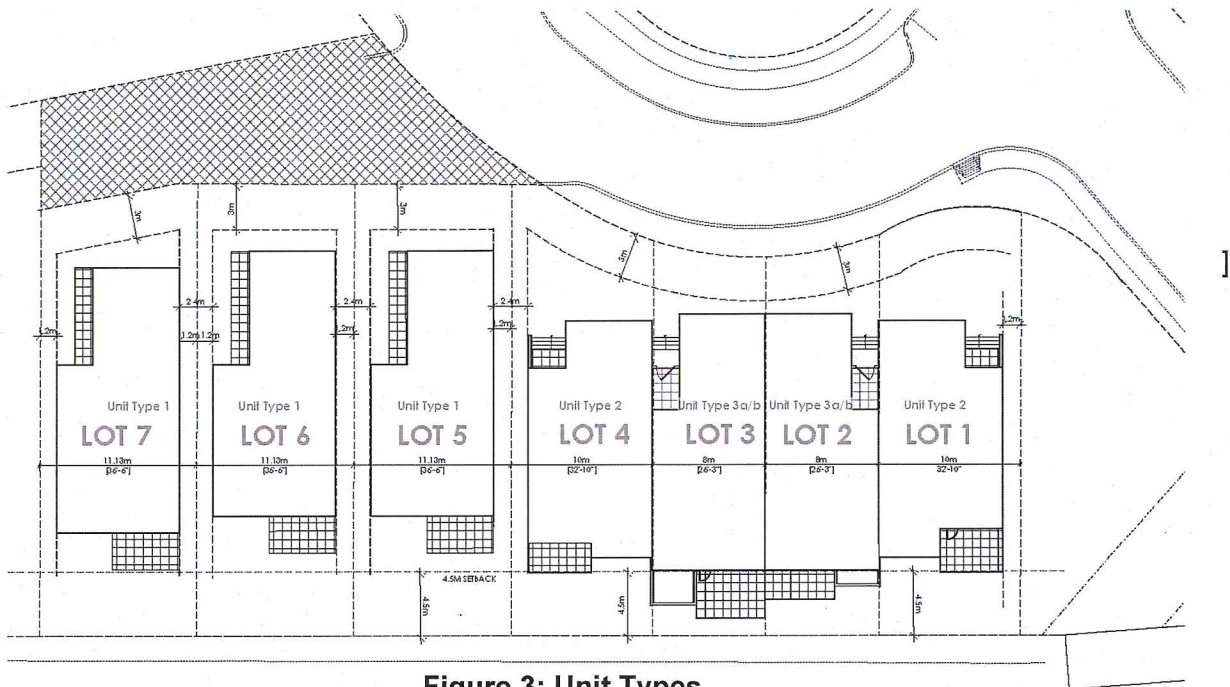


Figure 3: Unit Types



McMechan Reservoir Neighbourhood
Vernon, BC

Preliminary Subdivision Layout
Phase 1

DATE: 11/11/2011
SCALE: 1:500
PROJECT: 1111
ALD

C. Phased Development Agreement

Permitted by the Local Government and prepared in bylaw format, a Phased Development Agreement (PDA) outlines the process and parameters of how the site should be developed and outlines development commitments and requirements. It adopted, PDA and associated commitments are registered on the title of the property. Should this PDA proceed, it would be the first time Vernon has used this development instrument. The PDA provides the developer of the property surety that zoning and subdivision servicing standards would remain the same throughout the duration of the agreement (ten year agreement with a five year extension option), unless otherwise agreed upon and provides commitment to the municipality that development requirements and community amenities will be provided throughout the development process.

To support the proposed compact residential development, a number of development conditions are recommended:

- a) Landscaping Requirements for public and private land (Attachment 5).

Landscaping on public and private land is important in a compact neighbourhood of this nature to soften building massing and heights, to cool streets and yards and generally beautify the development. Detailed landscaping plans would be submitted and required through the subdivision process with a two year maintenance requirement following installation.

b) Park and Active Laneway Dedication and Construction Requirements (Attachment 6).

An approximate 8% parkland dedication is proposed. Construction of the Park areas and Active Laneways would be required through the subdivision process as outlined in Attachment 6. These areas provide outdoor open space in a development where yards and private amenity space is at a minimum. These areas and improvements are important for the quality of life of residents and can also be enjoyed by residents in surrounding neighbourhoods.

c) Fee Simple Ownership

The proposed PDA would stipulate that all residential dwellings, except those above commercial development, shall be freehold lots and fee simple ownership. This requires the housing types to be constructed using firewall construction where a zero lot line is desired. The proposed stacked row housing would be held as one title and not be permitted to be stratified under the Strata Property Act.

d) Attainable Housing

The following attainable housing provisions have been negotiated. A minimum of seven and a maximum of ten, with a floor area of ~112 square metre (~1200 square feet) not including garage, Attainable Housing Units would be provided for in the PDA and then further controlled by a Housing Agreement. Each unit would contain three bedrooms, one bathroom, kitchen facilities, and one covered parking garage. The units would be spread throughout the development and would have the same exterior finish as other homes in the neighbourhood. Each freehold Attainable Housing Unit is proposed to be sold to the Vernon and District Community Land Trust (VDCLT) under the following financial structure:

- The developer would make the unit available at \$245 405, or 63% of expected market price.
- A \$17,405 Small Lot Development Cost Charge waiver for affordable housing is recommended.
- A portion of the proceeds from the sale of the subject property (901 39th Avenue) would be put in the Affordable Housing Reserve Fund and a land grant would be provided towards the purchase cost of the units in an amount to be determined by Council (\$50,000-\$70,000 recommended). The resulting sale price of the unit would be between \$158,000 and \$178,000 and enable a rental housing program geared to families with moderate annual household incomes.

Depending on the amount of the proposed land grant, the occupancy of the units would be restricted to perpetual rental housing geared towards families with an annual household income of \$50,000 - \$65,000. Vernon's median annual household income is currently \$82,000, making these units geared toward moderate to low annual household income levels. VDCLT would facilitate the rental program and monitor eligibility requirements of renting families.

These recommendations have been supported by the VDCLT and have been endorsed by the Affordable Housing Advisory Committee with a recommended land grant of \$70,000 per unit.

Any housing related commitments would be facilitated as part of the Phased Development Agreement and required to be spread out in Phases Two through Seven of the proposed development through registered Housing Agreements at time of subdivision.

e) Offsite Works

A Transportation Impact Assessment (TIA) was completed to review access locations, active transportation gaps, and potential traffic capacity impacts resulting from the development. The TIA reviewed six key study intersections, and found that all, except the Pleasant Valley Road and 39th Avenue intersection, operated within the City's acceptable traffic capacity thresholds. Consequently, Administration is reviewing options to improve the Pleasant Valley Road and 39th Avenue intersection to meet future traffic capacity requirements. The TIA and the development review process identified the following recommended offsite works and contributions that are proposed to be required in the PDA:

- i. A contribution to intersection improvements at Pleasant Valley Road and 39th Avenue.
- ii. Construction of a sidewalk on the north side of 39th Avenue between the west trail entrance at 39th Avenue to a crosswalk to 11th Street to assist children to safely walk to Silver Star Elementary.
- iii. Construction of all of Mutrie Road between 39th Avenue and 43rd Avenue to a 16 metre right of way cross section as part of Phase Three of the development.
- iv. A contribution to Greater Vernon Water for a reservoir expansion for future demand requirements.

D. Development Variance Permit

A number of variances have been requested to Subdivision and Development Servicing Bylaw #3843 (Attachment 7). The proposed variances support the unique nature of small lot development, the Integrated Transportation Framework, alternate development and design standards. These variances are recommended by Administration as outlined in Attachment 7.

Should Council support the preparation of the bylaw amendments as recommended, and grant first and second readings, a Development Variance Permit public input session would be scheduled for the same meeting as the associated Official Public Hearing.

3. Public Participation

Workshops were held on January 9, 2018 with the Advisory Planning Committee and the Affordable Housing Advisory Committee for information purposes and to gain input on the proposed development concepts. In addition, a Public Participation (P2) process was completed, including the use of Engage Vernon (engagevernon.ca) and an open house held on January 31, 2018 and hosted by the professional development team and Administration. The intent of the P2 process was to inform the public of the project and to gain input regarding the vision, design, housing types and density proposed for the site. The P2 input is provided in Attachment 8. A separate meeting with members of the Uplands Strata (900 43rd Avenue) was also held to present the development concepts, answer questions and understand concerns raised by residents. All of the above noted feedback was used to refine the development proposal.

The City's OCP Amendment Applications Policy (Attachment 9) requires that an open house be hosted by the City as part of an amendment process. Although an open house was held early in the process, with the further development of the applications and the proposed text amendment, Administration recommends an additional open house be held. Should Council support preparing the subject bylaws and grant first reading to the bylaws, an additional open house would be held prior to an Official Public Hearing. This would also further satisfy Section 475 of the *Local Government Act* – "Consultation during

development of OCP". Consultation has been conducted with School District #22 and would continue throughout the Bylaw process where appropriate.

C. Attachments:

- Attachment 1: Development Site Plans, Phasing Plan and Unit Plans
- Attachment 2: Proposed OCP Land Use Designation Amendment
- Attachment 3: Proposed Design Guidelines
- Attachment 4: Proposed Comprehensive Development Area 6 Zone
- Attachment 5: Proposed Landscaping Requirements
- Attachment 6: Proposed Park and Active Laneway Dedication and Construction Requirements
- Attachment 7: Proposed Subdivision and Development Servicing Bylaw Variance List
- Attachment 8: Public Feedback to Date
- Attachment 9: OCP Amendment Applications Policy

D. Council's Strategic Plan 2015 – 2018 Goals/Deliverables:

The subject application involves the following objectives in Council's Strategic Plan 2015 – 2018:

- Create a vibrant parks and recreation system
- Support sustainable urban development by reducing off site costs
- Cut red tape by ensuring we have a competitive development review process
- Support sustainable neighbourhoods by implementing neighbourhood plans and the OCP
- Work with community partners and the Affordable Housing Advisory Committee to create more affordable housing
- Amend bylaws to implement the Integrated Transportation Framework (ITF)
- Continue to support the Social Planning Council in the provision of social planning services to the City, including programs and initiatives to address homelessness, childcare, attainable housing, food security and neighbourhood safety

E. Relevant Policy/Bylaws/Resolutions:

At its Regular Meeting held January 22, 2018, Council passed the following resolution:

"THAT Council support presenting the proposed development concepts, as outlined in the memorandum titled "McMechan Lands Development Concepts and Public Participation" dated January 11, 2018 from the Long Range Planner, on engagevernon.ca and at an open house to inform the public and gain feedback for Zoning Amendment Application ZON00294."

The public input from the open house and Engage Vernon can be found as Attachment 8.

The proposed development is consistent with and supports the Guiding Principles and numerous policies in the Official Community Plan and Supplemental documents such as the Master Transportation Plan, the Integrated Transportation Framework and Sustainable Infrastructure Investment Plan. The proposal also supports the City of Vernon Attainable Housing Strategy and Housing Needs Assessment.

The following policies are directly supported by the proposed development:

OCP Section 5 – Growth Strategy and Land Use Plan

- 5.8 Discourage the development of new low density greenfield residential subdivisions. When additional lands are needed in the future to meet population growth, ensure that new development is designed to meet the Guiding Principles, as well as the Regional Growth Strategy's goal of developing compact, complete communities.

OCP Section 7 – Residential

- 7.1 Explore innovative ways of supporting attainable housing, including:
 - a. Review parking requirements
 - b. Increase/expand permitted types of housing
 - c. Consider inclusionary zoning
- 7.2 Support the Affordable Housing Committee in its role of monitoring progress towards providing attainable and affordable housing.
- 7.3 Support the development of the City Centre District, neighbourhood centres and designated multiple family areas to the densities outlined in the OCP to build compact, complete neighbourhood areas within the community and to achieve the maximum use of municipal infrastructure.
- 7.5 The following maximum density is permitted in the proposed development: Residential Small Lot Single and Two Family Dwelling Single maximum density is 87 units/ha (35.2 units/acre).
- 7.6 Ground oriented multiple family developments are strongly encouraged in designated areas in the City Centre and Neighbourhood Districts. Higher density development should strive to incorporate ground orientation with at grade, private entrances and pedestrian scale detailing and forms.
- 7.8 Continue efforts to accommodate secondary suites.
- 7.12 Undertake a review of residential zoning districts to determine measures to be incorporated to ensure the scale of new development is compatible with existing dwellings.
- 7.13 Undertake development of policies with regard to carriage houses, with due consideration of the issues faced in neighbouring jurisdictions with this housing form.
- 7.16 Local convenience retail outlets (retail uses designed to serve the surrounding neighbourhood) may be permitted in any residential designation if the following conditions are met:
 - a. Commercial zoning is limited to a corner parcel;
 - b. The zoned site does not exceed an area larger than 2,000 sq. m. (21,500 sq. ft.); and
 - c. At least one side of the parcel abuts an existing or proposed collector or similar principal road.

BUDGET/RESOURCE IMPLICATIONS:

Should the proposed development proceed, there would be both revenue and expenditure impacts; additional tax revenue would be gained by adding additional parcels and land improvements to the tax roll; and operational costs would increase associated with snow clearing and maintaining parks, trees and boulevard areas. Considerations in road design, landscaping requirements and overall site plan design aim to reduce overall maintenance costs while providing an acceptable level of service. When development phases are subdivided and built upon, if supported through the proposed bylaws, increased revenue would be realized and the associated increased operational costs should then be considered by Council annually during budget deliberations.

Prepared by:

Approved for submission to Council:

Right-click to sign
with **DocuSign**

Will Pearce, CAO

Cleo Corbett
Long Range Planner

Date: _____

Right-click to sign
with **DocuSign**

Kim Flick
Director, Community Infrastructure and Development

REVIEWED WITH

- | | | |
|---|--|--|
| <input type="checkbox"/> Corporate Services | <input type="checkbox"/> Operations | <input checked="" type="checkbox"/> Current Planning |
| <input type="checkbox"/> Bylaw Compliance | <input checked="" type="checkbox"/> Public Works/Airport | <input checked="" type="checkbox"/> Long Range Planning & Sustainability |
| <input checked="" type="checkbox"/> Real Estate | <input type="checkbox"/> Facilities | <input checked="" type="checkbox"/> Building & Licensing |
| <input type="checkbox"/> RCMP | <input checked="" type="checkbox"/> Utilities | <input checked="" type="checkbox"/> Engineering Development Services |
| <input type="checkbox"/> Fire & Rescue Services | <input type="checkbox"/> Recreation Services | <input type="checkbox"/> Infrastructure Management |
| <input type="checkbox"/> Human Resources | <input checked="" type="checkbox"/> Parks | <input checked="" type="checkbox"/> Transportation |
| <input type="checkbox"/> Financial Services | | <input type="checkbox"/> Economic Development & Tourism |
| <input checked="" type="checkbox"/> COMMITTEE: AHAC (Jun28/18) and APC (July 10/18) | | |
| <input type="checkbox"/> OTHER: | | |



DATE: AUGUST 2015
SCALE: AS SHOWN
ISSUED FOR: MEETING
PROJECT: 17-058

A.I.1

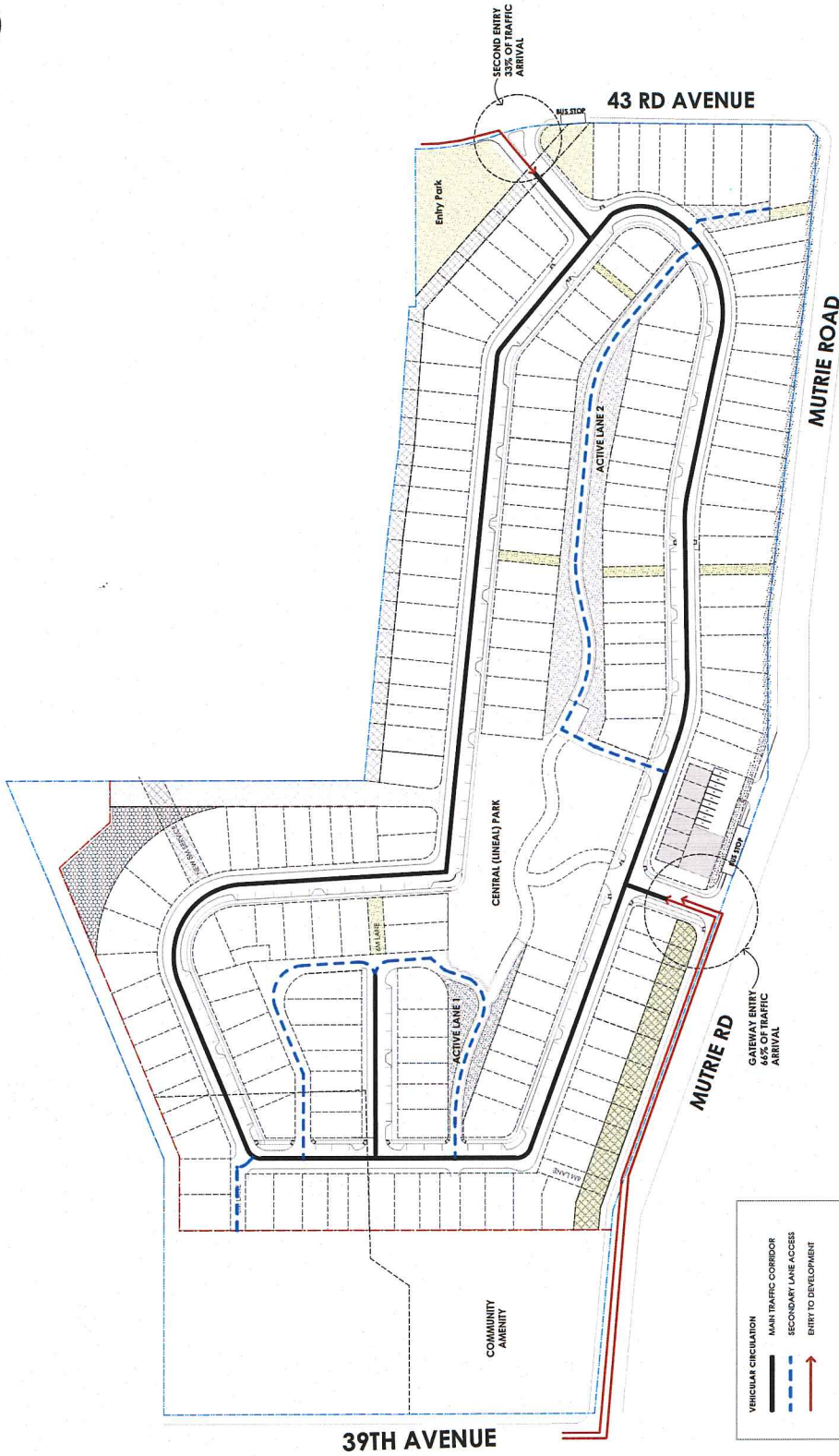
Preliminary Subdivision Layout
Phasing Plan

McMechan Reservoir Neighbourhood
Vernon, BC



BLUEGREEN ARCHITECTURE INC.
www.bluegreenarchitect.com
11-630 Green Street, Kelowna BC, V2Y 1K9
P: (778) 333-1805 F: (778) 333-1448
P: (250) 912-1112 F: (250) 912-2279



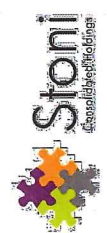


DATE: AUG 07/05
SCALE: AS SHOWN
ISSUED FOR: MEETING
PROJECT: 17-698

A1.2

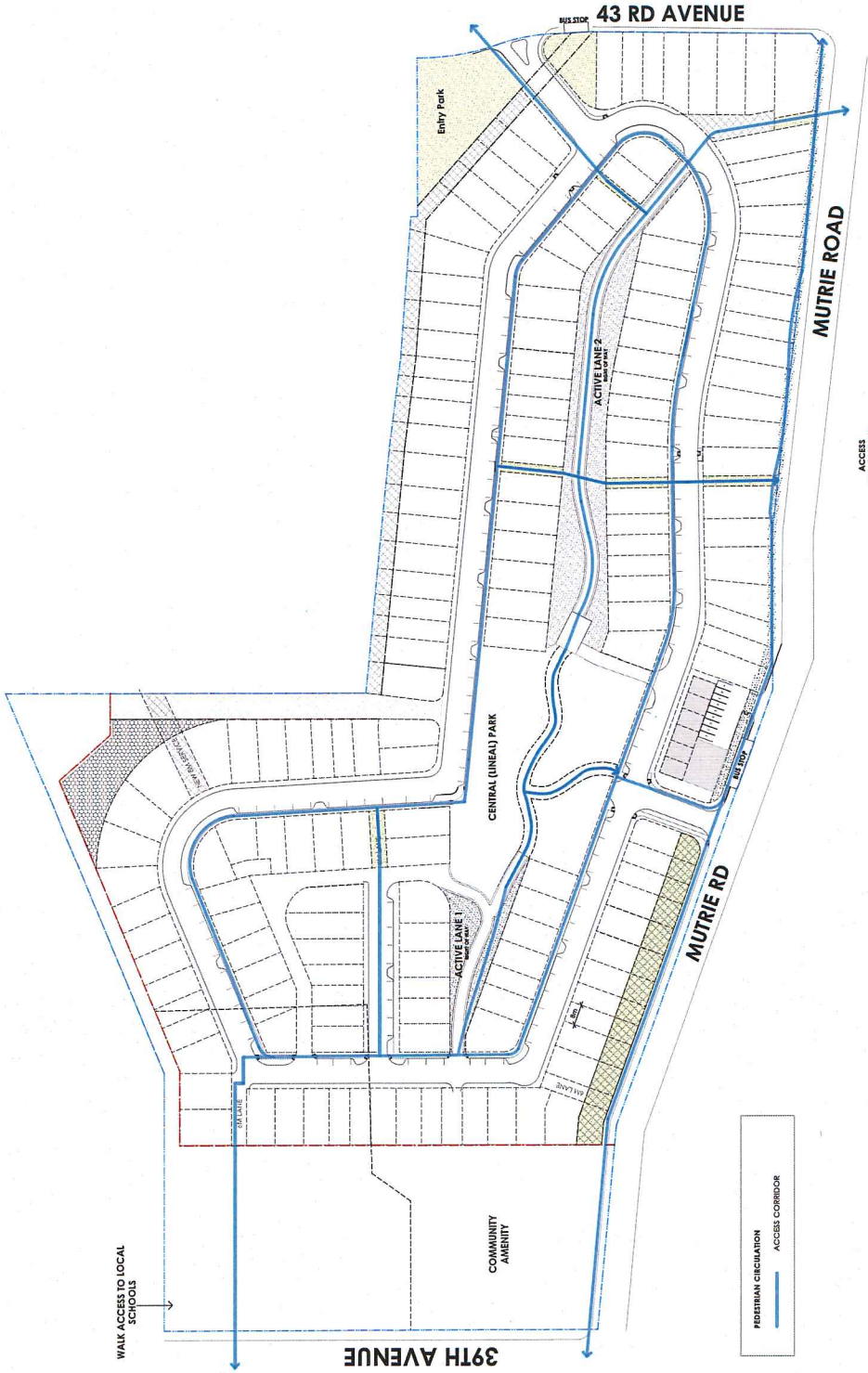
Preliminary Subdivision Layout
Vehicular Circulation

McMechan Reservoir Neighbourhood
Vernon, BC



BLUEGREEN ARCHITECTURE INC.
www.bluegreenarchitecture.com
P: 778.331.2800 F: 778.331.1448
3-4-031 Lorne Street, Courtenay BC V1Z 1V9
P: 250.331.1112 F: 250.331.2279





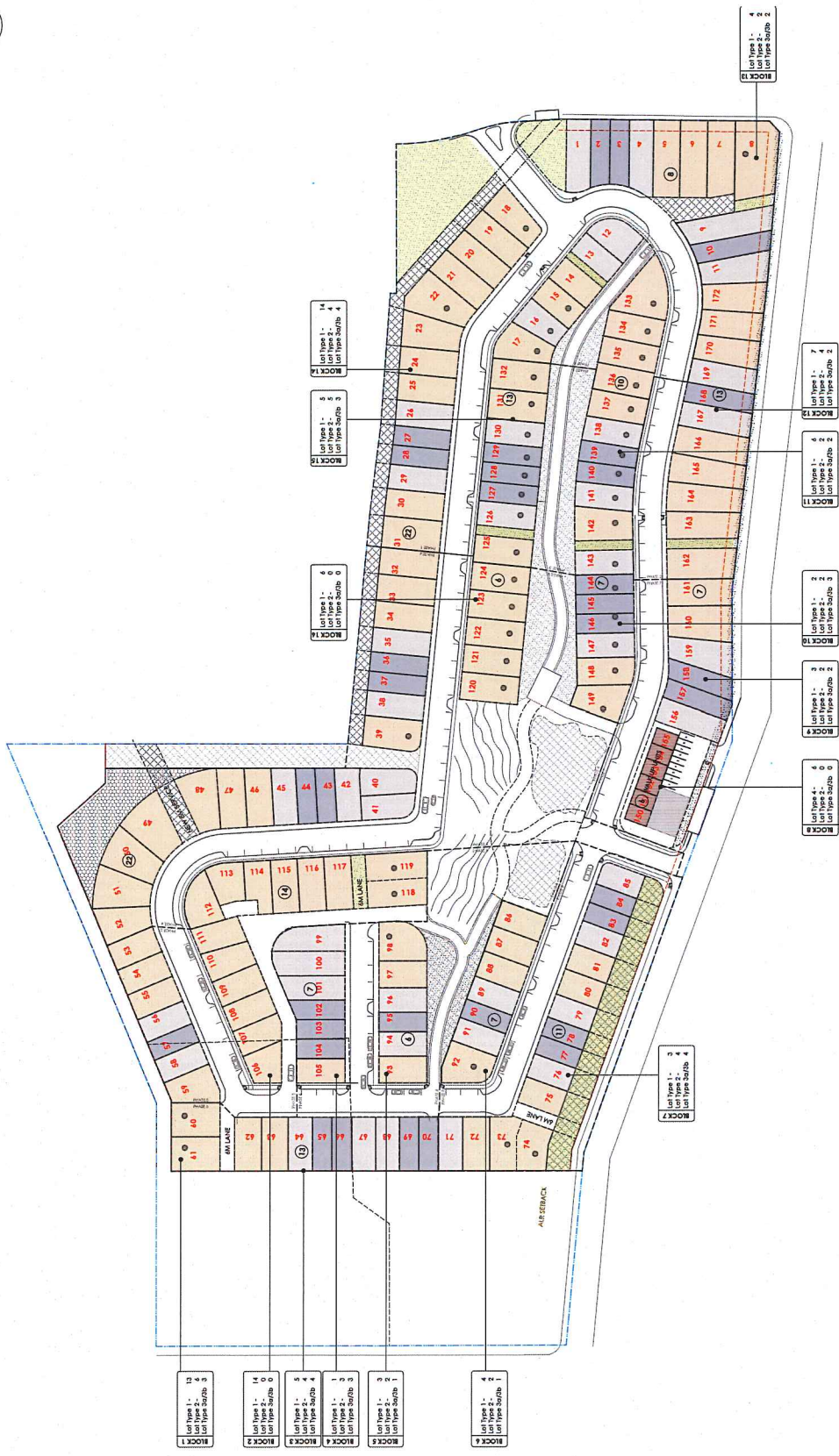
BLUE GREEN ARCHITECTURE INC.
www.bluegreenarchitecture.com
7-4-6330 Lakeshore Drive, Langley, BC V2Y 1V9
P 779.231.8500 F 779.231.8444
P 125.334.4112 F 125.334.2279



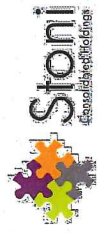
McMechan Reservoir Neighbourhood
Vernon, BC

Preliminary Subdivision Layout
Pedestrian Circulation

DATE: 2/16/2015
ISSUED FOR: Review
PROJECT: 17459



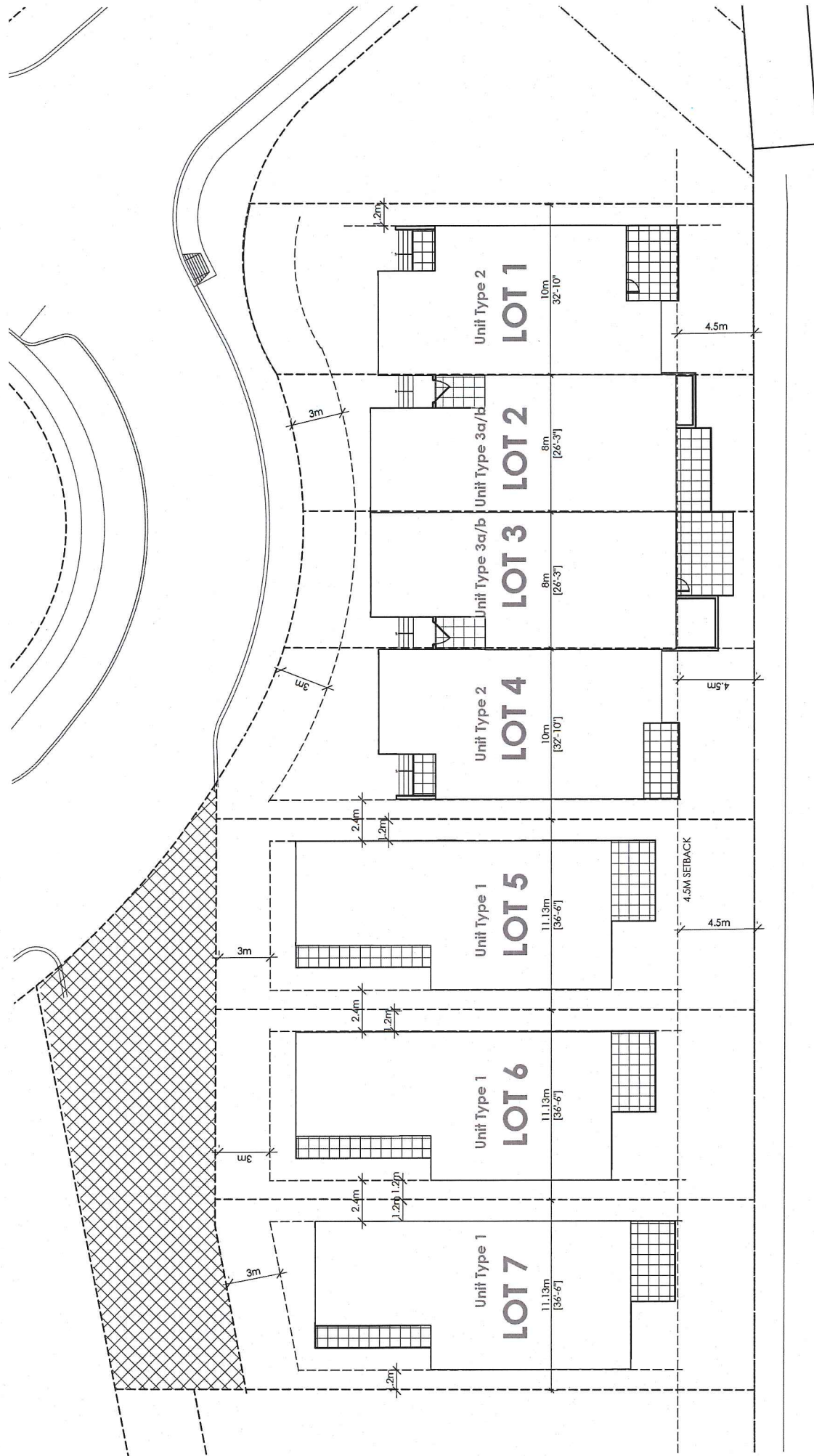
BLUE GREEN ARCHITECTURE INC.
 2 - 450 Lakeshore Boulevard West, Suite 100
 Vancouver, BC V6V 2G9
 Tel: 604.273.1500 Fax: 604.273.1507
 www.bluegreenarchitect.com



McMechan Reservoir Neighbourhood
 Vernon, BC

Preliminary Subdivision Layout
 Unit Count

DATE: 2018.07.05
 SCALE: 1:800
 ISSUED FOR: MEETING
 PROJECT: 177468
 A1.4



DATE: 04/07/20
 SCALE: 1:500
 DRAWN BY: JCA
 PROJECT: 17438
 A1.0

Preliminary Subdivision Layout
 Phase 1

McMechan Reservoir Neighbourhood
 Vernon, BC


277-151000 21
 1770 1/2 ST
 VERNON BC V1A 1S2
 www.bgaarchitect.com
 P: 250.536.1112 F: 250.536.2278




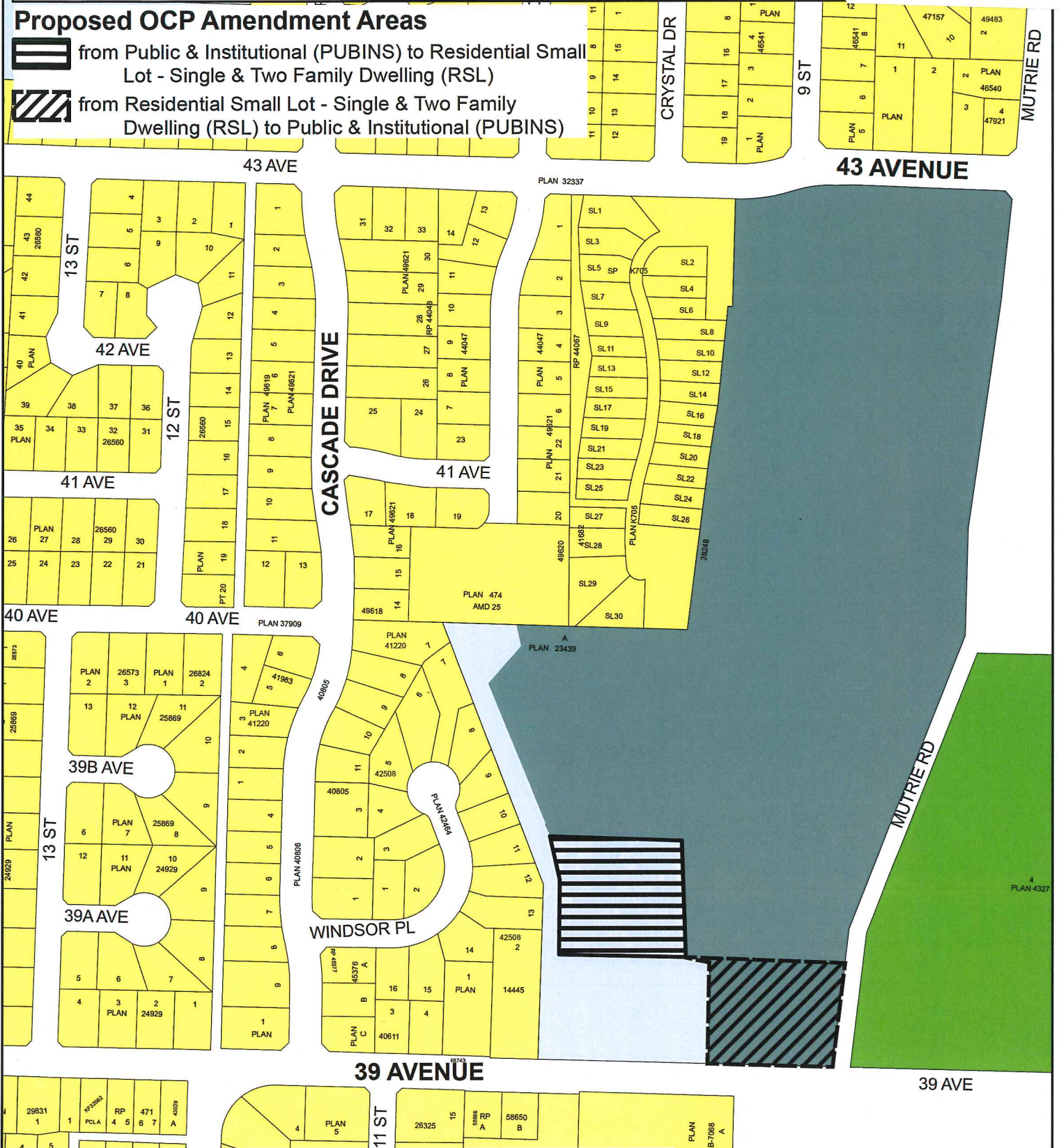
Proposed Official Community Plan Amendment for Future Water Reservoir

Attachment 2





Proposed OCP Amendment Areas

 from Public & Institutional (PUBINS) to Residential Small Lot - Single & Two Family Dwelling (RSL)

 from Residential Small Lot - Single & Two Family Dwelling (RSL) to Public & Institutional (PUBINS)



OCP Designation

-  RESIDENTIAL - LOW DENSITY
-  RESIDENTIAL SMALL LOT - SINGLE & TWO FAMILY DWELLING
-  ALR LANDS
-  PUBLIC & INSTITUTIONAL



Neighbourhood and Form and Character Design Guidelines

The following is provided to guide intensive residential development within Comprehensive Development Area 6, to set the terms for Development Permit requirements for subdivision and the form and character of residential and commercial development.

1.0 Neighbourhood Vision

The design of this small lot residential development is a modern and unique neighbourhood that residents are proud of. Quality building design and pedestrian friendly streets create a human scale environment that people feel comfortable in. A small commercial node with residential units above provides services to surrounding neighbourhoods. Landscape treatments soften the building massing and beautifies and cools streets, active laneways, pathways, parks and yards.

The Highlands of East Hill Neighbourhood shall:

- 1.1 Foster a neighbourhood that is designed to calm vehicular traffic speeds and encourage walking and cycling within a conducive and safe environment.
- 1.2 Orient homes towards pedestrian friendly streets with enhanced front entrances such as porches.
- 1.3 Use landscaping and trees to soften the small lot density of the neighbourhood – tree canopy cools, provides shade, creates habitat and aids storm water management while respecting view corridors.
- 1.4 Provide amenities designed for people to move, play and connect including park space, trail connections and active laneways.
- 1.5 Provide a variety of housing forms in each phase of the neighbourhood.

2.0 Architectural Form and Character

Architectural character at Highlands is focused on site-appropriate expression of massing and street rhythm. Design will encourage the use of complementary elements that are responsive to the specific conditions of that location. The following design principles shall apply:

- 2.1 Dwellings will be oriented towards the street where possible and primary vehicle access will be provided off a laneway, where one exists.
- 2.2 Residential development will be well articulated through the use of entryways, windows, bump outs, insets and exterior finishing treatments.
- 2.3 Incorporation of porches, stoops, outdoors spaces (such as patios) or combinations thereof shall be provided to soften and break-up building massing and provide protected outdoor amenity areas when feasible.
- 2.4 Dwellings that are located between internal roads and Mutrie Road or 43rd Avenue shall present well to both street faces through articulation and finishing.
- 2.5 Exterior setback wall faces (usually corner lots), where visible from streets (flanking street), shall be given an increased level of treatment to break up massing and minimize blank walls through the use of articulation and varying materials, colors, textures and landscape treatments. Particular attention and increased treatment shall also be given to 3 storey wall faces in interior side yard and flanking yards.

- 2.6 Where garages are accessed from a street, garage setbacks shall vary where possible to avoid uninterrupted wall faces. Where setbacks and lot sizes restrict variation, a distinct variety of garage door colours, tones, treatment and or design are required.
- 2.7 Building forms and rooflines shall be varied to add individuality and visual interest.
- 2.8 A variety of complementary materials, textures and colours will be used on adjacent and attached housing types to break up massing and provide a distinct identity between dwelling units (attached or adjacent). Repetitive and monotonous building forms and finishing shall be avoided.
- 2.9 Durable finishing materials shall be used for longevity. Vinyl siding is not permitted.

3.0 Fencing

Generally, front yard fences are discouraged, given small front yard setbacks. Side and rear yard fencing may provide privacy with supplemental landscaping. The following fencing principles shall apply:

- 3.1 Where fencing is desired, details of construction and location shall be provided as part of a Development Permit application.
- 3.2 A variety of complementary fencing materials, colours, styles and construction methods shall be used so that no more than two adjacent dwellings have the same fence. Repetitive and monotonous fencing shall be minimized.
- 3.3 Fencing and landscape treatments should promote Crime Prevention Through Environmental Design (CPTED) principles of street and lane activity observation. Generally, everything above 1.2m in height should be permeable.
- 3.4 Front yard fences, and fences on Mutrie Road and 43rd Avenue, shall be a minimum of 40% permeable.
- 3.5 Fencing is encouraged to be combined with supplemental landscaping.
- 3.6 Where applicable, vegetative buffers should be provided adjacent to agricultural land as per Provincial agricultural buffer requirements.

4.0 Neighbourhood Commercial

A small mixed use commercial node is encourage to serve surrounding neighbourhoods. The architecture and design of the commercial node shall complement the surrounding residential development. The following design principles apply:

- 4.1 The building shall be well articulated with entrances and windows minimizing blank walls.
- 4.2 The building form should reflect the intended commercial use.
- 4.3 A variety of colours, materials and textures will be used to break up the massing of the building.
- 4.4 Residential units above the commercial shall have their own separate entrance and be visually differentiated from the commercial through design treatment.
- 4.5 Only small scale signage is permitted to respect the residential character of the neighbourhood. Back lit signage is not permitted. Signage details shall be submitted as part of a Development Permit application.
- 4.6 A lighting plan, respecting CPTED principles, is required as part of a Development Permit application.

**Schedule "A" attached hereto
and forming part of Bylaw #**

13.6 CD6: Comprehensive Development Area 6

13.6.1 Purpose

This Zone is intended to enable a cohesive and integrated small lot residential neighbourhood with a mix of ground oriented single family housing types and a small neighbourhood mixed use commercial node.

13.6.2 Interpretation

In the event of any conflict or inconsistency between provisions set out in this CD6 Zone and provisions set out elsewhere in Bylaw #5000, as amended, then the applicable provision in CD6 Zone shall govern and apply. Schedule B in Zoning Bylaw #5000 does not apply.

13.6.3 Definitions

In this CD6 Zone, definitions provided in Bylaw #5000 apply. In addition, the following definitions shall apply:

- **Development Plan** means the development intent for the CD6 Zone as shown on General Schedule # 1.
- **Density, gross** means a measure of the intensity of development to the area of the site, and includes the whole number of units on a site measured in units/area or **floor space ratio** as the case may be.
- **Density, net** means a measure of the intensity of development to the area of the site, and includes the whole number of units on a site measured in units/area or **floor space ratio**, as the case may be, however does not include dedicated public spaces such as parks, **streets** and **lanes**.
- **Housing Type** means the different residential built forms which are to be constructed on the individual **lots**.
- **Lands** means the area shown within the boundaries of General Schedule #1 to which CD6 applies.
- **Parcel** means the individual **lots** identified on the **Development Plan**.
- **Phased Development Agreement** means the agreement of how the **Development Plan** is to be achieved as set out in Bylaw #.....
- **Row Housing, Stacked** means **row housing**, except that **dwellings** may be arranged two deep, either horizontally so that **dwellings** may be attached at the rear as well as the side, or vertically so that **dwellings** may

be placed over others. Each **dwelling** will have an individual access to outside, not necessarily at grade, provided that no more than two units share a corridor, steps or path.

- **Secondary Suite** means a self-contained secondary **dwelling** unit located within **single detached housing types 1 and 2**, or in a **secondary building**. A secondary suite has its own separate cooking, sleeping and bathing facilities. It has direct access to outside without passing through any part of the primary **dwelling** unit. The property owner must reside in either the primary **dwelling** unit or the **secondary suite**.
- **Single Detached Housing Type 1** means a detached **building** containing one **dwelling** unit, designed exclusively for occupancy by one household, and may include a **secondary suite**.
- **Single Detached Housing Type 2** means a **building** containing one **dwelling** unit designed exclusively for occupancy by one household, having one interior zero lot line side yard and one interior side yard measuring more than one metre, and may include a **secondary suite**.
- **Single Detached Housing Type 3** means a **building** containing one **dwelling** unit designed exclusively for occupancy by one household, having zero lot line side yards on two interior side yards, and may not include a **secondary suite**. No part of any **dwelling** is placed over another in part or in whole and every **dwelling** unit shall have a separate, individual, direct access to grade.

13.6.4 **Parcels Subject to Parcel Specific Regulations**

- The **Lands** may only be subdivided into **parcels** in substantial compliance with the **Development Plan** attached hereto as General Schedule #1.
- The **buildings** permitted on each **parcel** will be in substantial compliance with the **Development Plan** attached hereto as General Schedule #1.
- The development of each **parcel** shall be in accordance with the development regulations set out herein and within the **Phased Development Agreement**.

13.6.5 **Permitted Uses**

The Lands shall only be used for the following uses:

- A) Parks are permitted as shown in the General Schedule #1
- B) Residential

Primary Uses:

- **row housing, stacked**

- single detached housing, types 1, 2 and 3

Secondary Uses:

- care centre, minor
- home based businesses, minor
- secondary suites (only in single detached housing, types 1 and 2)
- utilities, minor

C) Community Neighbourhood Commercial

Primary Uses:

- artist studio
- care centre, major
- community recreation centres
- food primary establishment (excluding drive-through services)
- liquor primary establishment, minor
- participant recreation services - indoor
- personal services
- farmers' market
- public market
- retail store, convenience

Secondary Uses:

- apartment housing
- home based businesses, minor

13.6.6 Development Regulations - Density

- The minimum **net density** shall be 31 **dwelling** units per hectare (12.5 **dwelling** units per acre) and the maximum **net density** shall be 49 **dwelling** units per hectare (20 **dwelling** units per acre) of the land dedicated to residential use and the residential portion of mixed use development. **Secondary suites** shall not constitute a **dwelling** unit when calculating **density**.
- The maximum number of **dwelling units** permitted on each **parcel** shall be 1; except a maximum of 5 – 4 unit **row housing, stacked** developments shall be permitted within the **Development Plan**.
- The maximum community neighbourhood commercial **gross floor area** shall be 1,500m².

13.6.7 General Development Regulations

In the CD6 zone, no **building** shall be constructed, located, altered and no plan of subdivision approved except in accordance with the regulations as set out below:

Lot Size and Width	
Residential:	
Lot size, minimum	120m ²
Lot size, maximum	950m ²
Interior Lot width, minimum	5.5m
Corner Lot width, minimum	10m
Commercial:	
Lot size, minimum	550m ²
Lot size, maximum	1900m ²
Interior Lot width, minimum	5.5m
Corner Lot width, minimum	10m
Building Height, Maximum	
Residential Buildings	The lesser of 10.5m or 2.5 storeys, except may be the lesser of 10.5m or 3 storeys where primary vehicle access is provided by a laneway. The street face of the dwellings shall not exceed 2.5 storeys.
Secondary Buildings and Structures	4.5m, except may be 6.2m where a secondary suite is located above a garage
Commercial/Residential Mixed Use	The lesser of 12.5m or 3.0 storeys
Lot Coverage, Maximum	
All structures	85%
All impermeable surfaces	90%
Building Siting	
Front Yard, minimum	3.0m, except it is 2.0m for garage entrances
Rear Yard, minimum	4.5m, except that is 1.5m for a garage accessed off the lane
Side Yard, minimum	2.5m for all flanking street side yards
	1.2m for Single Detached Housing Type 1
	1.2m on one side, 0.0m on the other side for Single Detached Housing Type 2
	0.0m for Single Detached Housing Type 3
Horizontal Distance Between Buildings on the same lot, minimum	2.0m

Width of Dwelling Unit, minimum	5.5m
Usable Outdoor Private Open Space, minimum	12.0m ² per Single Detached Housing dwelling unit, all types 5.0m ² per apartment dwelling unit or stacked row housing dwelling unit
Fence Height and Siting	
Front Yard, maximum height	1.0m
Rear Yard, maximum height	1.5m, except 1.2m on Mutrie Road and 43 rd Avenue
Side Yard, maximum height	1.5m
Flanking Yard, maximum height	1.2m
Rear Yard, minimum setback on a lane	1.5m, except 2.0m where a garage is sited at a minimum rear yard setback of 1.5m

13.6.8 Development Regulations - Vehicle and Bicycle Parking Regulations

The general parking, loading and Class 1 and Class 2 bicycle parking regulations in Bylaw #5000, as amended, apply to CD6. All types of **single detached housing** will be classified as **single detached housing** for parking regulation purposes.

13.6.9 Development Regulations – Secondary Suites

The general **secondary suite** regulations in Bylaw #5000, as amended, apply to this CD6, except as specified below.

- The maximum floor area of a secondary suite shall be no greater than 40% of the total residential **gross floor area** on the **lot**.

13.6.10 Development Regulations – Landscape & Screening

For certainty, the regulations in Bylaw #5000, as amended, Section 6.0, Landscape and Screening, do not apply to **Lands** in the CD6 Zone. A detailed landscape and screening plan as per the **Phased Development Agreement** would be provided as part of the Subdivision requirements.

13.6.11 Development Regulations – other

- Where a **parcel** has access to a lane, vehicular access to the **parcel** is only permitted from the lane.
- **Apartment housing** require separate at-grade access from the commercial uses.

- For multiple housing, one office may be operated for the sole purpose of the management and operation of the **multiple housing** development.
- In addition to the regulations listed above, other regulations may apply. These include the general development regulations of Section 4 (secondary development, yards, projections into yards, lighting, agricultural setbacks, etc.); the specific use regulations of Section 5; the **landscaping** and fencing provisions of Section 6; and, the parking and loading regulations of Section 7, unless otherwise specified in this CD6 Zone.

13.6.12 List of Schedules

The following schedule is attached hereto and forms part of this CD6:

1. General Schedule #1: Development Plan

**Intensive Residential Development Permit Guidelines for Form and Character
INSERT once supported**

LANDSCAPE REQUIREMENTS- Highlands of East Hill



This document will form part of the Phased Development Agreement and be required and implemented as part of the subdivision process.

1.0 GRADING AND DRAINAGE

Grading shall be directed to front and/or rear yards only for surface drainage of each lot to a public road or laneway. No grading shall drain a property into a neighbouring private or public property. Ponding or pooling water on private property is not permitted.

Surface runoff from rooves and gutters shall be directed to the street by underground pipe or swale. Surface runoff from rooves and gutters may be retained in a rain barrel or other closed container.

The minimum grade for any lawn area is 2% from house to road/lane and maximum grade for lawn areas is 20% from road/laneway to house. The minimum grade for planting beds is 3% down to roads/laneways.

2.0 TREES

Bylaw #5000 requires one tree per 10 linear metres of perimeter of the entire property. This does not include accommodation of park areas or the active laneway. As the perimeter is 1367.35 linear metres, **the City requires 136 trees planted on site including the active laneway.** Landscape design shall include tree details and be provided as part of a Development Permit application and constructed as part of each phase of subdivision. All trees shall be a minimum of 6 cm caliper.

Street and Laneway Trees to be Planted by Owner	Linear Meters	Trees	Balance	Tree type	Location	Maintenance Responsibility 2 years after Final Completion date
Trees Required 1 tree/10 linear meter of property perimeter	1367.4	136				
Shade Trees along Mutrie Road and 43 rd Avenue Blvd. require 1 tree/15 linear metre	646	43	93	Street	Public Blvd	City Operations
Entry Boulevards from Mutrie and 43 rd Ave		8	85	Street	Public Blvd	City Operations
Street trees in private backyards along shared reservoir boundary 1 tree/15 linear meter	174	11	74	Street	43 rd Entrance Park	City Operations
Active Laneways Laneway Trees 1 per in-ground boxes*	262	10	64	Laneway	Public	City Operations
Street trees in Private Lots to shade street favouring Lots with 10 m frontage width and balancing for even shade coverage on road		64	0	Street Trees with 1 or 2 side yards and Laneway Trees	Private	Homeowner

1. Bylaw #5000 requires a vegetative buffer or a vegetative buffer and fencing to separate adjacent land uses, and trees planted at 10 m intervals around the entire perimeter. To achieve the same intention but recognize the smaller lots in this development, Street Trees, selected from the list titled "Street Tree Species List" below, shall be planted in the public boulevard along 43rd Avenue adjacent to the development lands and along the entire length of Mutrie Road between 43rd Avenue and 39th Avenue. Trees will be planted within the boulevard of Mutrie Road at the time that the adjacent section of the road is constructed. All trees in the boulevards shall be irrigated with a fully automatic in-ground system to meet City of Vernon specifications.

2. Street trees throughout the development shall be selected from the list titled "Street Tree Species List". A mix of street tree species planted in a pattern will lend visual continuity to the street canopy. The mix is to prevent a wipe-out of the streetscape, should an epidemic occur. The pattern should also signify street entrances to the Highlands, the intersections of roads and pedestrian paths, and the distinction between commercial and residential land uses.

3. Selection of species and pattern is to be approved by City staff prior to construction. No substitutions are permitted without written permission from City staff.

4. The developer shall plant street trees from the appropriate list provided, in rear yards of lots bordering the reservoir property at the interval of 1 tree per 15 lineal metre (a minimum of 11 trees). These trees shall provide a partial vegetative buffer to separate adjacent land uses and to provide shade to homes along this boundary. The developer shall plant large trees in larger lots where shade can be shared with Single Detached Housing Type 2 and 3 properties.

Street Tree Species List

Acer X freemanii 'Jeffersred'	Quercus rubra
Acer X freemanii 'Autumn Fantasy'	Quercus macrocarpa
Acer rubrum 'Red Sunset'	Tilia tomentosa
Acer saccharinum 'Silver Queen'	Ulmus americana 'Lewis & Clark'
Fagus sylvatica	Ulmus americana 'New Harmony'
Ginkgo biloba (male only)	Ulmus americana 'Valley Forge'
Parrotia persica private lots only/max. # 8	Ulmus Americana 'Brandon'
Platanus acerifolia 'Bloodgood'	

Active Laneway Trees Species List

Acer campestre (in ground planter only)	Hamamelis x intermedia cultivars
Acer truncatum	Heptacodium miconioides
Amelanchier alnifolia and varieties	Maackia amurensis
Carpinus caroliniana	Malus 'Spring Snow'
Cercis Canadensis	Prunus maackii
Crataegus phaenopyrum	Syringa reticulata 'Ivory Silk'

5. Planting street trees in private lots throughout the development shall continue the character and shading as in Mutrie Road and 43rd Avenue throughout the community. Residents wishing to plant additional trees in their private lots are not required to select trees from the Street Tree or Laneway Tree Species Lists. Fruit trees, other than berries, should be harvested after maturing and not persist through winter months. If planting species to attract small wildlife (birds, butterflies, etc.), residents should winterize the garden to reduce the incident of wildlife conflicts.

6. Fruit trees will be managed in accordance with the Okanagan Sterile Insect Program (Regional District of North Okanagan), Subdivision Near Agriculture Guide (Agricultural Land Commission ISBN 0-7726-2940-4), Farm Practices Protection (The Right to Farm) Act and Field Guide to Noxious Weeds and Other Selected Invasive Plants of British Columbia (Inter-Ministry Invasive Species Working Group www.for.gov.bc.ca/hra/invasive-species).

7. Legacy trees will be designated (1/10 minimum required) in Mutrie Road and along 43rd Avenue. The developer shall select 13 large species trees planted along Mutrie and 43rd Avenue and identify these on landscape plans as Legacy Trees. Specific planting requirements, as per Bylaw #5051 standards.

8. Trees shall be irrigated in all public areas: entrances to the neighbourhood, 43rd Avenue, Mutrie Road, the Active Laneways and Park Areas. Irrigation design shall be developed by a professional and approved by the City of Vernon.

3.0 TREE MAINTENANCE

1. The owner shall provide maintenance of the trees and irrigation system for two years after final completion date of the applicable phase of subdivision as identified on the Phasing Plan.

2. All unhealthy or dead trees shall be replaced immediately, not at the end of the maintenance period.

3. Before the City of Vernon accepts maintenance of the trees and the associated irrigation system from the owner, an inspection shall confirm healthy well-rooted trees, as specified, and a demonstration of all components of the irrigation system shall prove it to be fully functioning, problem-free irrigation system. All trees shall meet or exceed Canadian Landscape Standards for Nursery Stock specifications for acceptable stock and maintenance requirements, as per Bylaw #5015.

4. Pruning of street trees for the first five years will be done by a professional arborist to maintain an unbranched trunk for a minimum of 2.0 m above finished grade above hardscape in the first two years and then unbranched for 2.8 m finished grade. Developer will be responsible to the first 2 years and the City Operations Services Department will be responsible thereafter.

4.0 FENCES AND BUFFERS

1. No fencing is required to be constructed as part of the development, except where fencing may be included for properties adjacent to the Agricultural Land Reserve.

2. Fences must be developed in accordance with City of Vernon CD6 Zone and the associated Design Guidelines. A section of this subdivision is adjacent to property in the Agricultural Land Reserve and must meet the requirements of a vegetative and fenced buffer, as per the British Columbia Agricultural Land Commission Guide to Edge Planning.

3. Where the developer wishes to build fencing, details of construction and location shall be provided in the Development Permit application.

5.0 HEDGES

1. A uniform hedge of one species or subspecies will not be permitted for more than 50% of a front or back property line.
2. Privacy planting should display at least three variants of the following: species, genus, height, colour and texture. Privacy plantings are encouraged to provide variation and interest in the landscape and to encourage CPTED principles for visual permeability for home owners' safety and public safety.

6.0 GROUND COVERS

1. Seeded lawns on private lots will be permitted where the lawn area has a minimum width of 1.2m.
2. Side yards shall not have lawn areas. If a walkway does not take up the entire side yard, narrow planting beds with alternate ground covers, shade tolerant shrubs, perennials and vines supported by vertical lattices are encouraged.
3. Lawn areas will be a minimum of 4 m². If the entire front or rear yard is to be lawn, it may be interrupted by a hard surface walkway, where one side is smaller than 4 m².
4. Vegetable garden plants are encouraged in planting beds in front and rear facing planting beds.
5. Rock mulch will not be permitted in front or rear yards. Rock mulch can be used in side yards with or without walkways.
6. Large boulders will be permitted in planting beds as features.

7.0 VEGETABLE AND HERB GARDENS

1. Vegetable plants and perennial herb gardens are encouraged in planting beds or container gardens.
2. Residents of zero side yards homes (Type 3), stacked row housing, secondary suites and apartments above commercial development will be given priority for community garden plots should a Community Garden in the area be created. Ornamental plantings are encouraged in patio, decks front porches, stoops and window boxes in all housing types.
3. Fruit-bearing trees are permitted but fruit must be harvested annually to discourage wildlife conflict.

8.0 EDGING

1. Edging materials shall separate ground plane materials. Concrete, paver blocks and paver bricks shall be edged to prevent failure of paved surface and erosion.
2. Planting (garden or ornamental) beds and lawns shall be separated by an edger of brick, metal or durable plastic (rated for a minimum 10 year life).
3. Root barrier shall be installed in all locations where a tree is within 1.5 m of adjacent hardscape. The root barrier shall be a minimum of 450 mm in depth, and shall be installed in a continuous length extending 1.5 m beyond each side of the trunk and have a total minimum length of 3.0 m

9.0 MULCH

1. Organic mulch a minimum of Wood bark mulch or other organic material is permitted in planting beds.

2. Wood mulch as a ground cover in an area that is not a planting bed, or at the base of a tree or shrub shall have a consistent minimum depth of 100 mm (4").

3. Landscape fabrics are not permitted in planting beds.

4. Organic mulch shall be a consistent minimum depth of 100 mm.

10.0 STORAGE

1. Storage of materials in front or rear yards should be concealed with fencing, or screened with evergreen vegetation (maximum 1.5 m height).

2. Structures for storage are encouraged to have materials and colours that match the house on the property. Sheds should not block neighbouring windows or doors.

11.0 PATIOS

1. Patios will be at grade on at least two sides of finished grade. A maximum of two steps (400 mm) above grade is permitted on the other two sides. Patio perimeters must be edged, if all sides are not at grade. Patio materials shall be non-porous, including natural flagstone, interlocking brick pavers or concrete slabs. The grade difference will be retained with treated wood, concrete block, brick or large rock/boulders or transition grade not greater than a 4:1 slope and vegetated with lawn, ground cover or planting beds.

12.0 COMMUNITY POST BOXES

Community Post Boxes shall be located within the development and the required amount will be confirmed by Canada Post. Ultimately, the community post boxes shall be located at the entrance on 43rd Avenue and near the entrance of the commercial and park area off Mutrie Road. The first bank of boxes shall be located in or near the Entrance Area labeled "Non-Park" on the Development Plan with a minimum of one five minute parking stalls. The second shall be planned in to the commercial/park area with a minimum of two five minute parking stalls. Community Post Boxes shall be adjacent to a sidewalk and accessible sidewalk ramps should be provided at key locations to reduce mobility barriers.

Park and Active Laneway Construction and Dedication Requirements - Highlands of East Hill



This document will form part of the Phased Development Agreement and be implemented and required through the subdivision process.

1.0 PARK LANDS

1. Park designs, including irrigation, shall be prepared by a registered Landscape Architect and submitted to the City of Vernon for approval prior to construction and dedication. The parks shall provide for both active and passive park user requirements and generally in accordance with the Zoning Amendment Application submissions prepared by Bench Site Design (attached). The park design shall recognize Crime Prevention Through Environmental Design (CPTED) principles. The park design process shall be as follows:

- a. Initial submission shall be the concept plan at 20% completion of park design process.
- b. Preliminary working drawings set shall be reviewed at 75% completion of park design process.
- c. Substantial working drawing set shall be reviewed at 90% completion of park design process.
- d. Final construction documents, including construction costs and projected annual maintenance costs estimates shall be reviewed and received by City of Vernon staff.

2. All plant materials provided in the park design will be hardy to Vernon's climatic conditions, soil, intense warm season sun exposure, snow loading, local humidity, winds and the micro-climatic conditions created by with the final park design.

3. A variety of trees will be selected for their capacity to provide shade, year round interest and furthering CPTED principles. Coniferous trees shall be included as winter use of the park is encouraged and anticipated. Deciduous trees are a minimum 6 cm caliper DBH and coniferous trees are a minimum 2.0 m height. Native species are encouraged.

4. All trees and shrubs shall meet the *Canadian Standards for Nursery Stock* and where modified by the requirements of *The Canadian Landscape Standard*. There shall be no substitution of specified materials once park designs have been approved, without expressed written permission by City of Vernon staff. No plant materials that are toxic shall be planted in parkland.

5. Planting beds are restricted to the park entrance areas and to include one large park name sign to City of Vernon sign standards. Woody plant material and ornamental grasses in the planting beds are favoured over herbaceous plant materials.

6. All lawn areas are to be graded, compacted and sodded according to City of Vernon specifications. Seeding lawn areas in the park may be attempted at the developer's own risk, and will only be accepted if a sufficient quality is achieved. No lawn area shall exceed a 25% slope.

7. Lawn areas, planting beds, trees and shrubs will be permanently irrigated with a fully automated irrigation system as per Bylaw #5015, and will be consistent with the equipment and control system operated by the City of Vernon.

8. Pathways are to be gently curving hard-surfaced pedestrian connections running north south between the north and south Active Laneways and a second pedestrian connection between the park entrance at

the T- intersection near the commercial node running east west to the looping interior road (as shown in Figure 2). The paths shall achieve a City of Vernon walkway standard and will be at least 3m wide. Pedestrian paths shall be universally accessible. Any stairs shall have an adjacent ramp, rail(s), wheel curb and lighting.

9. Year round access for maintenance must be considered for trash receptacle locations and pathways to accommodate service vehicles.



10. The playground is to be installed when the central park is built, as per the Phasing Plan. Residents in the first phases and the neighbouring residents shall be consulted for their input before specific playground equipment is determined. Two pieces of play equipment are required (example: one for children aged 2 to 5 years and the second for children aged 6-12 years).

11. Bike racks shall be installed close to the playground and the commercial area and generally observable from various areas of the park.

12. Park and pathway entrances and key pathway intersections within the park shall be lit. Park designs shall include a lighting plan. One electrical outlet is to be provided within the picnic area.

13. The City of Vernon would entertain suggestions for the park names but decisions will be in accordance with the Parks Naming Policy.

14. Parks shall be dedicated to the City as parkland, through plan of subdivision, and as identified on the Phasing Plan.



2.0 Active Laneway:

1. Active Laneway designs shall be prepared by a registered Landscape Architect and Engineer and be submitted to the City of Vernon for approval prior to construction and dedicated as roadway. The active laneway shall provide a shared space for vehicles to access homes and for people to walk, play and socialize. The surface shall be hardscape and landscaped generally in accordance with the Zoning Amendment Application submissions prepared by Bench Site Design attached. The design process is required as follows:

- a. Initial submission shall be the concept plan at 20% completion of active laneway design process
- b. Preliminary working drawings set shall be reviewed at 75% completion of active laneway design process
- c. Substantial working drawing set shall be reviewed at 90% completion of active laneway design process
- d. Final construction documents shall be reviewed and received by the City of Vernon staff

2. All plant materials provided in the Active Laneway design will be hardy to Vernon's climatic conditions, soil, intense warm season sun exposure, snow loading, local humidity, winds and the micro-climatic conditions created by the final active laneway design.

3. A variety of Active Laneway trees species shall be selected from the list below:

Active Laneway Trees Species List

Acer campestre (in ground planter only)
Acer truncatum
Amelanchier alnifolia and varieties
Carpinus caroliniana
Cercis Canadensis
Crataegus phaenopyrum

Hamamelis x intermedia cultivars
Heptacodium miconioides
Maackia amurensis
Malus 'Spring Snow'
Prunus maackii
Syringa reticulata 'Ivory Silk'



4. All trees and shrubs shall meet the **Canadian Standards for Nursery Stock** and where modified by the requirements of **The Canadian Landscape Standard**. There shall be no substitution of specified materials once Active Laneway design has been approved, without expressed written permission by City of Vernon staff. No plant materials that are toxic shall be planted in the active laneway.

5. Trees shall be planted in Active Laneways at grade within in-ground tree boxes, or an acceptable substitute, to contain irrigation and to protect tree roots from surface compaction, vehicle impact, vandalism, and any other damaging activities. Trees shall be permanently irrigated with a fully automated irrigation system as per Bylaw #5015 and consistent with the equipment and control system operated by the City of Vernon.



CURBLESS & UNIFIED PAVING



LANEWAY PLAY



LANEWAY AS COMMUNITY SPACE



SHARED ROADWAY

6. Lighting is to be provided to encourage evening use and late afternoon use throughout the winter months. Active Laneway design shall include a lighting plan. One electrical outlet is to be provided near the middle of the northern Active Laneway.

7. The Active Laneways shall be dedicated as Road on plans of subdivision, as identified on the Phasing Plan.



ACTIVE LANEWAY PLAN



July 5, 2018

ZON00294 The Highlands - List of Requested Variances to City of Vernon Subdivision and Development Servicing Bylaw #3843 and subsequent reponses.

Please find included below a list of requested and supported Variances to Subdivision and Development Servicing Bylaw #3843 made by the Highlands of East Hill with the associated staff responses.

SH.	SECT.	VARIANCE DETAILS		Existing Bylaw	Proposed Bylaw	City of Vernon Comments	Vernon Reservoir Development Comments
B	3.03	Lane maximum grade increased	9%	12%		Acceptable	Agreed
B	3.05	Local road minimum centreline radii reduced	95m	9.5m		Supported per the drawings provided by the developer showing that emergency vehicles are able to manoeuvre through the site with 9.5 m centerline radii corners. Some modifications to design will be required at some intersections. Need applicant to confirm design speed for each for signage	Confirmation of emergency vehicle turning radius assessment was provided for consideration
B	3.08	Lane minimum K value at intersections	N/A	2		Support	



ZON00294

The Highlands
 List of Variances Revision 2 City of Vernon
 Subdivision and Development Servicing Bylaw #3843

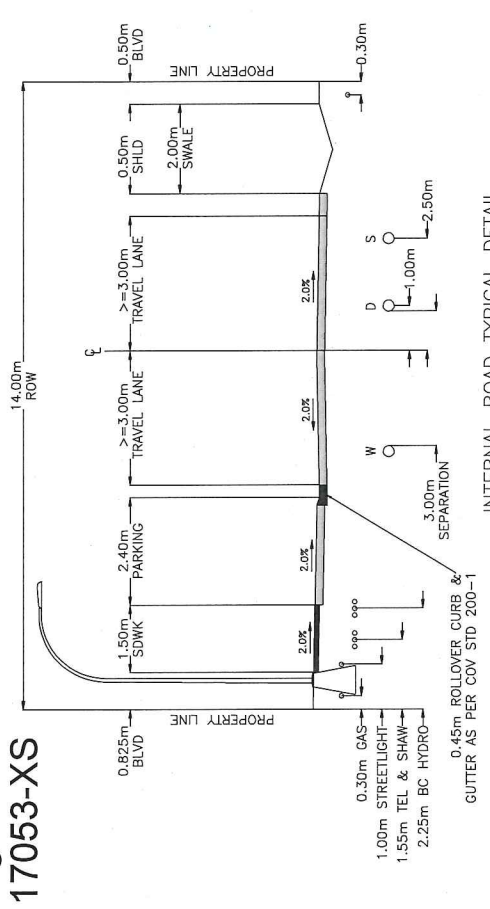
<p>B 3.10 -Local road typical cross section -variance to ROW width, street parking layout, servicing separations, curb alignment, boulevard widths and boulevard grades -Lane typical cross section – variance to ROW width, asphalt cross fall, and drainage collection -Walkway typical cross section – variance to ROW width, surface cross fall, and drainage collection</p>	<p>See 17053- XS See 100-6</p>	<p>Acceptable for support for all except center swale for lane and walkways</p>	<p>Accepted Note – the Active Laneways have deep utilities, incl. storm, and location of utilities in centre of laneway is preferred.</p>
<p>B 3.11 -Local road hillside design standard typical cross section – variance to ROW width, lane widths, street parking layout, servicing separations, curb alignment, and boulevard widths -Public lane hillside design standard typical cross section – variance to ROW width, land widths, drainage collections, servicing separations, and boulevard widths</p>	<p>See 100-6H See 17053- XS</p>	<p>Supported</p>	<p>Accepted</p>

	-Private road hillside design standard typical cross section – variance to drainage collections and servicing separations									
C	1.03 Residential local road curb type	Type 2	Type 1 or 2					Acceptable for support	Accepted	
C	2.03 Minimum and maximum boulevard grade reduced and increased, respectively	3-7.5%	2-10%					Acceptable for support	Accepted	
D	3.16 Backfill material for trenches in road areas	Pit Run	Native					Geotech required to confirm acceptable material	Accepted	
E	3.08 Minimum and maximum depth of cover reduced and increased, respectively	1.5m, 3.0m	1.2m, 5.0m					Not supported for new roads. Only permitted for existing mains in existing roads	Accepted	NOTE: Some Basements will require pumps
E	3.10 Service connections within a SRW by means other than a manhole	Manhole	Wye, Insert-a-Tee					Acceptable for support	Accepted	
E	4.01 Permit of rear yard sewer mains	Restricted	Permitted					Acceptable for support	Accepted	
E	4.03 Radius of curvature to be less than 2 times the manufacturer's recommendations	2x	1.5x					Acceptable for support	Accepted	
F	2.04 Minimum culvert size reduced Requirement for headwalls and end walls removed	400mm Endwalls	Designed, Sandbags					Not supported for pipe diameter. Sandbag head walls permitted. NOTE:	Accepted	

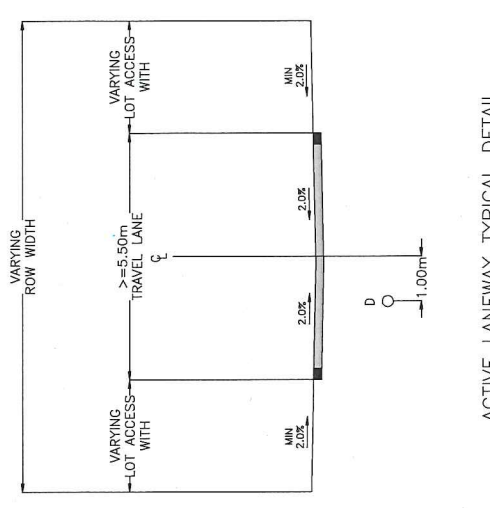
F	2.15	Minimum acceptable volumetric factor of safety reduced	2 (100%)	10%	Curbing option will be alternative. Limited snow storage will be result	Accepted
G		Ability to use and limit; style, type and number of decorative and /o standard lighting on laneways and pathways, active laneways, withii development site.			Accepted subject to approval of an overall Lighting Plan submitted with Development Permit and Subdivision to add flexibility. Where varied from the bylaw, follow MMCD standards.	Accepted
O	100-7	Walkway and 6.0m Lane – see details on Sch B Sect. 3.10	100-7	See 17053-XS	Acceptable for support subject to no center swale	Accepted NOTE – Reference F2.04 –
O	100-9	Typical Boulevard Construction – variance to reduce boulevard grade	100-9	See 17053-XS	Acceptable for support	Accepted
O	100-11	Expanded Corner – variance to reduce ROW width, lane widths and vary curb return radii	100-11	See 17053-XS	Acceptable for support based on confirmation from the developer that emergency vehicles can manoeuvre through the site.	Accepted NOTE Reference review of turning radii based on emergency vehicle dimensions.

O 100-16	Typical Utility Corridor Residential – variance to utility depths and separations as required by shallow utility providers	100-16	See 17053-XS	Must receive written confirmation for all shallow utility providers	Accepted
O 200-4	Typical Wheelchair Ramp – variance to curb return radii and reduction of sidewalk minimum slope	200-4	4.5m, 2%	Supported subject to ensuring grades not exceeding maximum for disabled users	Accepted

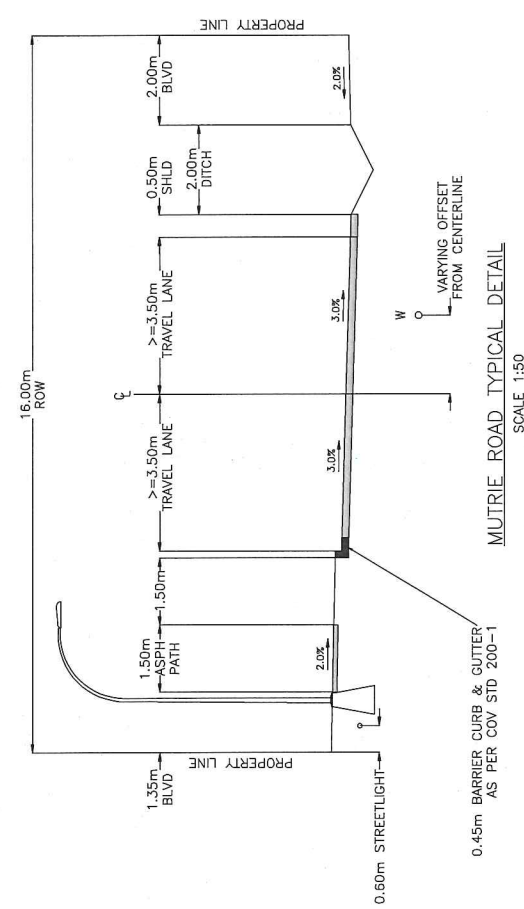
Highlands - Exhibit A - Road Cross Section Variance B-3.10, B-3.11 17053-XS



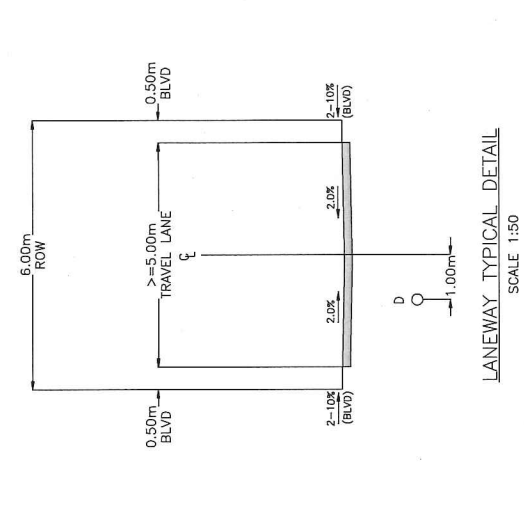
INTERNAL ROAD TYPICAL DETAIL
SCALE 1:50



ACTIVE LANEWAY TYPICAL DETAIL
SCALE 1:50



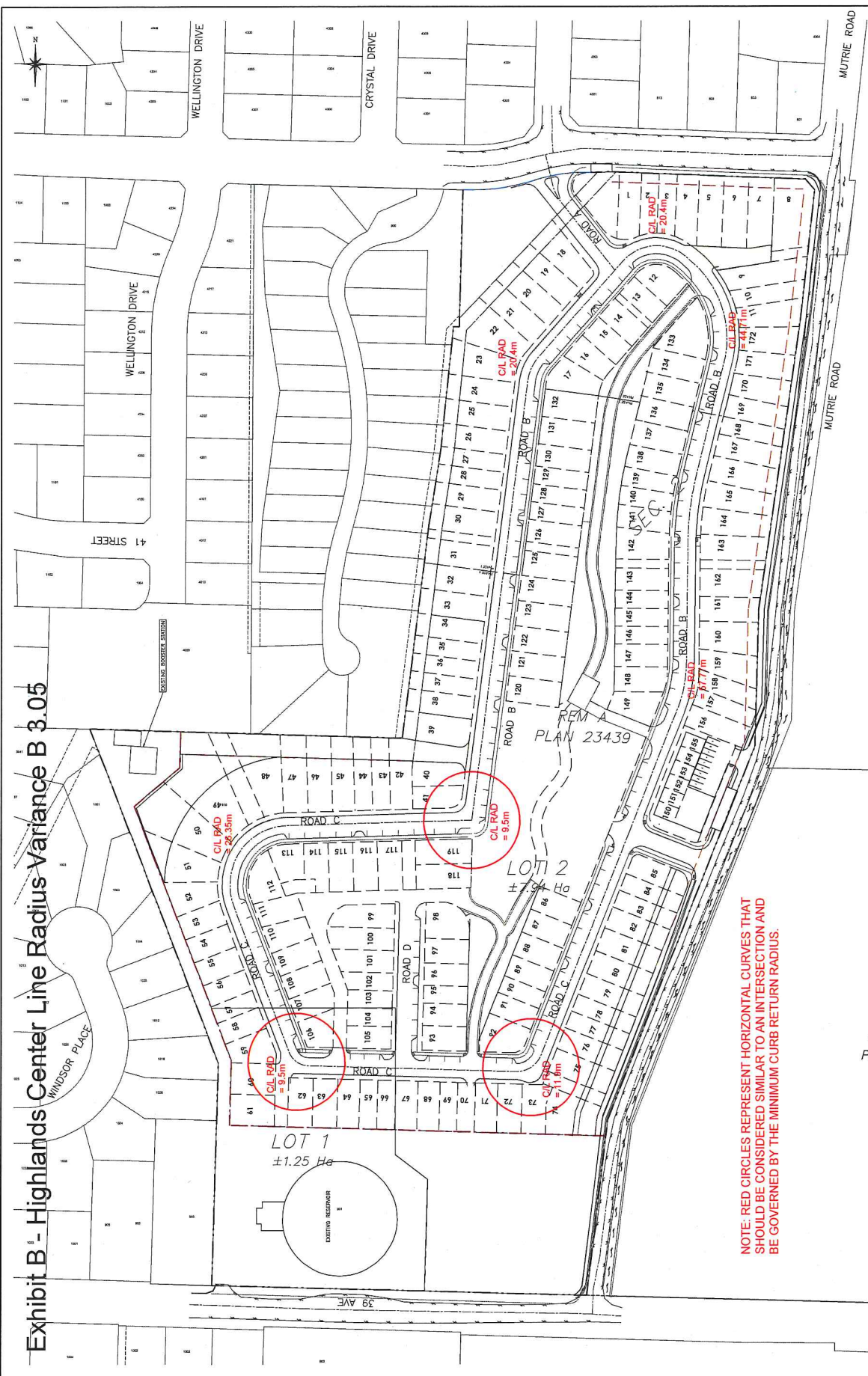
MUTRIE ROAD TYPICAL DETAIL
SCALE 1:50



LANEWAY TYPICAL DETAIL
SCALE 1:50

Legend Water Storm Sewer Sanitary Sewer Gas Telephone U.S. Erection	I.C. C.S. U.P.T. SERVICE BOX	Manhole Lamp Standard Catch Basin Street Light Tree	0.60m 1.00m 1.50m 2.00m 2.50m 3.00m 3.50m 4.00m 4.50m 5.00m 5.50m 6.00m 6.50m 7.00m 7.50m 8.00m 8.50m 9.00m 9.50m 10.00m 10.50m 11.00m 11.50m 12.00m 12.50m 13.00m 13.50m 14.00m 14.50m 15.00m 15.50m 16.00m 16.50m 17.00m 17.50m 18.00m 18.50m 19.00m 19.50m 20.00m	NO. DATE BY	REVISION	(b)(6)	DRAWN: KCL DESIGNED: KCL APPROVED: APR 2018 DATE: 1:750 SCALE:	THE CITY OF VERNON ENGINEERING DIVISION THE HIGHLANDS REM LOT A PLAN 23439 TYPICAL ROAD CROSS SECTIONS	DRAWING NO. 17053-XS 0
							STONI CONSULTANTS INC. CONSULTING 2012 100-1111 St. James Street Vancouver, BC V6A 2E4 Tel: 604-278-8888 Fax: 604-278-8889 Email: info@stoni.ca	PRIMA ENGINEERING INC. CONSULTING 2012 100-1111 St. James Street Vancouver, BC V6A 2E4 Tel: 604-278-8888 Fax: 604-278-8889 Email: info@prima.ca	

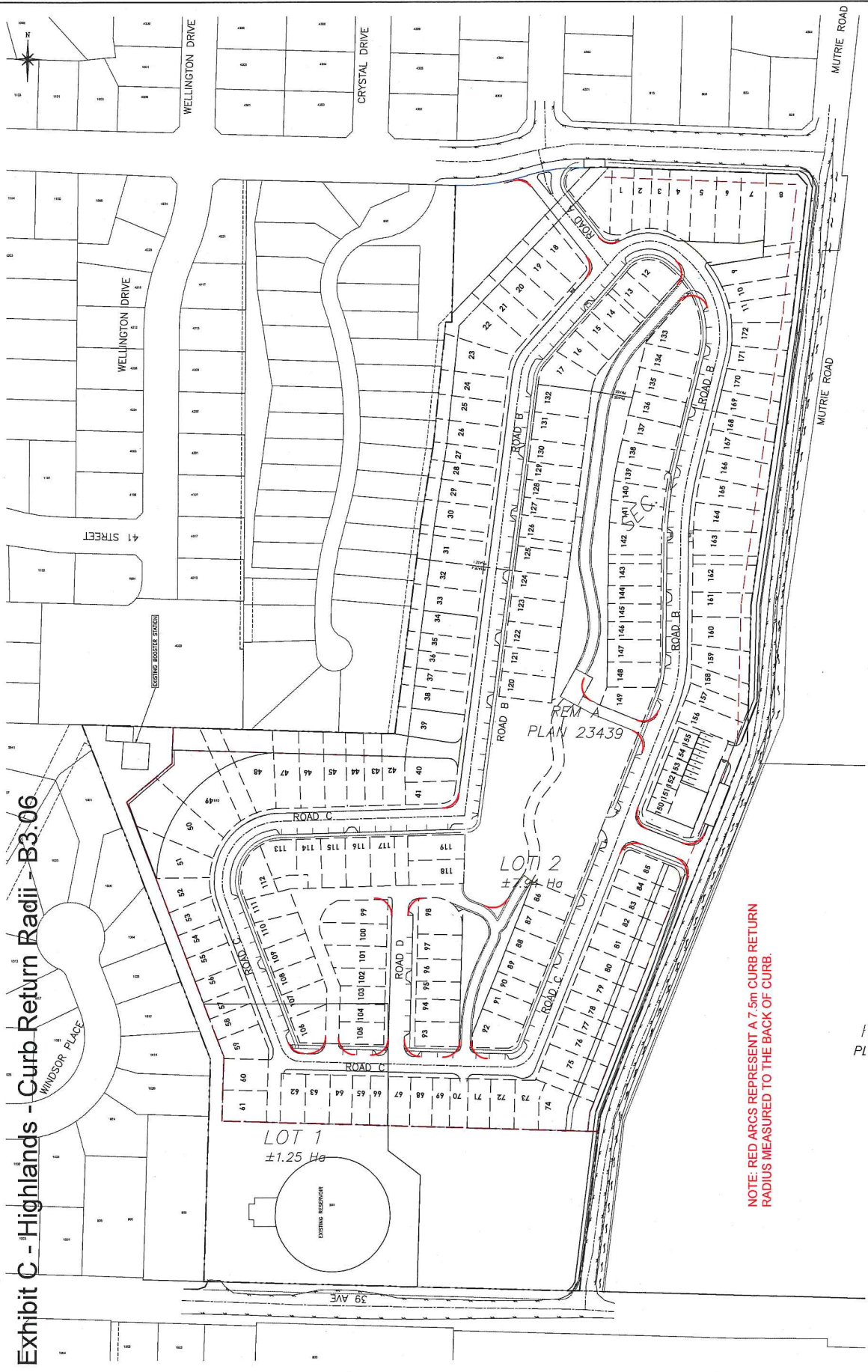
Exhibit B - Highlands Center Line Radius Variance B 3.05



NOTE: RED CIRCLES REPRESENT HORIZONTAL CURVES THAT SHOULD BE CONSIDERED SIMILAR TO AN INTERSECTION AND BE GOVERNED BY THE MINIMUM CURB RETURN RADIUS.

Legend Water Sewer Storm Water Gas Electric U.C. Electric	Murbles Power Pole Pole Cable Cable Work	I.C. C.S. LPT SERVICE BOX	O.H. P.P. S.P. C.S. LPT SERVICE BOX	NO. DATE REVISION D.P.O.	DESIGN DESIGNED APPROVED DATE SCALE 1:150
THE CITY OF VERNON ENGINEERING DEPARTMENT THE HIGHLANDS REM LOT A PLAN 23439 CENTERLINE RADIUS			DRAWING NO. 17053 REC. NO. 0		

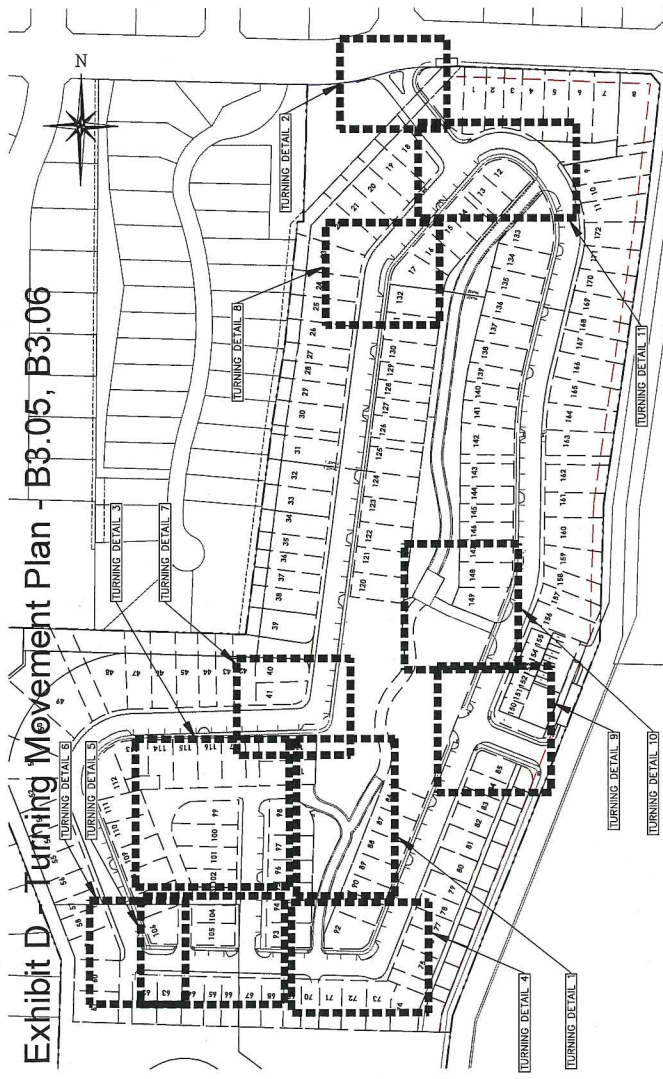
Exhibit C - Highlands - Curb Return Radii - B3.06



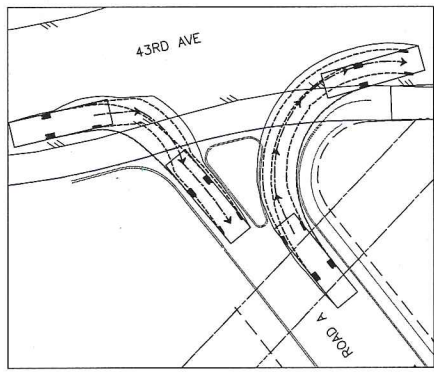
NOTE: RED ARCS REPRESENT A 7.5m CURB RETURN RADIUS MEASURED TO THE BACK OF CURB.

Legend Water Storm Sewer Gas Telephone U.C. Electrical		Manhole Lamp Standard Catch Basin Valve Trench	I.C. C.S. LPT SERVICE BOX	PL	 PRIMA ENGINEERING INC. CONSULTING SOLE 100 - 10100 - 102 Street, Suite 101, Edmonton, Alberta, Canada T6E 6K1	 Stoni Consulting Holdings	NO. DATE BY REVISION DATED	DRAWN: KCL DESIGN: KCL APPROVED: KCL DATE: JULY 2018 SCALE: 1:750	THE CITY OF VERNON ENGINEERING DEPARTMENT THE HIGHLANDS REM LOT A PLAN 23439 CURB RETURN RADIUS	DRAWING NO. 17053 REV. NO. 0
--	--	--	------------------------------------	----	--	---	----------------------------	---	---	---------------------------------

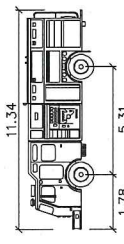
Exhibit D - Turning Movement Plan - B3.05, B3.06



TURNING DETAIL KEY PLAN
SCALE 1:1000

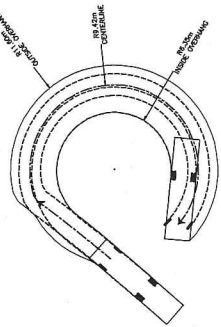


TURNING DETAIL 2
ROAD A - 43RD AVE INTERSECTION

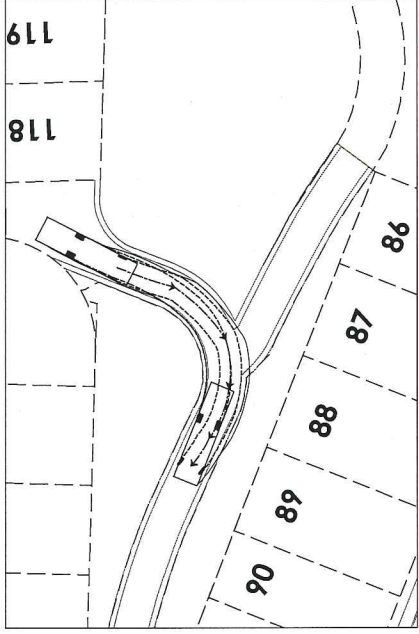


COV Fire Engine L1 meters
 Width : 2.83
 Track : 2.83
 Lock to Lock Time : 6.00
 Steering Angle : 34.3

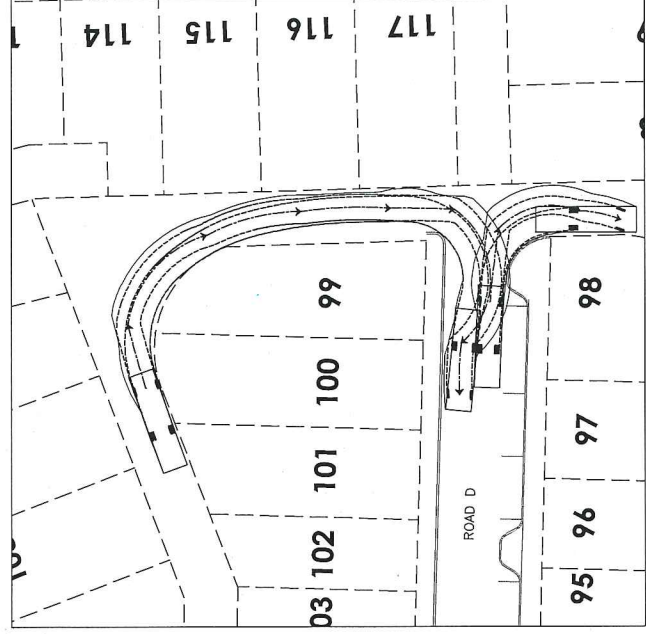
VEHICLE TURNING TEMPLATE



VEHICLE TURNING RADIUS



TURNING DETAIL 1
ACTIVE LANEWAY 1



TURNING DETAIL 3
ROAD D - LANEWAY INTERSECTION

PRIMA ENGINEERING INC.
PROTECH CONSULTING
 CONSULTING ENGINEERS

Legend
 Water
 Sewer
 Gas
 Electrical
 U.C. Electrical

Manhole
 Power Pole
 Catch Basin
 Valve

O.M.
 C.S.
 LPT
 SERVICE BOX

Revised Vehicle Size
 Additional Turning Movements
 Revision

Stonix
 Consolidated Holdings

DATE: 07/04/18
 BY: KCL
 REVISION: 2

DATE: 02/27/18
 BY: KCL
 REVISION: 1

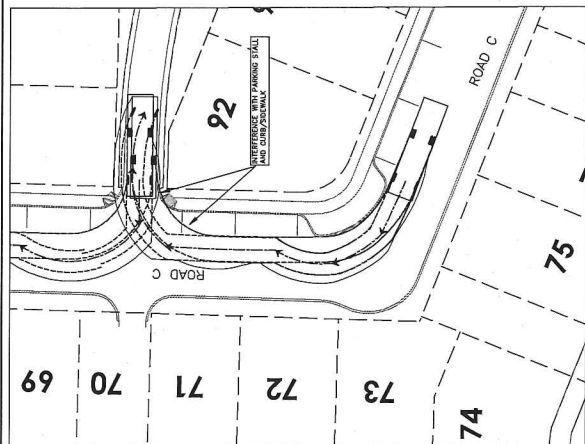
TURNING DETAIL 2
 ROAD A - 43RD AVE INTERSECTION

TURNING DETAIL 3
 ROAD D - LANEWAY INTERSECTION

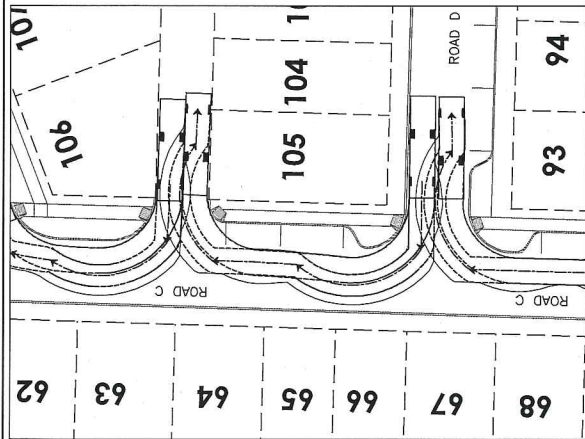
THE CITY OF VERNON
 ENGINEERING DEPARTMENT

THE HIGHLANDS
 REM LOT A PLAN 23439
 TURNING MOVEMENTS PLAN

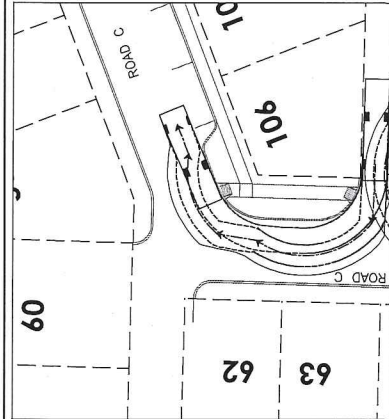
DESIGN
 DRAWING NO. 17053-TM1
 REV. NO. 2



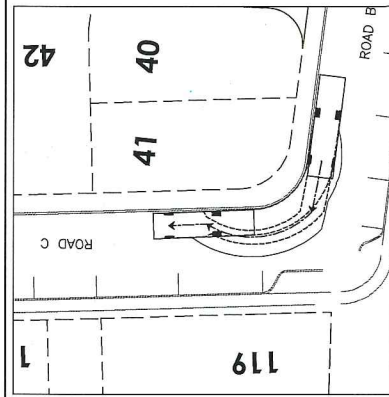
TURNING DETAIL 4
11.8m. CENTERLINE RADIUS CURVE &
ROAD A - ACTIVE LANEWAY 1 INTERSECTION



TURNING DETAIL 5
ROAD C - ROAD D INTERSECTION &
ROAD C - LANEWAY INTERSECTION

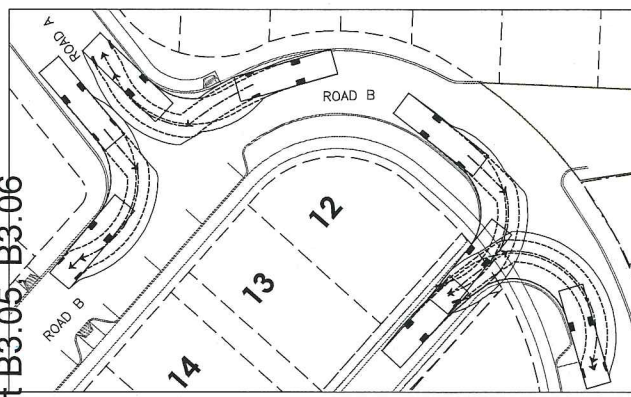


TURNING DETAIL 6
9.5m. CENTERLINE RADIUS CURVE

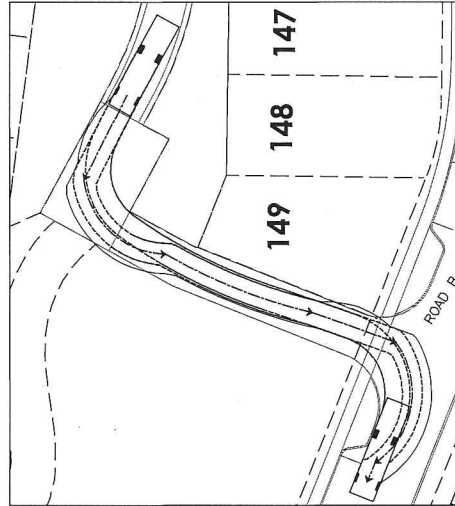


TURNING DETAIL 7
9.5m. CENTERLINE RADIUS CURVE

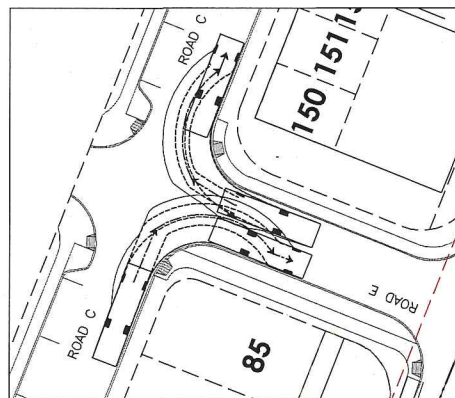
Exhibit E - Turning Movement B3.05-B3.06



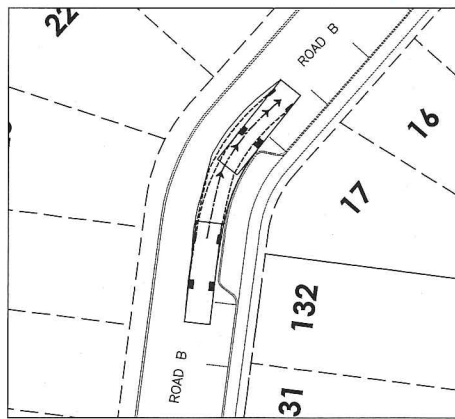
TURNING DETAIL 11
ROAD A - ROAD B INTERSECTION
ROAD B - ACTIVE LANEWAY 2 INTERSECTION



TURNING DETAIL 10
ACTIVE LANE WAY 2 &
ROAD B - ACTIVE LANEWAY 2 INTERSECTION



TURNING DETAIL 9
ROAD C - ROAD E INTERSECTION



TURNING DETAIL B
ROAD A - ROAD B INTERSECTION

Legend

	Water		Manhole		I.C.
	Storm Sewer		O.W.		C.S.
	One Way		Lamp Standard		LFT
	Gas		Cable Tray		SA
	U.S. Electrical		Traffic		SERVICE BOX

PRIMA ENGINEERING INC.
PROTECH CONSULTING 2018
Stoni
Consultants Pathology

NO.	DATE	BY	REVISION	DATE	SCALE	REASON
1	05/23/18	KCL	ADDITIONAL TURNING MOVEMENTS		1:250	
2	07/04/18	KCL	REVISED VEHICLE SIZE			

THE CITY OF VERNON
ENGINEERING DEPARTMENT
THE HIGHLANDS
REM LOT A PLAN 23439
TURNING MOVEMENTS PLAN

DESIGN	KCL
APPROVED	KCL
DATE	JUNE 2018
SCALE	1:250
DRAWING NO.	17053-TM2
REV. NO.	2

Survey Report

14 January 2018 - 12 February 2018

McMechan Neighbourhood Concepts

PROJECT: McMechan Lands Neighbourhood Concepts

Engage Vernon



Q1 What do you like about the proposed neighbourhood concept?

- f
1/25/2018 04:25 PM
Active Laneway, Community Park and Greenspace, most of the residential parking is set along the active laneway making the front entrances to homes the priority,
- 1/26/2018 10:49 AM
I like to concept as stated now and I think it shows great prospects if you achieve all the goals stated.
- 1/27/2018 10:19 AM
There is a park in the neighbourhood for everyone
- 1/27/2018 10:27 AM
It looks good on paper.....Good use of property and we certainly need more housing here. Hopefully it won't turn out to be a neighbourhood for rich people only.
- 2/02/2018 08:57 PM
I like the overall design - neighbourhood park, pedestrian walkways, variety of home plans types, small commercial node
- 2/02/2018 09:54 PM
Encourages interaction between people who live there. Living spaces and green spaces. Little village feel.
- It all looks pretty in drawings. I like the active lane concept.

2/03/2018 04:58 PM

2/05/2018 10:27 AM

the laneways, incorporating trails and greenspaces/parks is an excellent concept. I also like that the development proposes a range of housing types, sizes and price ranges. I feel like this development should focus more on medium to smaller sized homes as there are already lots of other developments going on building large homes that only people who do not live and work in Vernon can afford.

2/05/2018 12:14 PM

The fact that Mutrie Rd will be widened and sidewalks established will benefit the community. Many people walk the rural road for exercise or to access the dog park and traffic races through as it is used as a fast track route to avoid traffic on 27th St and Pleasant Valley. This road is very scary for walkers. I like that there is such a neighbourhood being built in Vernon.

2/06/2018 01:04 PM

I love the idea of the whole concept. That it is affordable and a lot of thought has gone into helping people get into housing. I love the idea of community and bringing people together.

2/06/2018 04:06 PM

Interesting concepts with a nod to densification and green spaces. Great opportunity to go much further (at little cost) with: - a 'Green Building Plan' in the spirit of Vancouver's step program to have all buildings carbon neutral by 2030; e.g. - a solar ready community, - 'passive', net zero, low energy housing, - district heating.

2/09/2018 08:12 PM

Interesting start of an idea to increase housing density in Vernon and provide affordable residences.

2/10/2018 08:55 AM

Optional question (13 responses, 2 skipped)

Q2 What could be improved or changed?

1/25/2018 04:26 PM

Car Share Spaces, More connectivity to surrounding neighbourhoods/streets, Bicycle lane or pedway (separated from vehicle traffic) to link through neighbourhood, add in community garden space, multi-family units, parking for commercial node is right at the "gateway entrance" to the neighbourhood prioritizing parking/cars over people - can this be redesigned to have the commercial node parking less obtrusive

1/26/2018 10:45 AM

I think as you are hoping to have some housing for those requiring it that it would be nice to have a community garden set in place to allow them to grow and eat fresh vegetables and give the younger generation experience in gardening and what can result when you apply yourself. I was glad to see that 10% had been set aside for possible below market value. I am worried about who is going to be required to pay for all the up keep of the area, are homeowners or a monthly fee going to be required, as this can deter people from purchasing if they have income problems. Is there going to be any help available to assist with down payments. The plans as I saw them did not really state the size of the lots or the houses to be built (1,2, or 3 bedrooms,

garage or no garage

Less homes so they can have larger lots/yards

1/27/2018 10:19 AM

There will be more traffic on 43rd Avenue and 39th avenue....What about additional children going into the schools in the area.....Has that been addressed?

1/27/2018 10:27 AM

There needs to be less density - this area is a transition between rural and urban neighbourhoods - it should conform to the rest of the neighbourhood. Small lot density will completely change the look and feel of the whole neighbourhood. There needs to be more green space - there are no City parks in this whole area. This is the last large tract of land that could be used for a park.

2/02/2018 09:57 PM

Would involve a perma-culturist and incorporate "edible landscapes". No lawns just for being pretty that have to be sprayed to stay without "weeds". Create lots of places that invite mingling, sitting together or alone, enjoying other people or the beautiful area we call home. Maybe a water feature like a man made creek and waterfall? How about a community garden?

2/02/2018 09:54 PM

There needs to be a continuous side walk along 39 Ave and Mutrie Roads so people are invited not excluded from walking around the property off of the roadway. Could the ALR setback be used to include walking/cycling pathways.

2/03/2018 04:59 PM

I am unsure of the traffic impacts of this development, but understand from previous conversations with traffic planners that each home generates 5 to 7 vehicle trips per day. This additional potential for 1000+ more vehicle trips daily seems like it could overwhelm the already crowded Pleasant Valley Road intersections at 39th and 43rd Ave. Will the City expect the developer to contribute toward improvements (e.g. roundabouts, etc) at those intersections? Will Mutrie Road also be upgraded? If so, pedestrian safety must be part of this plan.

2/05/2018 10:27 AM

Uplands is a 55 and over community next to the reservoir. It has always enjoyed a quiet private setting and with the overly dense project proposed to be built next to it this will no longer be true. As an act of goodwill I would like the developer of this high density residential project to install a fence to maintain privacy, security and to act as a noise barrier before they start the project. This development needs more parking than is shown. A large visitor parking at each access road would be the best way, there would not be as much traffic through the community. And the district would be able to plough it the way they do the roads. Every family has at least 2 cars many using their garages for storage and their driveways for parking. If they have a teenager there is another parking spot. If they have a rental there is two more parking spots. What has been shown for parking is not adequate.

2/05/2018 12:14 PM

I think there should be sidewalks on every street. I do not agree with narrower roads as this is detrimental to bicyclers, walkers, joggers, people using the streets for recreation. Homes should allow for slightly bigger front or back yards to encourage gardens, allowing for fenced areas for pets, and enjoying the outside.

2/05/2018 01:04 PM

2/06/2018 04:08 PM

The possibility of garden space. Either a community garden or space beside or behind the house for people to grow veggies (whatever is better for sun exposure)

2/08/2018 03:28 PM

Would like to see more densification, more affordable housing, more variety of housing options. Could the old (dry) reservoir be used for underground parking, or a parking area, thus eliminating at least some of the required street and off-street parking in the neighbourhood?

2/08/2018 08:12 PM

1. There is too much hard surface pavement. Cars & kids don't mix well. Make the lane a dedicated pedestrian mall green space, with places for basket & bocci ball, hockey, gardens, & sitting. With cars accessing garages in the lanes, kids will gravitate to the relatively empty streets. Face homes to the attractive, safe, greenway & playground. Parents want to see their kids. Limit vehicle activity to one area; the street. 2. Join other cities to make this a solar community to be proud of; one that won't be a drag on energy bills & climate change the rest of its life. This can be done cheaply if planned from the beginning. 3. Consider some form of district heating (Drake Landing, Okatoks, Alta.)

2/10/2018 08:58 AM

There is a lot of unnecessary vehicle transit space. Nearly every unit can be accessed from the front OR the back (through a laneway or small road); one vehicle entry would be entirely sufficient. The space would be much more useful if the building design were shifted, and this extra space used to create a long park running for most of the length of the subdivision. This would create a much nicer sense of community, especially if there were small pedestrian corridors to enter the park from outside (similar to the ones already proposed). Especially with duplexes or row houses with small backyards, opening into a community park would make these units (and the community) much more attractive. Units on Mutrie road could surely use that as their access point, rather than wasting space to create another roadway to enter these units.

Optional question (14 responses, 1 skipped)

Q3 Do you have any additional comments or concerns?

1/26/2018 10:40 AM

I am worried about the idea of secondary suites and or carriage housing, in an area this small could this not lead to a strain on all utilities and the might also attract a bad crowd. Will these secondary suites and carriage houses be registered and monitored and will the monies collected be declared on income taxes. You also stated that some of these units could be under the control of group, would this not lead to undesirables being allowed to stay in what we are hoping to be a friendly, quiet neighborhood

1/27/2018 10:10 AM

What consideration has been given to the school district? This is in Silver Star Elementary catchment and the school is at capacity. There is an expansion planned for the school, but not big enough to accommodate the number of new families. Has the City of Vernon or the developer met with the school board about this?

1/27/2018 10:27 AM

We live in the area (40th Ave and 39th St), and there will be more traffic going up and down 39th. It is bad enough in normal weather, but winter it is awful. People park on this street and getting around these parked vehicles with high snow banks is like playing Russian Roulette. Has there been plans for increased traffic?

2/02/2018 06:57 PM

I do not think that the City of Vernon has thoroughly assessed the impact that a neighbourhood of this density will have on our roadways, water, sewer, and schools, as well as the existing neighbourhoods in this area. I think that the city is focusing solely on the cash that this sale will bring - common sense seems to be lacking.

2/02/2018 09:54 PM

Is there parking for visitors? Space for a second vehicle if the houses only have one car garages? Maybe some storage lockers? Allow all ages. Older people are healthier with youngsters around. Maybe they could help out with baby sitting kids from young busy families. An area to have music and dance? This could be a really awesome, fun, creative, healthy place! Since the houses haven't been built yet why couldn't they incorporate solar panels and plans to use the grey water wisely? Etc. you know, think ecologically, for the future, for this, our planet!!

2/03/2018 04:59 PM

As a resident of 11 Street off 39 Ave I am concerned about the extra traffic that will ensue along 39 and 43 Avenues and would like to know what the plans are to integrate the additional volumes before the problems develop rather than after.

2/05/2018 10:27 AM

Any approval by council should have strictly enforced requirements for the developers to follow in terms of housing types and also for the city to recover the full cost of development impacts on traffic and city services. The developer should not be allowed to sell the development on approval of the re-zoning without prior City approval.

2/05/2018 12:14 PM

The increased traffic on 39 and 43 ave will be over the top. Where they connect on Pleasant Valley will be backed up both hills which will be scary in the winter with the icy roads. Plus neither 39 or 43 ave are not built for the constant truck traffic. For pedestrian safety crosswalks will need to be painted at roads crossing these 39 and 43 ave on the hill to the development. Maybe another road access in / out so there is better flow and connectivity to the surrounding neighbourhoods. Sidewalks and linear pathways are important.

2/06/2018 01:01 PM

I would want something in place to ensure that the neighborhood is not bought out by investors and rented out. I'm all for mortgage helpers, but I'm thinking of someone renting out the top and bottom of a house and the home owner not living around. Renters don't always take as good care and attention to things as a home owner would.

2/06/2018 04:03 PM

I am a young senior and have noticed that there is not a lot of gated communities for 60+ . There is a small one called the "Uplands" at the top of 43rd Avenue. Could we not have a bare land strata at the top of 39th Avenue and Mutrie Road? Or maybe expanding the "Uplands"? We are getting to be a large population that are relatively active but don't like shovelling snow and mowing lawns etc. Just my thoughts....

2/07/2018 03:10 PM

The diagrams of housing is not legible (too small) How can comments be

2/08/2018 03:28 PM

made if we can't view properly?

Have you considered enhanced public transit to the top of the hill?

2/08/2018 08:12 PM

The concepts could go much further to make this a really nice sustainable community. For example, solar panels could be added to make this a better long-term plan for the city (and for the residents)

2/10/2018 08:58 AM

Optional question (14 responses, 1 skipped)

McMechan Neighbourhood Concept Feedback Form

Vernon is a growing city. To accommodate this growth in a responsible and affordable manner, residential development is encouraged close to existing services and amenities like schools, parks and shopping. This approach uses existing infrastructure more efficiently, thus having less of a burden on taxpayers, while protecting agricultural land and natural areas.

The 20 acre McMechan Reservoir site offers a tremendous opportunity to create a compact residential neighbourhood with park space and trails that is designed to meet the needs of today's families. The site is designated Small Lot Residential in the Official Community Plan which encourages single family homes, duplexes, townhomes and row housing. To provide rental opportunities and mortgage helpers, secondary suites and carriage houses are also being encouraged. Detailed engineering, transportation and design work are ongoing and will form part of a rezoning process. Please review the information provided and let us know what you think. **To view the draft concept plans and to fill out this survey electronically, please visit www.engagevernon.ca.**

1. What makes a great neighbourhood? Give us your ideas for creating a great neighbourhood.

Please Comment:

Places for kids to play, family living & getting together with other families.

2. What do you like about the proposed neighbourhood concept?

Please Comment:

I like the laneway idea. The location is a great neighbourhood. The park idea is good. perhaps more park spaces



3. What could be changed or improved?

Please Comment:

→ Bigger lots, not as crammed
more yards
- ability to buy a lot & build a custom home with
custom floor plan. Roof top patio perhaps (to take advantage
of the view)

4. Do you have any additional concerns or comments?

Please Comment:

Some lots do not have laneway access, particularly
the one near the park (or 2 of them)
- I don't think a commercial business would do well in
that location.

5. Age 46

Postal Code V1T 7K5

Thank you for participating. Your feedback is important and valued.

Please submit this form at the Open House, fax to 250-545-5309, email to ccorbett@vernon.ca or mail it to 3001 32nd Avenue, Vernon, B.C., V1T 2L8. The deadline for submissions is February 15, 2018. If you wish to provide further information or if you have questions, please email Cleo Corbett, Long Range Planner at ccorbett@vernon.ca or call the Community Services Building at 250-550-3634.

Please note, this feedback form is voluntary and we encourage you to respond. The information collected will be presented to Council and will help refine the neighbourhood development concepts as part of a rezoning process. You do not need to provide personal information for your submission to be considered. Personal information that is submitted will be treated as though the City has received your consent to disclose it to the Mayor and Council, appropriate staff and the public. If you do not want your name, address or email address published, please do not provide them.

McMechan Neighbourhood Concept Feedback Form

Vernon is a growing city. To accommodate this growth in a responsible and affordable manner, residential development is encouraged close to existing services and amenities like schools, parks and shopping. This approach uses existing infrastructure more efficiently, thus having less of a burden on taxpayers, while protecting agricultural land and natural areas.

The 20 acre McMechan Reservoir site offers a tremendous opportunity to create a compact residential neighbourhood with park space and trails that is designed to meet the needs of today's families. The site is designated Small Lot Residential in the Official Community Plan which encourages single family homes, duplexes, townhomes and row housing. To provide rental opportunities and mortgage helpers, secondary suites and carriage houses are also being encouraged. Detailed engineering, transportation and design work are ongoing and will form part of a rezoning process. Please review the information provided and let us know what you think. **To view the draft concept plans and to fill out this survey electronically, please visit www.engagevernon.ca.**

1. What makes a great neighbourhood? Give us your ideas for creating a great neighbourhood.

Please Comment:

Roads - access, snow removal, garbage trucks -
Need good width since roads shrink in winter.
Parks - provide green space & recreation

2. What do you like about the proposed neighbourhood concept?

Please Comment:

I like the mix of dwelling types.
This could/should result in a good mix
of family types & sizes.



3. What could be changed or improved?

Please Comment:

Driveways from the street to the house
would get vehicles off the street. Better
for emergency vehicle access, snow removal,
garbage pickup, etc.

4. Do you have any additional concerns or comments?

Please Comment:

Hopefully, 43 rd Ave and 39 th Ave,
will see some upgrades to handle
the extra volume. Construction
traffic will likely have some
impact in the current major
arteries.

5. Age 67

Postal Code V1T 9H7

Thank you for participating. Your feedback is important and valued.

Please submit this form at the Open House, fax to 250-545-5309, email to ccorbett@vernon.ca or mail it to 3001 32nd Avenue, Vernon, B.C., V1T 2L8. The deadline for submissions is February 15, 2018. If you wish to provide further information or if you have questions, please email Cleo Corbett, Long Range Planner at ccorbett@vernon.ca or call the Community Services Building at 250-550-3634.

Please note, this feedback form is voluntary and we encourage you to respond. The information collected will be presented to Council and will help refine the neighbourhood development concepts as part of a rezoning process. You do not need to provide personal information for your submission to be considered. Personal information that is submitted will be treated as though the City has received your consent to disclose it to the Mayor and Council, appropriate staff and the public. If you do not want your name, address or email address published, please do not provide them.

McMechan Neighbourhood Concept Feedback Form

Vernon is a growing city. To accommodate this growth in a responsible and affordable manner, residential development is encouraged close to existing services and amenities like schools, parks and shopping. This approach uses existing infrastructure more efficiently, thus having less of a burden on taxpayers, while protecting agricultural land and natural areas.

The 20 acre McMechan Reservoir site offers a tremendous opportunity to create a compact residential neighbourhood with park space and trails that is designed to meet the needs of today's families. The site is designated Small Lot Residential in the Official Community Plan which encourages single family homes, duplexes, townhomes and row housing. To provide rental opportunities and mortgage helpers, secondary suites and carriage houses are also being encouraged. Detailed engineering, transportation and design work are ongoing and will form part of a rezoning process. Please review the information provided and let us know what you think. **To view the draft concept plans and to fill out this survey electronically, please visit www.engagevernon.ca.**

1. What makes a great neighbourhood? Give us your ideas for creating a great neighbourhood.

Please Comment:

-	No High Density Housing
-	Low Traffic Flow
-	Green Space
-	Room to move freely and safety
-	throughout Neighbourhood
-	Silver Star School is already @ capacity. Where will these kids go to school?

2. What do you like about the proposed neighbourhood concept?

Please Comment:

-	Nothing -
-	I'm very disappointed in how the City of Vernon "spins" their concepts to serve their own needs and agendas



3. What could be changed or improved?

Please Comment:

Project should be cancelled. Let the developer get rich in another neighbourhood.

4. Do you have any additional concerns or comments?

Please Comment:

The majority of East Hill residents live upon East Hill because it is quiet, rural and close to town. This development serves to diminish the quality of life of existing residents. If we wanted to live in a heavily populated area we would move downtown or to Middleton Mountain or The Foothills.

5. Age 55

Postal Code V1T 9m6

Thank you for participating. Your feedback is important and valued.

Please submit this form at the Open House, fax to 250-545-5309, email to ccorbett@vernon.ca or mail it to 3001 32nd Avenue, Vernon, B.C., V1T 2L8. The deadline for submissions is February 15, 2018. If you wish to provide further information or if you have questions, please email Cleo Corbett, Long Range Planner at ccorbett@vernon.ca or call the Community Services Building at 250-550-3634.

Please note, this feedback form is voluntary and we encourage you to respond. The information collected will be presented to Council and will help refine the neighbourhood development concepts as part of a rezoning process. You do not need to provide personal information for your submission to be considered. Personal information that is submitted will be treated as though the City has received your consent to disclose it to the Mayor and Council, appropriate staff and the public. If you do not want your name, address or email address published, please do not provide them.

City of Vernon is Destroying "Rural" Living!

McMechan Neighbourhood Concept Feedback Form

Vernon is a growing city. To accommodate this growth in a responsible and affordable manner, residential development is encouraged close to existing services and amenities like schools, parks and shopping. This approach uses existing infrastructure more efficiently, thus having less of a burden on taxpayers, while protecting agricultural land and natural areas.

The 20 acre McMechan Reservoir site offers a tremendous opportunity to create a compact residential neighbourhood with park space and trails that is designed to meet the needs of today's families. The site is designated Small Lot Residential in the Official Community Plan which encourages single family homes, duplexes, townhomes and row housing. To provide rental opportunities and mortgage helpers, secondary suites and carriage houses are also being encouraged. Detailed engineering, transportation and design work are ongoing and will form part of a rezoning process. Please review the information provided and let us know what you think. To view the draft concept plans and to fill out this survey electronically, please visit www.engagevernon.ca.

1. What makes a great neighbourhood? Give us your ideas for creating a great neighbourhood.

Please Comment:

- Greenspace between houses
- Side walks → walkable streets
- Lighting
- traffic calmed streets

2. What do you like about the proposed neighbourhood concept?

Please Comment:

I do not like any of it. It is inconsistent with the existing surrounding neighbourhoods and is a negative development for the area.
The density is much too high (2x twice as high as it should be)

Traffic Issues do not appear to be thought out, neither the additional load on Silver Star School which is already full to the max.

3. What could be changed or improved?

Please Comment:

- reduce the density
 - have a real plan for the additional traffic on 39th and 43rd that will result.
 - ~~inter~~

4. Do you have any additional concerns or comments?

Please Comment:

- Intersection of 39th and 43rd will be overloaded at P.V. intaseect.
 - The entire process from the city on the announcement of this project appears to be a "backroom" deal devoid of any public involvement on public land.

5. Age 59

Postal Code V1T 9W6

The integrity of the city and council
 Thank you for participating. Your feedback is important and valued.
 is really questionable!

Please submit this form at the Open House, fax to 250-545-5309, email to ccorbett@vernon.ca or mail it to 3001 32nd Avenue, Vernon, B.C., V1T 2L8. The deadline for submissions is February 15, 2018. If you wish to provide further information or if you have questions, please email Cleo Corbett, Long Range Planner at ccorbett@vernon.ca or call the Community Services Building at 250-550-3634.

Please note, this feedback form is voluntary and we encourage you to respond. The information collected will be presented to Council and will help refine the neighbourhood development concepts as part of a rezoning process. You do not need to provide personal information for your submission to be considered. Personal information that is submitted will be treated as though the City has received your consent to disclose it to the Mayor and Council, appropriate staff and the public. If you do not want your name, address or email address published, please do not provide them.

McMechan Neighbourhood Concept Feedback Form

Vernon is a growing city. To accommodate this growth in a responsible and affordable manner, residential development is encouraged close to existing services and amenities like schools, parks and shopping. This approach uses existing infrastructure more efficiently, thus having less of a burden on taxpayers, while protecting agricultural land and natural areas.

The 20 acre McMechan Reservoir site offers a tremendous opportunity to create a compact residential neighbourhood with park space and trails that is designed to meet the needs of today's families. The site is designated Small Lot Residential in the Official Community Plan which encourages single family homes, duplexes, townhomes and row housing. To provide rental opportunities and mortgage helpers, secondary suites and carriage houses are also being encouraged. Detailed engineering, transportation and design work are ongoing and will form part of a rezoning process. Please review the information provided and let us know what you think. **To view the draft concept plans and to fill out this survey electronically, please visit www.engagevernon.ca.**

1. What makes a great neighbourhood? Give us your ideas for creating a great neighbourhood.

Please Comment:

• Green space
• Large lots
• Parks.

2. What do you like about the proposed neighbourhood concept?

Please Comment:



3. What could be changed or improved?

Please Comment:

<u>less</u> lots
More or larger parks
This proposal is not consistent with the surrounding neighborhood.

4. Do you have any additional concerns or comments?

Please Comment:

The more people you cram into a space the more opportunity and likelihood that there will be conflict and disputes. People <u>need</u> space.
I have concerns that this will bring down the value of my home.

5. Age 41

Postal Code V1T 9E7

Thank you for participating. Your feedback is important and valued.

Please submit this form at the Open House, fax to 250-545-5309, email to ccorbett@vernon.ca or mail it to 3001 32nd Avenue, Vernon, B.C., V1T 2L8. The deadline for submissions is February 15, 2018. If you wish to provide further information or if you have questions, please email Cleo Corbett, Long Range Planner at ccorbett@vernon.ca or call the Community Services Building at 250-550-3634.

Please note, this feedback form is voluntary and we encourage you to respond. The information collected will be presented to Council and will help refine the neighbourhood development concepts as part of a rezoning process. You do not need to provide personal information for your submission to be considered. Personal information that is submitted will be treated as though the City has received your consent to disclose it to the Mayor and Council, appropriate staff and the public. If you do not want your name, address or email address published, please do not provide them.

Cleo Corbett

Re Open House

After I got home and discussed the meeting with my wife I realized that I had forgotten a couple of our ideas and so thought I would drop you a quick note.

These I do not think can be accomplished at present but maybe should be remembered for future building.

The first is the installation of solar panels on some of the buildings to give those that hope to reduce their footprint can purchase a home with solar installed. It would also give those not thinking about it and the savings something to think about. This must become included on more of the new buildings.

The second is about installing and charging line and electrical box for use if you want to have an electric car. Again this will be the normal standard soon and again might make people think. As long as the electrical box has the proper breaker installed and line installed then the owner can have it hitched up if and when they want to.

Please feel free to share this with anyone you wish.

Sorry to have to send this to as an email and not on the website but I am not at my computer that has the password on it.

To Whom It May Concern

Re: 901 39 Avenue, Vernon

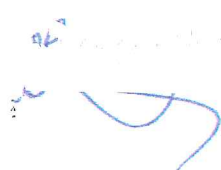
I have completed the survey on engage Vernon but I forgot one item.

If some how a codicil be placed on the residences and land when complete that would restrict how much the property could be sold for as an example then (10) years. This would be on a sliding scale, as the house ages the value should go up at a set rate per year and after ten (10) it can be sold at what ever the market will allow.

My thinking on this is that hopefully it will deter people from buying and then reselling a few years later for a large profit. It should also encourage families to remain in the area and therefor enhance the community.

I do not know if this has been tried before or if it can be done but I am thinking that this should in one small way try and keep housing affordable in Vernon.

Vernon, B.C.



Not submitted on behalf of the Strata.

~~Uplands:~~ One resident

The first houses in our strata were built in 1989 and almost 3 decades later we are proud to say that we still have some of the original owners living here. The original home owners as well as newer arrivals love living in a neighbourhood that is a transition zone between rural property and the urban centre down below. There is an abundance of wildlife and birds – the stand of trees on the little hill behind us is home to great horned owls which we are lucky to see from time to time.

As the only adjacent neighbour, we are disappointed that the City did not contact the Strata and our neighbourhood to gain input on how best to use this very valuable land. Most residents would have said that a large part of the reservoir lands should be made into green space. Looking at a City map, there are no city parks in this area at all. To understand that green areas are not a city priority, take a look at the new apartment complex by the Village Green hotel –it is located on the doorstep of 27th street and 48th avenue –set amid exhaust fumes and traffic noise, with no green space in sight. We are therefore skeptical that the small parks shown as part of this plan will actually end up in the finished project.

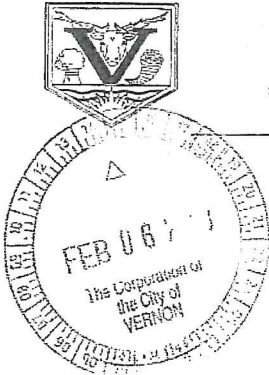
For years the Strata and our neighbours have enjoyed a quiet, peaceful, and safe area to live. Recently published rankings show that this is not the case for Vernon as a whole. We are expecting that due to the number of houses proposed and the promotion of rental units that this will change for us as well. The City planning department has said that the density is no different than the density in our Strata, but that is like comparing apples to oranges. Our Strata has 30 small houses not 200, we do not have rental suites and carriage houses, and we only have 1 or 2 residents per household. The residents of our Strata will be living in a construction zone for at least 5 years during land preparation and building. We will have to endure noise, dust, and dirt all day every day, as most of our residents are retired and cannot escape by going to the work place. For years Uplands has been the most sought after complex for seniors in Vernon, but during the construction period at least, we are expecting that our homes will become more difficult to sell and the value of our properties will be diminished.

The development is being billed as being less dependent on motor vehicle transportation. Delegates from our Strata have asked the City for a bus stop in our area on several occasions, but have been turned down every time. How will new residents in our area do their shopping, go to appointments, take children to school without depending on the family car?

We have concerns that impact assessments and investigations that affect our neighbourhood and community have not been made:

- Should the property be sold without a tendering process?
- Is small lot density best suited to this area?
- Can our present water supply, sewage system, roadways, and school system adequately support a subdivision of this size?
- Will removal of the berms and filling in of the existing reservoirs create water problems for the homes below?

There is a statement in the Morning Star that this development yields a win/win , for the City, the residents, and the developer. What we would like to know is: How will the development of the reservoir lands become a win/win for the existing neighbourhood?



THE CORPORATION OF THE CITY OF VERNON

REQUEST TO APPEAR AS A DELEGATION

ON 30 th 02 2018
Day Month Year

(See Council Calendar on back of Form)

Public
Input
McMechan
Res. Property

Date of Request: FEB 06

Name of Person Making the Request: Ken

Name & Titles of Presenter(s): TAX PAYER

Contact Information: Phone 250-306-3175 ^{CELL} Email: 250-544-7775 ^{HOME PHONE}

Mailing Address: 4908 BELLEVUE DR.
VERNON B.C. V1T 9L5

DETAILS OF PRESENTATION

Selling 172 lots for 6.5 million
doesn't make cents. old Resurwide Property
on 39th VERNON

Will There be a Power Point Presentation? No *Yes (*due one week before the meeting)

Will There be written material provided for the Agenda? No *Yes (*due one week before the meeting)

DESIRED ACTION FROM COUNCIL

To cancel the selling of the land on
39th For Leo Corbett

*Please be advised that delg (from Council), unless otherw

tes, (followed by any questions

Rh6/18

Ⓢ Sale w/ Mr. G. to inform project currently open for comment (PLEASE SEE REVERSE)

Ⓡ engagereimn.ca. No computer avail. Please

see comments provided over phone on back of del. request. S. Bluff

Personal information collected is collected in compliance and protected in accordance with the Freedom of Information and Protection of Privacy Act and will be used for the purposes serving our citizens in a responsible and efficient manner.

- 172 lots - each house $\$500,000$ - 12 houses: $\$6$ Million
- Prop. sold @ $\$65$ million doesn't make sense
- Why should Gov. make money on COV property owned by tax payer
- Brian Keating should have just done it for the COV
- Could have charged more for sale - too good of a deal



THE CORPORATION OF THE CITY OF VERNON

3400 – 30th Street, Vernon, B.C. V1T 5E6

Telephone: (250) 545-1361 Fax: (250) 545-4048

website: www.vernon.ca

Corporate Policy

Section:	Planning and Building Services	
Sub-Section:		
Title:	OCP Amendment Applications	

RELATED POLICIES

Number	Title

APPROVALS

POLICY APPROVAL:	AMENDMENT APPROVAL:	SECTION AMENDED
Approved by: "WAYNE LIPPERT"	Amendment Approved by: "Wayne Lippert"	<ul style="list-style-type: none"> • Exceptions to Annual Review added
Mayor	Mayor	
Date: February 9, 2009	Date: September 12, 2011	

POLICY

In order to ensure that the intent of the Official Community Plan (OCP) 2008 is not eroded, and to enhance public awareness of proposed changes to the OCP, OCP amendment applications will be reviewed on an annual basis, with the exception of amendments that result in significant public amenities and community benefit. All OCP amendment applications will be reviewed subject to the criteria identified below.

DEFINITIONS

PROCEDURES

1. Pursuant to Section 895(2)(a) of the *Local Government Act*, a local government must consider every application for an amendment to an OCP. Further, pursuant to Section 895(1) of the *Local Government Act*, the *City's Development Application Procedure Bylaw Number 4103, 1995*, specifies the process for applications for OCP amendments. Council may, upon receipt of the required report specified in Section 6A of that bylaw, proceed with an amendment bylaw or reject the application.
2. Applications for OCP amendments will be processed annually. All complete applications received on or before March 01 will be considered during that calendar year.
3. The report to Council on the amendment application will assess whether that application is contrary to any of the Guiding Principles of the OCP 2008, as follows:

- Protect and preserve green spaces and sensitive areas
- Ensure housing meets the needs of the whole community
- Create a culture of sustainability
- Protect agricultural land
- Create strong, compact and complete neighbourhoods
- Provide alternative transportation
- Revitalize the Downtown
- Ensure development pays for itself
- Create a youth friendly city

Applications which are contrary to the Guiding Principles will receive a negative recommendation by staff.

4. A public open house will be hosted by the City of Vernon, in addition to the legislated official Public Hearing process, to provide community residents with an additional opportunity to consider the amendment applications.
5. The following OCP amendments will be considered at any time during the year, as approved by Council:

- a) Neighbourhood Plan reviews;
- b) Minor amendments in adopted neighbourhood plan areas that do not result in a change to Land Use Designations except where the Parks and Open Space Designation is being created or reallocated;
- c) Amendments resulting in significant public amenities and community benefit.